

**Landscape Review Committee**  
**Hybrid In-Person & ZOOM Online Meeting**  
**Wednesday, February 19, 2025 - 12:00 PM**

*Please note that this meeting will be conducted in-person at the Community Development Center Large Conference Room, 231 NE Fifth Street, and via ZOOM.*

**Join ZOOM Meeting online via the following link:**

<https://mcminnvilleoregon.zoom.us/j/88138973805?pwd=dPNSRKB5dMDdGssb2682IKX3j3iMVq.1>  
<https://mcminnvilleoregon.zoom.us/j/88386294719?pwd=scv5MYeVbh95oeIWvzZQaMePnMsWJZ.1>

**Meeting ID: 881 3897 3805 Passcode: 766657**

**Or join ZOOM Meeting by phone via the following number: 1-669-44-9171**

Committee Members	Agenda Items
Jamie Fleckenstein, Chair  Brian Wicks, Vice Chair  Carlton Davidson  Lee McCollins  Eva Reutinger	<ol style="list-style-type: none"> <li>1. <b>Call to Order and Roll Call</b></li> <li>2. <b>Minutes:</b> None</li> <li>3. <b>Citizen Comments</b></li> <li>4. <b>Action Items</b> <ol style="list-style-type: none"> <li>A. <b>L 46-24:</b> Landscape Plan Review for Micah Cooksey, at 2631 NE McDonald Lane, Tax Lot R4416BA 02900 (<b>Exhibit 1</b>)</li> <li>B. <b>L 1-25:</b> Landscape Plan Review for Ed Christensen, Welkin Engineering PC, 900 SW Booth Bend Road, Tax Lot R4429 02500 (<b>Exhibit 2</b>)</li> </ol> </li> <li>5. <b>Discussion Items</b></li> <li>6. <b>Committee Member Comments</b></li> <li>7. <b>Staff Comments</b></li> <li>8. <b>Adjournment</b></li> </ol>

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

\*Please note that these documents are also on the City’s website, [www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov). You may also request a copy from the Planning Department.

## **EXHIBIT 1 - STAFF REPORT**

**DATE:** February 19, 2025  
**TO:** Landscape Review Committee Members  
**FROM:**  
**SUBJECT:** Landscape Plan Review Application (L 46-24)

### **STRATEGIC PRIORITY & GOAL:**



### **GROWTH & DEVELOPMENT CHARACTER**

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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### **Report in Brief:**

This proceeding is a review by the Landscape Review Committee (LRC) of an application submitted by Micah Cooksey, on December 16, 2024 for proposed landscaping located at 2631 NE McDonald Lane, Tax Lot No. R4416BA 02900.

Staff has reviewed the application for consistency with the applicable criteria and recommends approval, subject to the conditions specified in the attached Decision Document.

### **Discussion:**

Please refer to the Decision Document for the conclusionary findings, maps, plans, and background information.

### ***Application Summary***

The Landscape Plan Review application is a request for the proposed expansion of a parking lot between the building on-site and NE Johnson Street. The application includes the retention of onsite landscaping and trees and the installation of two (2) new street trees.

Figure 1. Vicinity Map

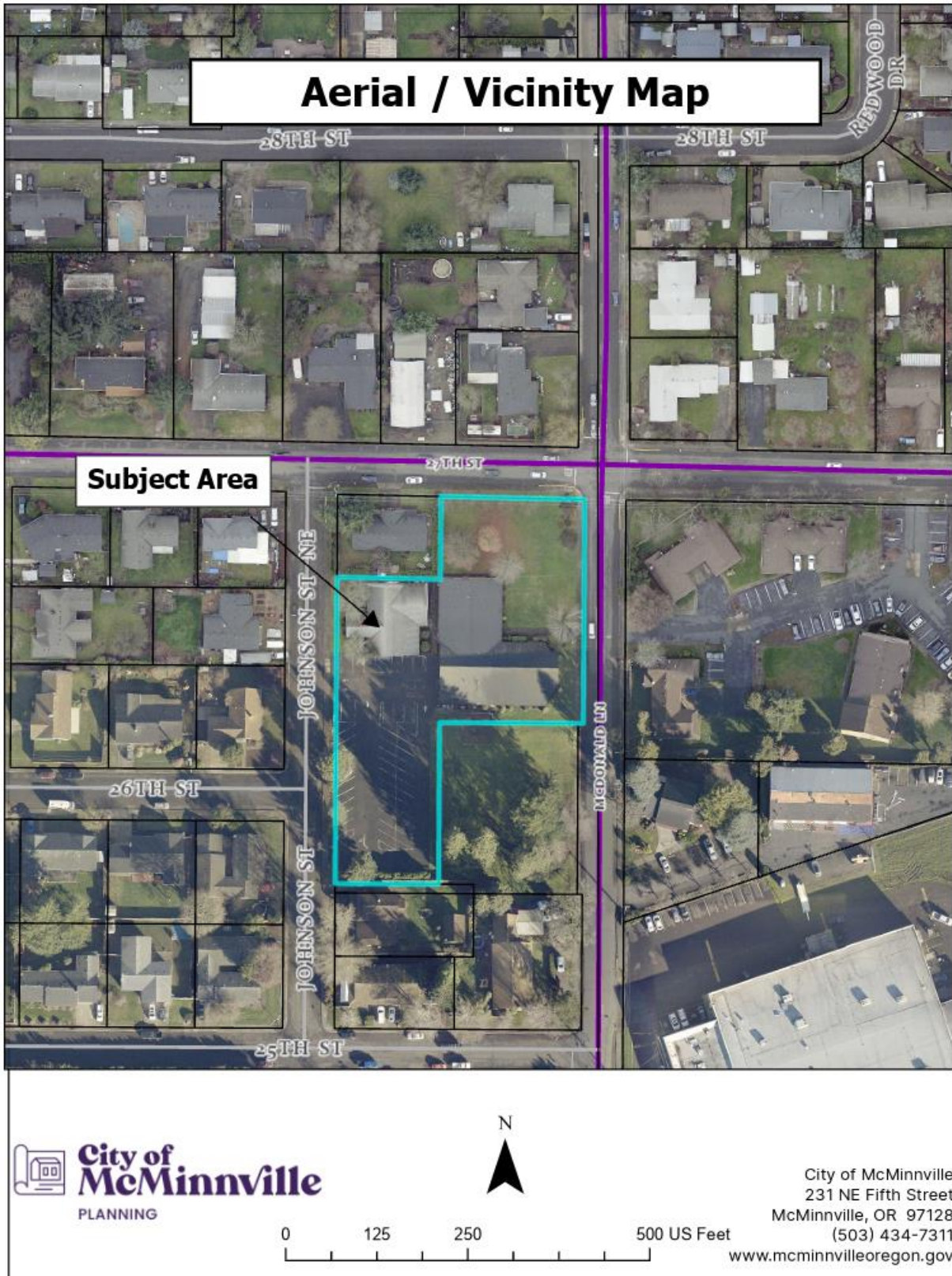
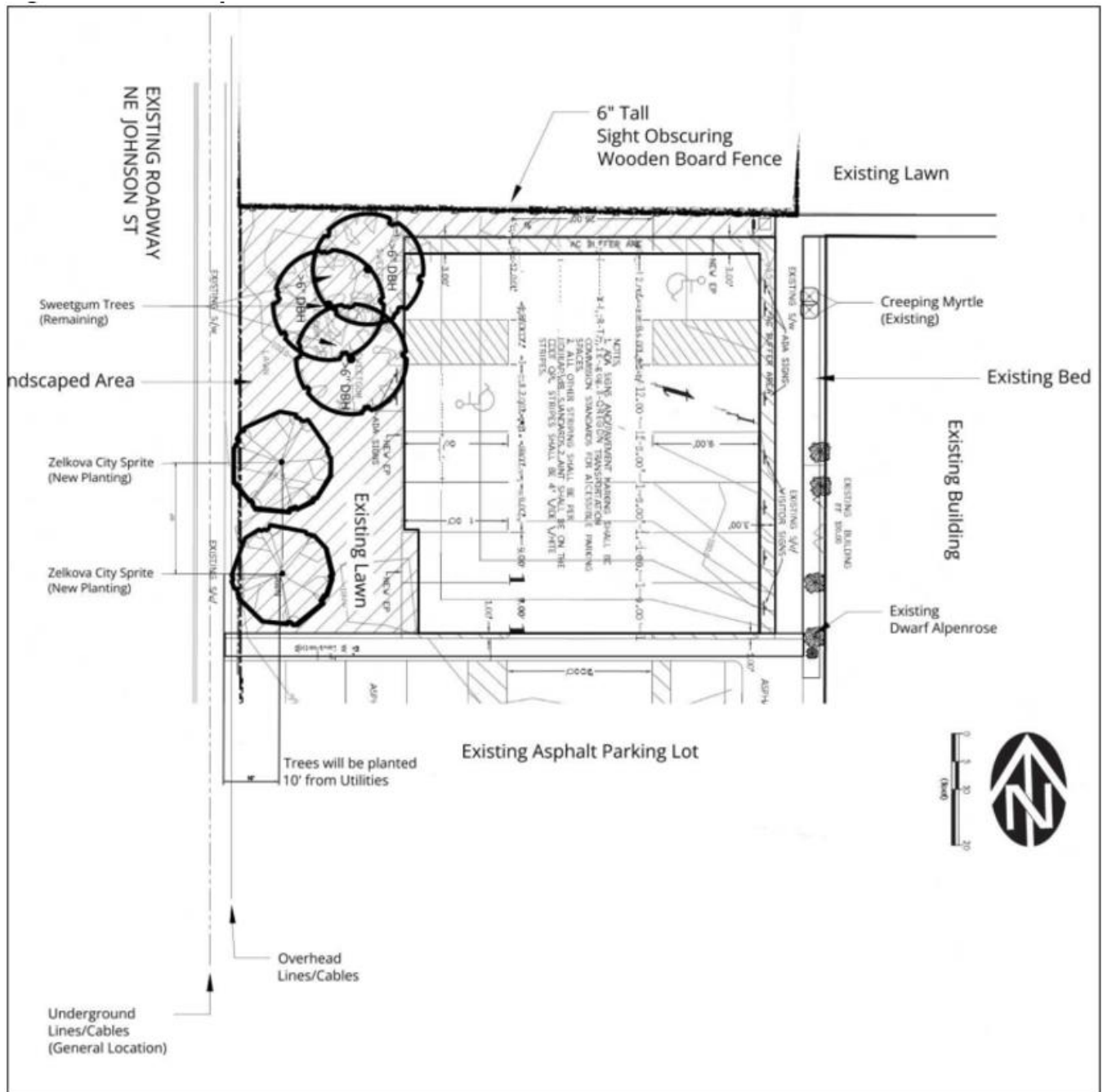




Figure 2. Landscape Plan



 Landscaped Area of Site C5.0 = ±2,903 SF  
 Total Area of Site C5.0 = 18,445 SF  
 % of Site C5.0 Landscaped = 134%  
 All Existing Trees on Plan are to Remain  
 No installed irrigation system; hand water until established

'Zelkova City Sprite' 25' Mature Height 20' Mature Width	 2.25" cal size at time of planting	2 New Trees
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SITE ADDRESS:  
 2631 NE MCDONALD LN.  
 MCMINNVILLE, OR 97128



### **Review Process**

The application was deemed complete on December 16, 2024 and notice was sent to the McMinnville Public Works Department, McMinnville Engineering, and McMinnville Water and Light. The applicant submitted a request for an extension to the review period to February 20, 2025, and a revised landscape plan application on December 27, 2024. The City of McMinnville did not provide public notice of the application, as Landscape Plan Review applications are reviewed by the process described in Chapter 17.57 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.

### **Summary of Criteria and Issues**

Decisions and/or recommendations for approval of the Landscape Plan Review application depend on whether the application meets state regulations, the McMinnville Comprehensive Plan, and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

Landscape Plan Review applications are subject to Chapter 17.57 of the McMinnville Municipal Code (MMC). The applicant has requested discretionary review, subject to MMC 17.57.050(2), seeking a waiver to a standard within Chapter 17.57. The Landscape Review Committee (LRC) may permit a waiver from the standards of Chapter 17.57 if the applicant successfully demonstrates that a design feature or overall concept is provided that meets or exceeds that standard waived.

Staff recommends approval of the landscape plan with conditions to ensure compliance with applicable review criteria. Conditions include the revision of the landscape plan prior to the issuance of a building permit, occupancy and installation requirements, and street trees.

### **Attachments**

1. Decision Document with Attached Application

### **Landscape Review Committee Options**

1. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
2. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
3. **CONTINUE** the application, requesting the applicant to submit more information or details for review.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

### **Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied.

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*Attachments:*

*Attachment A – Decision (L 46-24)*

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

**Suggested Motion:**

**THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION (L 46-24) SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT**

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*Attachments:*

*Attachment A – Decision (L 46-24)*



**CITY OF MCMINNVILLE  
COMMUNITY DEVELOPMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128  
503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE APPROVAL OF A LANDSCAPE PLAN REVIEW FOR PROPERTY AT 2631 NE MCDONALD LANE**

- DOCKET:** L 46-24 (Landscape Plan Review)
- REQUEST:** Approval of a Landscape Plan Review for property at 2631 NE McDonald Lane
- LOCATION:** 2631 NE McDonald Lane, Tax Lot R4416BA 02900
- ZONING/Overlay:** R-2 (Low-Density, 7000 SF Lot Residential Zone)
- APPLICANT:** Micah Cooksey
- STAFF:** Taylor Graybehl, Senior Planner
- DATE RECIEVED:** December 16, 2024
- DECISION-MAKING BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.
- MEETING DATE & LOCATION:** February 19, 2025, McMinnville Community Development Center, 231 NE 5<sup>th</sup> Street, and via Zoom online meeting
- PROCEDURE:** Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.
- CRITERIA:** The applicable criteria are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance, McMinnville City Code.
- APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.

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*Attachments:*  
Attachment 1 – Application and Attachments  
Attachment 2 – Revised Application (received on December 27, 2024)

**COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

**DECISION**

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 46-24) **subject to the conditions of approval provided in Section II of this document.**

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**DECISION: APPROVAL WITH CONDITIONS**  
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Planning Staff: \_\_\_\_\_ Date: \_\_\_\_\_  
Taylor Graybehl, Senior Planner

Planning Department: \_\_\_\_\_ Date: \_\_\_\_\_  
Heather Richards, Planning Director

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## **I. APPLICATION SUMMARY:**

### ***Subject Property***

The subject site is located at 2631 NE McDonald Lane, Tax Lot R4416BA 02900. ***See Figure 1 (Vicinity Map and Aerial Photo).***

The property is zoned R-2 (Low-Density, 7000 SF Lot Residential Zone) ***see Figure 2 (Zoning Map).*** The subject site is currently developed with a religious institution, parking lot, fence, grass, shrubs, and trees. A sewer main and easement transect the southern portion of the project area. The NE Johnson Street right-of-way adjacent to the project area is improved with a curb, gutter, sidewalk, overhead wires, and underground utilities with no planter strip.

In 2024, the property owner received a permit to demolish a building and demolished the building at the location of the proposed parking lot.

### ***Application***

The applicant has proposed expanding the religious institution's parking lot. The city is reviewing the parking lot and associated stormwater improvements as a separate permit. The landscape plan indicates a new parking lot and landscaped area with the retention of trees and lawns and the planting of two (2) new trees along the right-of-way. ***See Figure 4 (Landscape Plan).***

The landscape plan shows underground utilities and overhead wires along NE Johnson Street. Both utilities cause potential conflict with street trees that must be planted as part of this project. The applicant must provide adequate spacing from the utilities or select the appropriate street under overhead wires.

Staff recommends approval of the landscape plan with conditions to ensure compliance with applicable review criteria. Conditions include the revision of the landscape plan prior to the issuance of a building permit, occupancy and installation requirements, and street trees.

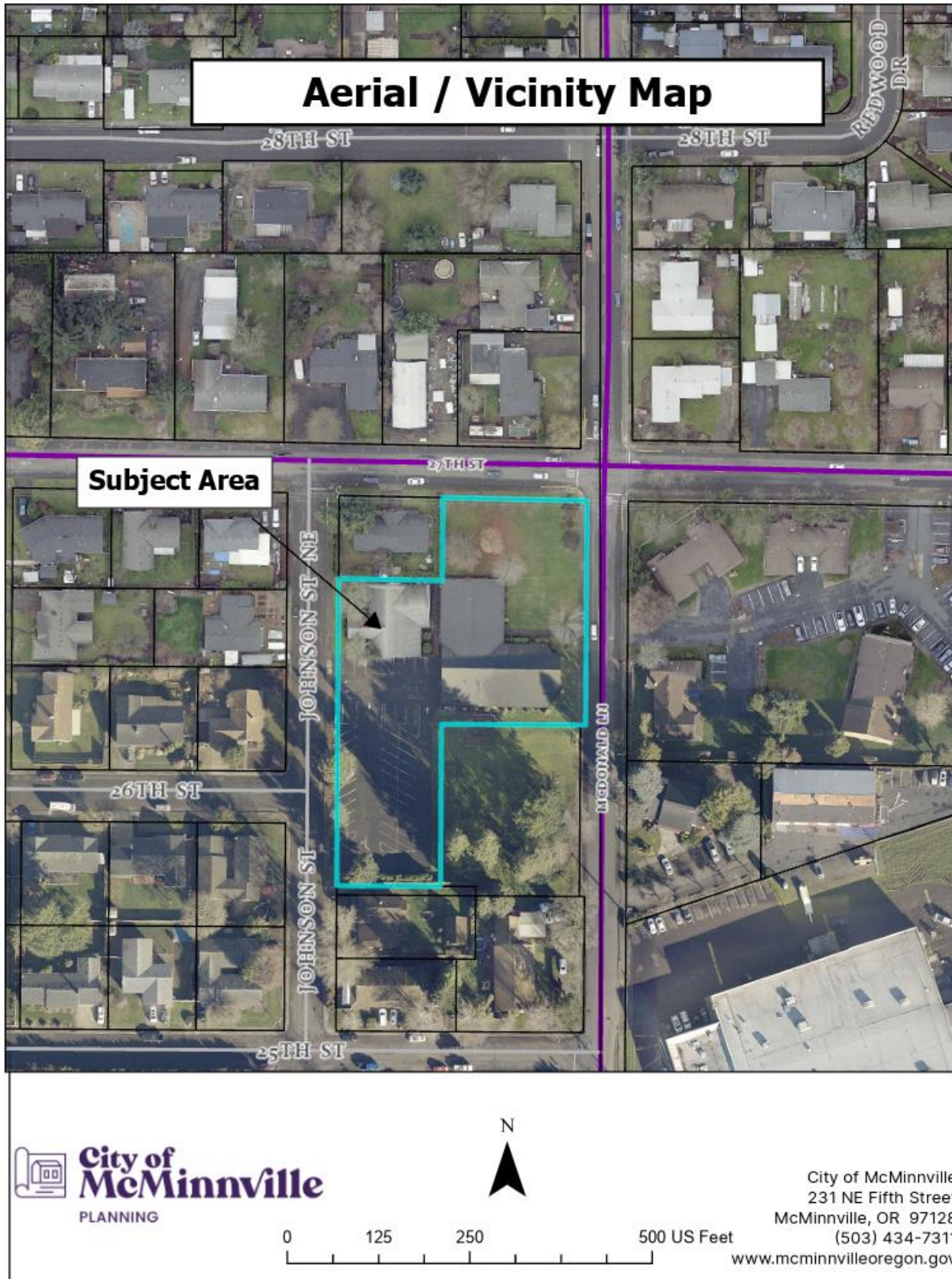
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### ***Attachments :***

Attachment 1 – Application and Attachments

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Figure 1: Aerial Photo/Vicinity Map

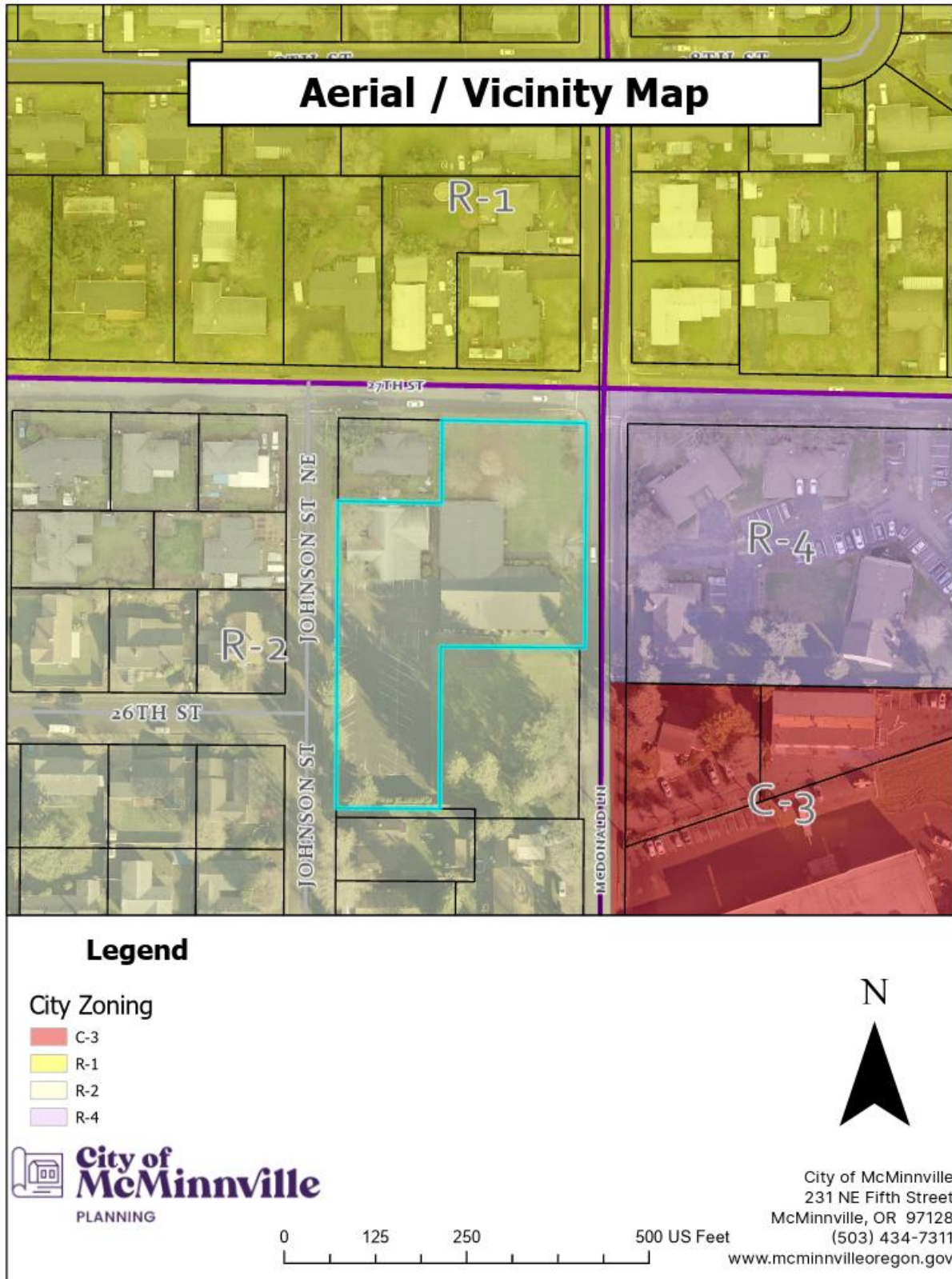


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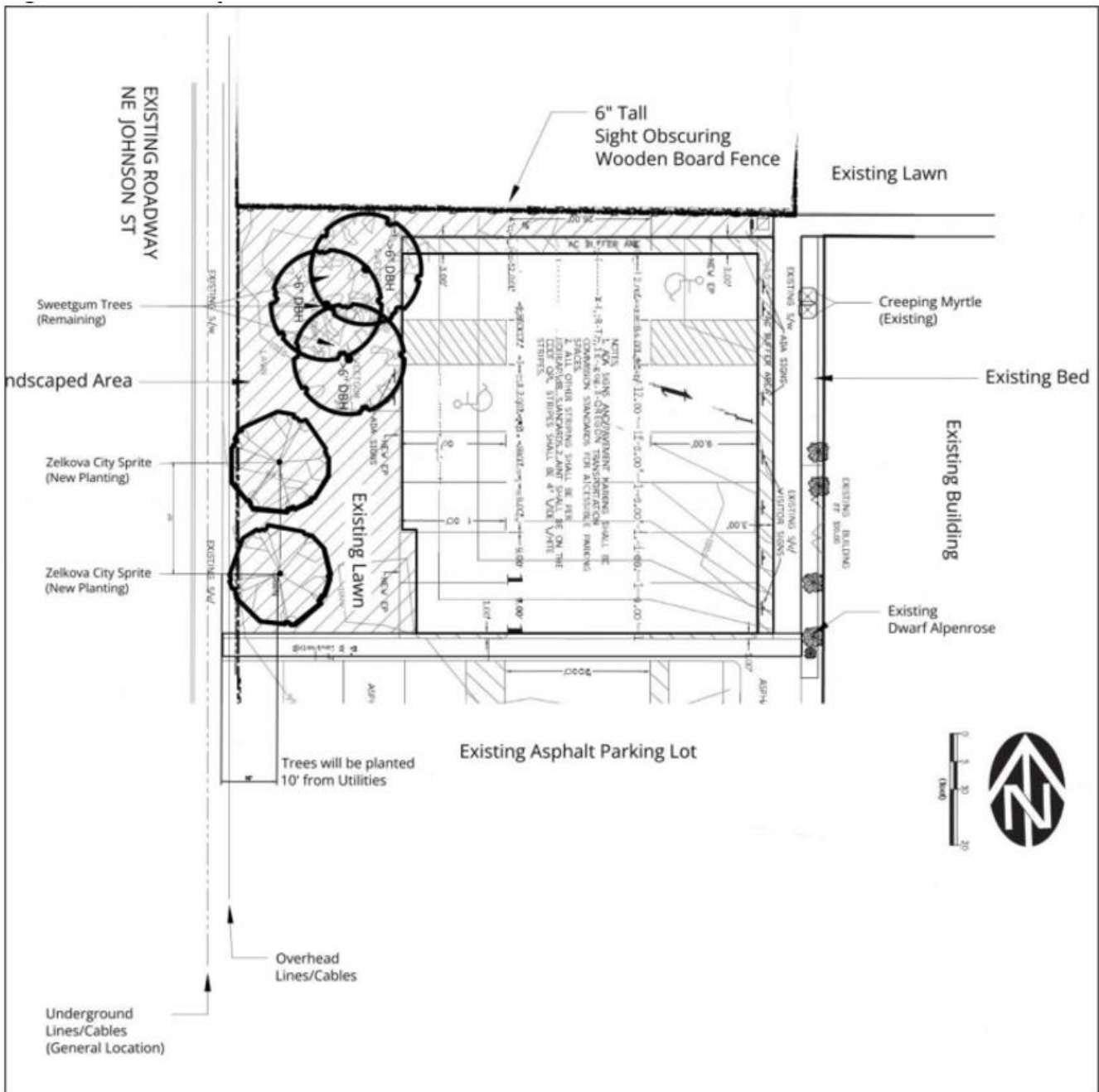



Figure 2: Zoning Map



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**Figure 3. Landscape Plan**



 Landscaped Area of Site C5.0 = ±2,903 SF  
 Total Area of Site C5.0 = ±8,445 SF  
 % of Site C5.0 Landscaped = .34%  
 All Existing Trees on Plan are to Remain  
 No installed irrigation system; hand water until established

'Zelkova City Sprite' 25' Mature Height 20' Mature Width		2.25" cal size at time of planting	2 New Trees
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### **Summary of Criteria**

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The development is a parking lot proposed on a lot used as a Church on land zoned R-2 (Low-Density, 7000 SF Lot Residential Zone) which is required to be landscaped by MMC Section 17.57.040. Therefore, landscaping is required subject to the criteria and standards described in MMC Chapter 17.57-Landscaping.

### **II. CONDITIONS:**

1. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan in compliance with the conditions of approval and receive approval of the landscape plan. (MMC 17.57.050(A)(1))
2. Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to the issuance of the building permit. (MMC 17.57.050(C))
3. A temporary occupancy permit may be issued prior to the complete installation of all required landscaping subject to the standards of MMC 17.57.050(D).
4. Prior to the issuance of a certificate of occupancy or return of security, landscaping shall be inspected by the Planning Director or their designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))
5. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that indicates the size of street trees at the time of planting, measured at six (6) inches above ground level. (MMC 17.57.060(A))
6. Prior to the issuance of a building permit, the applicant shall submit a revised landscaping plan with sight-obscuring screening along the northern property line adjacent to the project area. (MMC 17.57.070(B)(2))
7. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).
8. Street trees installed in proximity to the overhead wires shall be selected from the McMinnville Street Tree list and identified as appropriate for under overhead wires. (MMC 17.58.090(A)).
9. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that identifies street trees to have a minimum diameter of two (2) inches measured at six (6) inches above ground level and notes street trees are to be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots

characteristic of the species cultivar or variety free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC 17.58.090(B))

10. At the time of planting, the street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC 17.58.090(B))
11. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that identifies those existing trees to be street trees, or the applicant shall provide the planting of new trees in compliance with Chapter 17.58. (MMC 17.58.090(F))
12. Street trees shall be installed at the time of all other required landscaping. (MMC 17.58.110)
13. Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))
14. Street trees shall be maintained in perpetuity, and if they must be replaced, they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))
15. Street trees shall be maintained continually per MMC 17.58.120(D):
  - a. This includes necessary watering, weeding, pruning, and replacement.
  - b. Street shall be pruned with at least thirteen (13) feet of clearance above NE Johnson Street.
  - c. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.
16. This approval is for landscaping only, and the applicant is responsible for obtaining any other required permits.

### **III. ATTACHMENTS:**

1. Application and Attachments (on file with the Planning Department)
2. Revised Application (received on December 27, 2024)

### **IV. COMMENTS:**

#### ***Agency Comments***

This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light.

The following comments were received:

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#### ***Attachments:***

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City of McMinnville Engineering Division  
No comments received as of February 11, 2025.

City of McMinnville Public Works:  
No comments received as of February 11, 2025.

McMinnville Water and Light  
No comments on the proposed plans.

### ***Public Comments***

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director's decision.

## **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

1. The application was submitted on December 16, 2024. Based on that date, it is subject to a 30-day review timeframe starting on January 15, 2025.
2. On December 31, 2024, the applicant submitted a request to extend the review time frame to February 20, 2025.
3. Notice of the application was referred to the following public agencies for comment on December 18, 2024 McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
4. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the Landscape Review Committee on February 19, 2025, to review the application and proposed landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 2631 NE McDonald Lane, Tax Lot R4416BA 02900
2. **Size:** The project area lot is approximately 700 square feet
3. **Comprehensive Plan Map Designation:** Residential
4. **Zoning:** R-2 (Low-Density, 7000 SF Lot Residential Zone)
5. **Overlay Zones/Special Districts:** None.
6. **Current Use:** Church
7. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None
  - b. **Other:** None

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### *Attachments:*

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- 8. Other Features:** There are no identified significant or distinguishing natural features associated with this portion of the property.
- 9. Utilities:** Utilities are available to the site. Overhead and underground utilities are present within NE Johnson Street.
- 10. Transportation:** The project area abuts NE Johnson Street, which is identified as a *Local Street*.

**VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

***Comprehensive Plan Volume II:***

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1:** *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMinnville.*

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.



### **McMinnville Zoning Ordinance**

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

#### **Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
  1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
  2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
  3. *Mitigate the loss of natural resources.*
  4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
  5. *Create safe, attractively landscaped areas adjacent to public streets.*
  6. *Require the planting of street trees along the City's rights-of-way.*
  7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
  8. *Provide shade, and seasonal color.*
  9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

*It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.*

*The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in*

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**Attachments :**

- Attachment 1 – Application and Attachments
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*addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** Subject to conditions of approval detailed below, the proposed landscape plan is consistent with the purpose of this chapter.

**17.57.040 Specific Uses Requiring Landscaping.**

*A. Churches, subject to the landscaping requirements of a multiple-dwelling development when in a residential zone and subject to the landscaping requirements of a commercial development when in a zone other than residential;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED/APPLICABLE.** The proposed development is within the R-2 (Low-Density, 7000 SF Lot Residential Zone); therefore, landscaping is required subject to landscaping requirements of a multiple-dwelling development and the criteria and standards described in Chapter 17.57 – Landscaping.

**17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.**

**17.57.050(A).** *At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.*

- 1. No building permit shall be issued until the landscaping plan has been approved.*
- 2. The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #1.** The applicant must comply with the above standards by submitting a revised landscape plan that is in compliance with the conditions of approval prior to the issuance of a building permit.

**CONDITION OF APPROVAL #1.** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan in compliance with the conditions of approval and receive approval of the landscape plan. (MMC 17.57.050(A)(1))

**17.57.050(B).** *Landscaping review shall occur within 30 (thirty) days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 (thirty) days shall be considered as approval of the plan;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The application and fee were received on December 16, 2024. A request for an extension was requested on December 31, 2024, to February 20, 2025. The Landscape Review Committee met and heard on the proposal on February 19, 2025. The applicant was notified of the time and place of review.

**17.57.050(C).** *The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #2.** The proposed conditions of approval make the landscape plan compatible with this chapter's purpose, intent, and requirements. The applicant is required to submit a revised landscape plan for review and approval prior to the issuance of a building permit. If the applicant seeks modification of the approved landscape plan it must be agreed to in writing prior to the issuance of a building permit.

**CONDITION OF APPROVAL #2:** Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to the issuance of the building permit. (MMC 17.57.050(C))

**17.57.050(D).** *Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3.** The issuance of a temporary occupancy permit prior to the complete installation of landscaping may be permitted by the Planning Director. If permitted by the Planning Director, the amount of security, time frame, and potential use of the security to finalize landscaping must comply with this criterion.

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**Attachments :**

Attachment 1 – Application and Attachments

Attachment 2 – Revised Application (received on December 27, 2024)

**CONDITION OF APPROVAL #3:** A temporary occupancy permit may be issued prior to the complete installation of all required landscaping subject to the standards of MMC 17.57.050(D).

**17.57.050(E).** *All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #4.** Issuance of an occupancy permit or return of security requires the inspection of the landscape project by the Planning Director or their designee which finds the landscaping in compliance with the approved plans. Minor changes in the landscape plan shall be allowed by the Planning Director or their designee in some cases.

**CONDITION OF APPROVAL #4:** Prior to the issuance of a certificate of occupancy or return of security, landscaping shall be inspected by the Planning Director and designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))

**17.57.060 Plans** - *Information to be Included. The following information shall be included in the plans submitted under Section 17.57.050:*

- A. *Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the drip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;*
- B. *The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;*
- C. *The percentage of the gross area to be landscaped;*
- D. *Any equipment proposed for recreation uses;*
- E. *All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;*
- F. *The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;*
- G. *All of the information on the plot plan for the building permit.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #5.**

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**Attachments :**

Attachment 1 – Application and Attachments

Attachment 2 – Revised Application (received on December 27, 2024)

- A. **Satisfied:** The location of trees over six inches in diameter, if they are to remain, has been identified on plans.
- B. **Satisfied with condition:** The location of existing trees and ground cover have been identified. The landscape plan indicated new trees to be planted but did not include their size. The applicant shall submit a revised landscape plan indicating the size of all new trees at time of planting.
- C. **Satisfied.** The applicant has identified the percentage of the gross project area to be landscaped.
- D. **Not Applicable:** No equipment for recreational use is proposed.
- E. **Satisfied:** The applicant has provided the location of existing and proposed site features in the project area.
- F. **Satisfied:** The applicant indicates that no irrigation will be installed and that the plants will be hand-watered until established.
- G. **Satisfied:** The plans provide sufficient information; the applicant will be responsible for ensuring that future building permit applications comply with the approved landscape plans.

**CONDITION OF APPROVAL #5:** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that indicates the size of street trees at the time of planting, measured at six (6) inches above ground level. (MMC 17.57.060(A))

**17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** *Landscaping shall be accomplished within the following ranges:*

- 3. *Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.*

a. 
$$\frac{\text{ALC (additional lot coverage)}}{\text{ELC (Existing Lot Coverage)}} \times \% \text{ of landscaping required} \times \text{Total lot area}$$

- b. *Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;*

**APPLICANT’S RESPONSE:** See plans.

**FINDING: SATISFIED.** The applicant has proposed expanding the parking lot, leading to additional lot coverage. The subject site is approximately 59,677 square feet. The additional

**Attachments :**

- Attachment 1 – Application and Attachments
- Attachment 2 – Revised Application (received on December 27, 2024)

lot coverage is approximately 4,825 square feet, and the existing lot coverage is approximately 9,400 square feet. The subject site is a Church use in a residential zone, so it has a landscaping requirement percentage of 25% landscaping. The required landscaping on-site is  $(4,825 / 9,400 * (.25) * 59,677)$  3,808 square feet. The applicant has proposed the installation of an additional 2,900 square feet of landscaping and retaining approximately 31,000 square feet of landscaping. Landscaping will be installed in proximity to the proposed parking lot and spread over the entire site. The project meets minimum landscaping requirements.

**17.57.070(B).** *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

**17.57.070(B)(1).** *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED.** The subject site is zoned as R-2 (Low-Density, 7000 SF Lot Residential Zone with sites zoned as R-2 to the north, west, and south. Residential uses are located to the north, west, and south. The east is zoned as R-4 with residential uses. The proposed landscaping with buffering between the parking area and the property to the north and street trees planted along NE Johnson Street will provide compatibility with surrounding and abutting properties.

**17.57.070(B)(2).** *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #6.** The subject site and project area are adjacent to a residential property to the north. The proposed parking area must be screened from abutting residential use. The applicant has proposed a six (6) inch tall wooden board fence along the common property line. It appears the applicant has accidentally made the wrong notation for fence height, marking at (") and not ('). The provision of a site-obscuring fence at six (6) feet in height will provide the required screening of the proposed use. The applicant shall revise plans to indicate screening of the proposed use with a height of at least six (6) feet.

**CONDITION OF APPROVAL #6:** Prior to the issuance of a building permit, the applicant shall submit a revised landscaping plan with sight-obscuring screening along the northern property line adjacent to the project area. (MMC 17.57.070(B)(2))

**17.57.070(B)(3).** *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

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**Attachments:**

Attachment 1 – Application and Attachments

Attachment 2 – Revised Application (received on December 27, 2024)

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The applicant has identified those trees in the project area to remain with a watering area equal to at least one-half of the crown area. The landscape plan complies with the above retention standards.

**17.57.070(B)(4).** *The development and use of islands and plantings therein to break up parking areas.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The applicant has indicated the provision of twelve (12) parking spaces with rows of six between NE Johnson Street and the building. Landscaping and walkways have been proposed surrounding the parking area that will serve to break up the parking area.

**17.57.070(B)(5).** *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The applicant has not proposed a tree prohibited by the above section.

**17.57.070(B)(6).** *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The landscape plan indicates no irrigation systems are to be installed and hand watering will occur until establishment.

**17.57.070(C).** *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #7.** This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

**CONDITION OF APPROVAL #7:** All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).

**Chapter 17.58. Trees**

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**Chapter 17.58 Trees**

**17.58.010 Purpose.** *The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has proposed two (2) new street trees behind a curb-tight sidewalk along NE Johnson Street. Along NE Johnson Street are overhead wires and underground utilities. The applicant has proposed to install the new street trees at least ten (10) feet from underground utilities with a species identified as appropriate for underground wires. Conditions of approval have been included to ensure compliance with species, planting, and maintenance requirements.

**17.58.080 Street Tree Planting—When Required.** *All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.*

**APPLICANT’S RESPONSE:** None.

**FINDING: APPLICABLE.** The applicant has proposed a parking lot fronting a public street and is subject to street planting requirements. Due to the presence of underground utilities, street trees shall be planted in an area at least ten (10) feet from utilities. In addition, existing trees located between the parking lot and right-of-way will serve as street trees.

**17.58.090 Street Tree Standards.**

**17.58.090(A).** *The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #8.** The applicant has indicated the planting of two (2) new City Sprite Zelkova in the planter area. The planter area is transected by overhead wires and shall be planted with trees identified as appropriate for under overhead wires. The proposed City Sprite Zelkova are identified as appropriate for under



overhead wires on the McMinnville Street Tree List. The applicant shall plant the City Sprite Zelkova or another tree identified as appropriate for under overhead wires.

**CONDITION OF APPROVAL #8:** Street trees installed in proximity to the overhead wires shall be selected from the McMinnville Street Tree list and identified as appropriate for under overhead wires. (MMC 17.58.090(A)).

**17.58.090(B).** *Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well- developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS OF APPROVAL #9 AND #10.** The applicant is required to install street trees as part of the proposed project and are subject to the standards of this section. Conditions have been included to ensure compliance.

**CONDITION OF APPROVAL #9:** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that identifies street trees to have a minimum diameter of two (2) inches measured at six (6) inches above ground level and notes street trees are to be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC 17.58.090(B))

**CONDITION OF APPROVAL #10:** At the time of planting, the street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC 17.58.090(B))

**17.58.090(C).** *Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The proposed City Sprite Zelkova are identified as small trees due to mature growth characteristics. As proposed, the City Sprite Zelkova will be separated twenty (20) feet and within twenty (20) feet of existing trees. The existing trees and proposed trees will meet the minimum spacing requirements.

**17.58.090(E).** *Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant notes underground utilities along the NE Johnson Street right-of-way, which require a minimum spacing of ten (10) feet. The applicant has identified proposed street trees to be planted at least ten (10) feet from utilities in compliance with standards.

**17.58.090(F).** *Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #11.** The landscape plan indicates three (3) trees to remain between the proposed parking area and right-of-way. Those trees are proposed to be identified as street trees to meet the spacing requirements of MMC 17.58.090(C). The plans do not indicate those trees to be street trees and must be updated to clarify their designation.

**CONDITION OF APPROVAL #11:** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that identifies those existing trees to be street trees, or the applicant shall provide the planting of new trees in compliance with Chapter 17.58. (MMC 17.58.090(F))

### **17.58.110 Street Tree Planting**

*B. Commercial, Industrial, Multi-dwelling, Parking Lot Development.*

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**Attachments:**

Attachment 1 – Application and Attachments

Attachment 2 – Revised Application (received on December 27, 2024)

1. *Planting Schedule: Street trees required of a commercial, industrial, multi-dwelling, or parking lot development shall be installed at the time all other required landscaping is installed.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #12.** The proposed parking lot development is subject to this section and installation requirements.

**CONDITION OF APPROVAL #12:** Street trees shall be installed at the time of all other required landscaping. (MMC 17.58.100)

**17.58.120 Street Tree Maintenance.**

- A. *Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.*
- B. *Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.*
- C. *Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees.*
- D. *Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section 17.58.020, of a street tree must be approved by the City in accordance with Section 17.58.040.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS OF APPROVAL #13 TO #15.** This is an applicable code requirement. The below conditions will ensure compliance with the above standards.

**CONDITION OF APPROVAL #13.** Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))

**CONDITION OF APPROVAL #14.** Street trees shall be maintained in perpetuity, and if they must be replaced, they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))

**CONDITION OF APPROVAL #15.** Street trees shall be maintained continually per MMC 17.58.120(D):

- a. This includes necessary watering, weeding, pruning, and replacement.

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- b. Street shall be pruned with at least thirteen (13) feet of clearance above NE Johnson Street.
- c. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.

**Chapter 17.54. General Provisions**

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The installation of landscaping is subject to standards found within Chapter 17.54 General Provisions, including Section 17.54.080 Clear Vision Area. As proposed, no plant exceeds the maximum permitted height within the clear vision area.

TG

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*Attachments :*

Attachment 1 – Application and Attachments

Attachment 2 – Revised Application (received on December 27, 2024)



**Planning Department**  
 231 NE Fifth Street ◦ McMinnville, OR 97128  
 (503) 434-7311 Office ◦ (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

<b>Office Use Only:</b>	
File No.	<u>L 46-24</u>
Date Received	<u>12/16/2024</u>
Fee	<u>\$2,055.00</u>
Receipt No.	<u>210815</u>
Received by	<u>AW</u>

569-24-000278-PLNG

## Landscape Plan Review Application

### **Applicant Information**

**Applicant is:**  Property Owner    Contract Buyer    Option Holder    Agent    Other \_\_\_\_\_

Applicant Name Micah Cooksey Phone 503-440-2071

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_  
*(If different than above)*

Address 2631 NE McDonald Ln.

City, State, Zip McMinnville, OR, 97128

Contact Email micah@macvalleybaptist.com

### **Property Owner Information**

Property Owner Name \_\_\_\_\_ Phone \_\_\_\_\_  
*(If different than above)*

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip \_\_\_\_\_

Contact Email \_\_\_\_\_

### **Site Location and Description**

*(If metes and bounds description, indicate on separate sheet)*

Property Address 2631 NE McDonald Ln., McMinnville, OR 97128

Assessor Map No. R4416BA02900 - Total Site Area 80,000 sqf.

Subdivision NORTHGATE ADDITION Block 4 Lot 02900

Comprehensive Plan Designation Residential Zoning Designation R-2

**Landscaping Information**

1. Total Landscaped Area: 13,882 sqf.

2. Percent Landscaped: 39,515 sqf.

3. Building Floor Area:

New Structure: 4,825 Existing Structure: 4,010 Addition: 815

4. Architect Name Jeremy Adams Phone (606)335-0780  
*(Landscape Architect; Engineer; or Other Designer)*

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip McMinnville, OR

Contact Email stilljustjeremy@gmail.com

In addition to this completed application, the applicant must provide the following:

*Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.*

*Payment of the applicable review fee, which can be found on the Planning Department web page.*

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

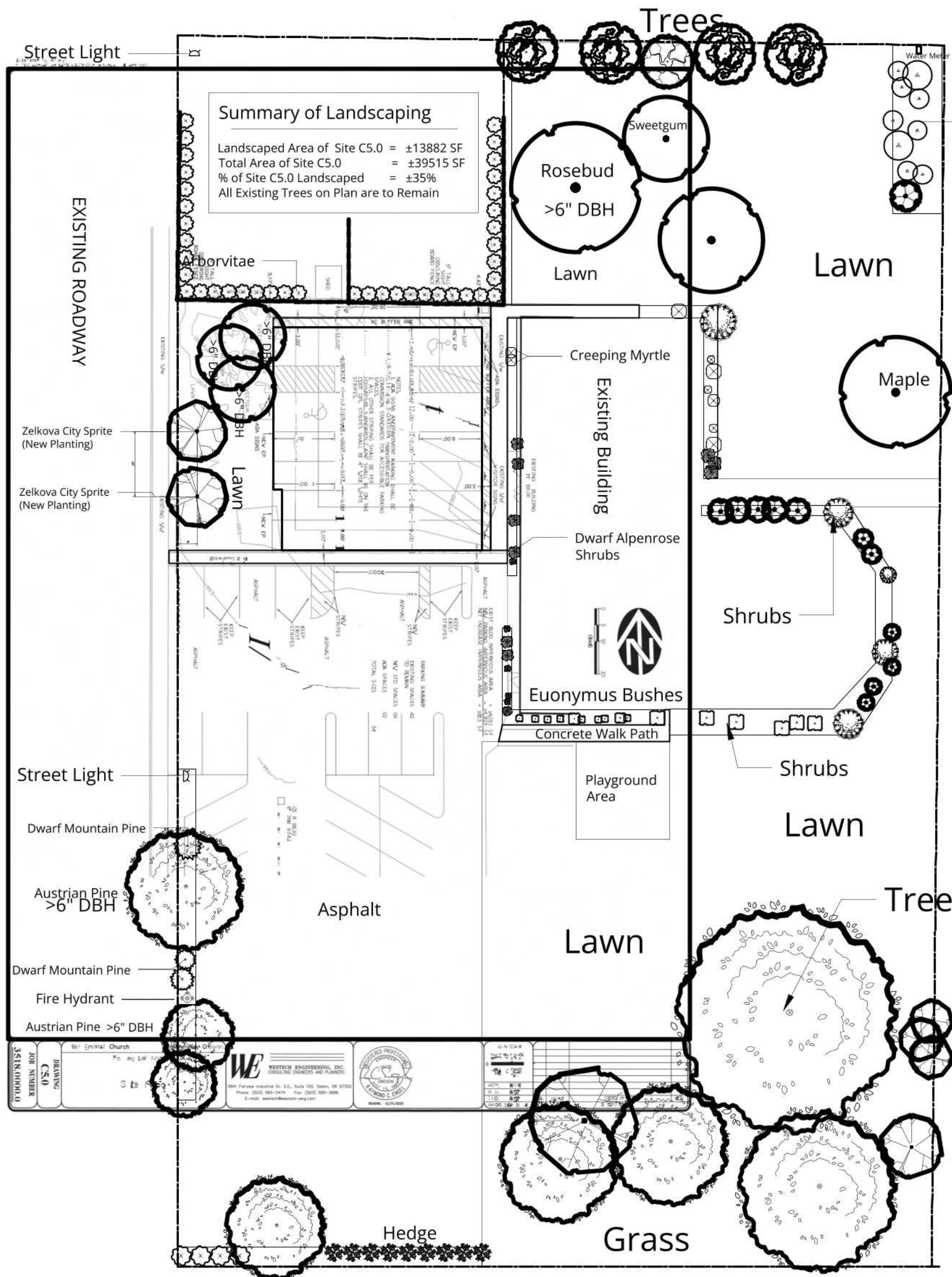
  
\_\_\_\_\_  
Applicant's Signature

10/07/2024  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date







Planning Department
231 NE Fifth Street o McMinnville, OR 97128
(503) 434-7311 Office o (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:
File No. L 46-24
Date Received 12/16/2024
Fee \$2,055.00
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Received by AW

569-24-000278-PLNG

Landscape Plan Review Application

Applicant Information

Applicant is: [x] Property Owner [ ] Contract Buyer [ ] Option Holder [ ] Agent [ ] Other

Applicant Name Micah Cooksey Phone 503-440-2071

Contact Name (If different than above) Phone

Address 2631 NE McDonald Ln.

City, State, Zip McMinnville, OR, 97128

Contact Email micah@macvalleybaptist.com

Property Owner Information

Property Owner Name (If different than above) Phone

Contact Name Phone

Address

City, State, Zip

Contact Email

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 2631 NE McDonald Ln., McMinnville, OR 97128

Assessor Map No. R4416BA02900 Total Site Area 80,000 sqf.

Subdivision NORTHGATE ADDITION Block 4 Lot 02900

Comprehensive Plan Designation Residential Zoning Designation R-2



**Landscaping Information**

- 1. Total Landscaped Area: 13,882 sqf.
- 2. Percent Landscaped: 39,515 sqf.
- 3. Building Floor Area:  
New Structure: 4,825 Existing Structure: 4,010 Addition: 815
- 4. Architect Name Jeremy Adams Phone (606)335-0780  
*(Landscape Architect; Engineer; or Other Designer)*  
Contact Name \_\_\_\_\_ Phone \_\_\_\_\_  
Address \_\_\_\_\_  
City, State, Zip McMinnville, OR  
Contact Email stilljustjeremy@gmail.com

In addition to this completed application, the applicant must provide the following:

- Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.*
- Payment of the applicable review fee, which can be found on the Planning Department web page.*

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

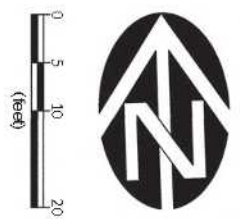
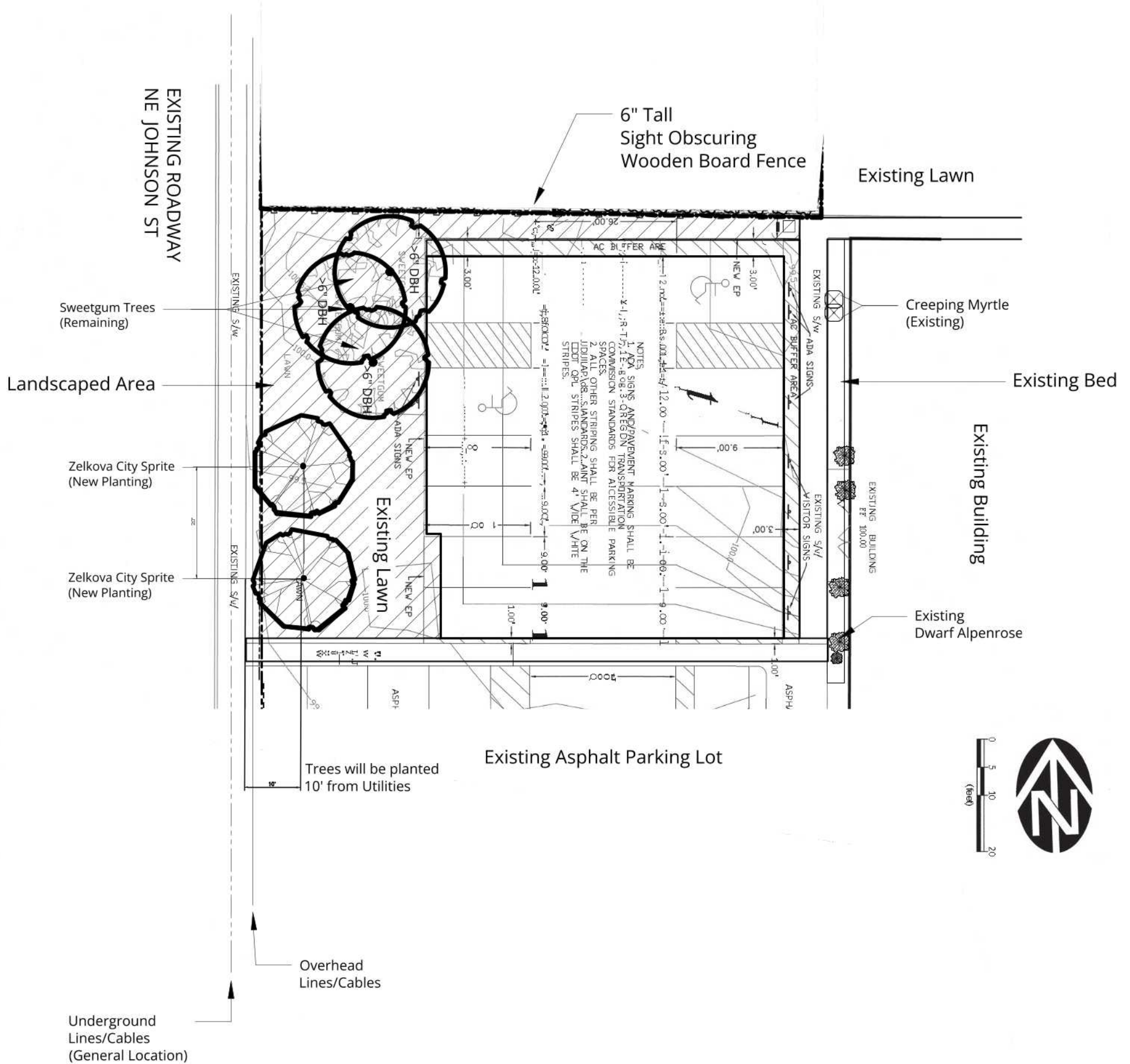
  
\_\_\_\_\_  
Applicant's Signature

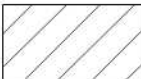
10/07/2024  
\_\_\_\_\_  
Date

\_\_\_\_\_  
Property Owner's Signature

\_\_\_\_\_  
Date

**Received**  
 December 27, 2024  
 Community  
 Development Center



 Landscaped Area of Site C5.0 = ±2,903 SF  
 Total Area of Site C5.0 = ±8,445 SF  
 % of Site C5.0 Landscaped = ±34%  
 All Existing Trees on Plan are to Remain  
 No installed irrigation system; hand water until established

'Zelkova City Sprite' 25' Mature Height 20' Mature Width		2.25" cal size at time of planting	2 New Trees
--	---	---------------------------------------	----------------

**SITE ADDRESS:**  
 2631 NE MCDONALD LN.  
 MCMINNVILLE, OR 97128

## **EXHIBIT 2 - STAFF REPORT**

**DATE:** February 19, 2025  
**TO:** Landscape Review Committee Members  
**FROM:** Taylor Graybehl, Senior Planner  
**SUBJECT:** Landscape Plan Review Application L 1-25

### **STRATEGIC PRIORITY & GOAL:**



### **GROWTH & DEVELOPMENT CHARACTER**

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

**OBJECTIVE/S:** Strategically plan for short and long-term growth and development that will create enduring value for the community

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### **Report in Brief:**

This proceeding is a review by the Landscape Review Committee (LRC) of an application submitted by Ed Christensen, Welkin Engineering PC, on January 9, 2025 for proposed landscaping located at 900 SW Booth Bend Road, Tax Lot No. R4429 02500.

Staff recommend the Landscape Review Committee continue the item to allow the applicant to revise the Landscape Plan to comply with the recommended conditions of approval specified in the attached Decision Document.

In either case, the applicant will be responsible for resubmitting landscape plans before issuing a building permit. However, if those conditions are addressed prior to Landscape Review Committee approval it'll likely decrease the number of revisions required to finalize the project.

### **Discussion:**

Please refer to the Decision Document for the conclusionary findings, maps, plans, and background information.

### ***Application Summary***

The Landscape Plan Review application is a request for the landscaping, fencing, and irrigation of a vacant site associated with developing a Tractor Supply building to include a fenced outdoor display area, a permanent trailer equipment display area, parking lot, street tree and tree removal, street tree plantings, and a new building.



Figure 1. Vicinity Map



Attachments:

Attachment A – Decision L 1-25

Figure 2. Landscape Plan

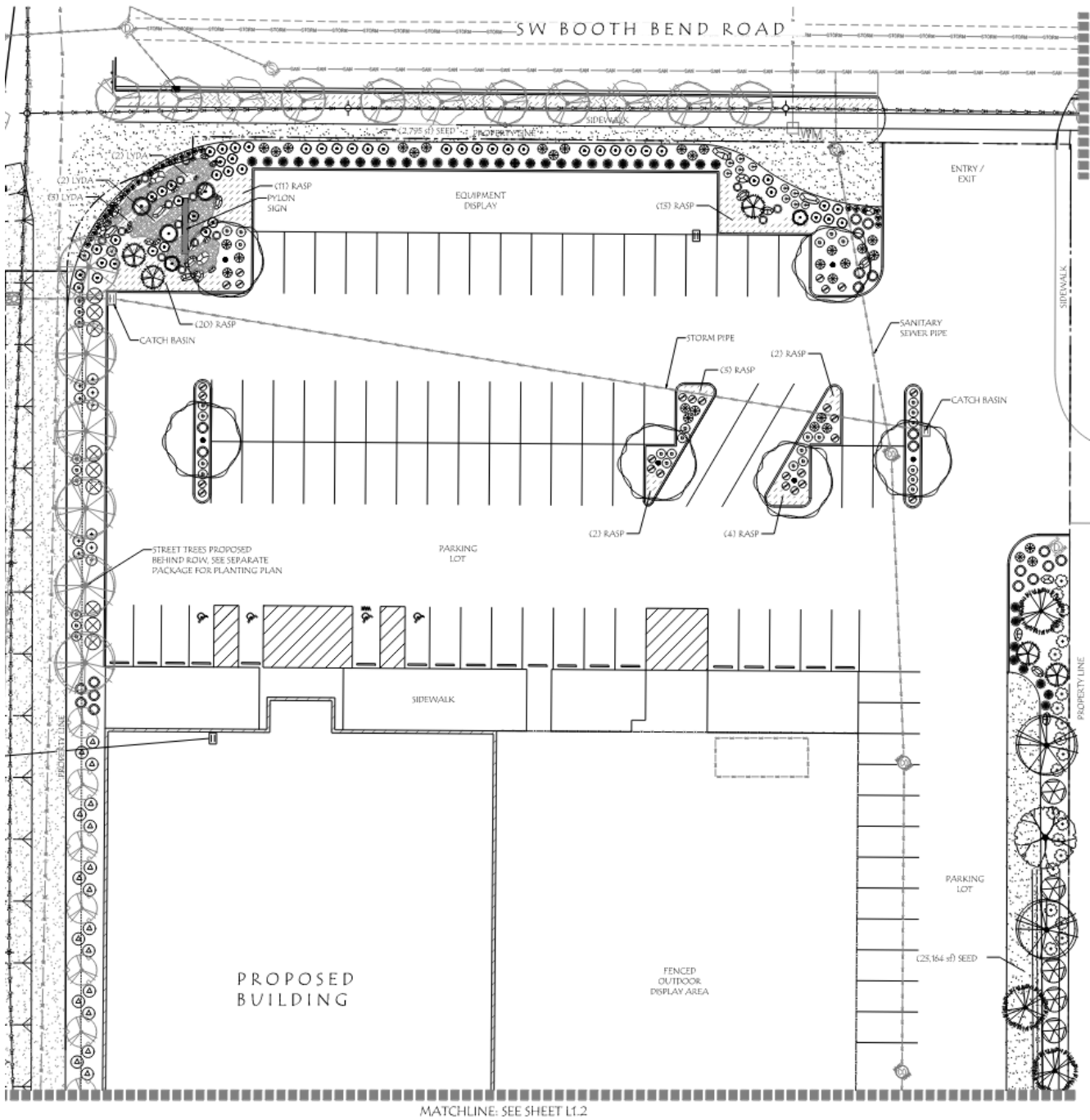
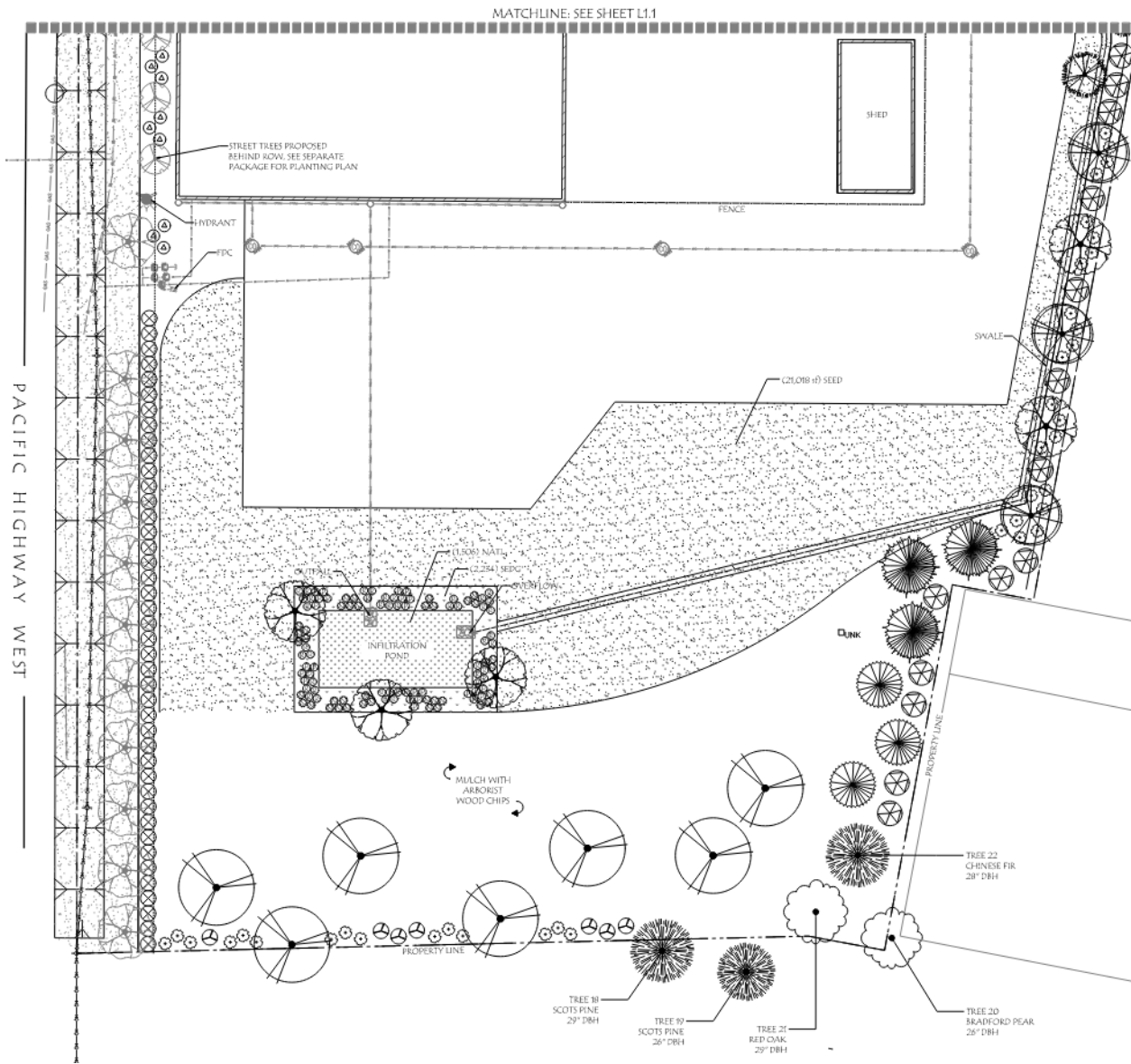


Figure 2. Landscape Plan



### ***Review Process***

The application was deemed complete on January 9, 2025 and notice was sent to the McMinnville Public Works Department, McMinnville Engineering, and McMinnville Water and Light. The City of McMinnville did not provide public notice of the application, as Landscape Plan Review applications are reviewed by the process described in Chapter 17.57 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.

### ***Summary of Criteria and Issues***

Decisions and/or recommendations for approval of the Landscape Plan Review application depend on whether the application meets state regulations, the McMinnville Comprehensive Plan, and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

Landscape Plan Review applications are subject to Chapter 17.57 of the McMinnville Municipal Code (MMC). The applicant has requested discretionary review, subject to MMC 17.57.050(2), seeking a waiver to a standard within Chapter 17.57. The Landscape Review Committee (LRC) may permit a waiver from the standards of Chapter 17.57 if the applicant successfully demonstrates that a design feature or overall concept is provided that meets or exceeds that standard waived.

### **Attachments**

1. Decision Document with Attached Application

### **Landscape Review Committee Options**

1. **CONTINUE** the application, requesting the applicant to submit more information or details for review.
2. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
3. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

### **Staff Recommendation:**

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied. However, the number of revisions required may lead to additional difficulties with moving the Landscape Plan and associated building permits through approval.

Staff **RECOMMENDS CONTINUANCE** of the application, or **APPROVAL** subject to the conditions specified in the attached Decision Document.

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*Attachments:*

*Attachment A – Decision L 1-25*

**Suggested Motions:**

**THAT LANDSCAPE PLAN REVIEW APPLICATION (L 1-25) BE CONTINUED TO MARCH 19, 2025.**

**OR**

**THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION (L 1-25) SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT**

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*Attachments:*

*Attachment A – Decision L 1-25*





**CITY OF MCMINNVILLE  
COMMUNITY DEVELOPMENT**  
231 NE FIFTH STREET  
MCMINNVILLE, OR 97128  
503-434-7311  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

**DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE APPROVAL OF A LANDSCAPE PLAN REVIEW FOR PROPERTY AT 900 SW BOOTH BEND ROAD**

- DOCKET:** L 1-25 (Landscape Plan Review)
- REQUEST:** Approval of a Landscape Plan Review for the property at 900 SW Booth Bend Road
- LOCATION:** 900 SW Booth Bend Road, Tax Lot R4429 02500
- ZONING/Overlay:** C-3 (General Commercial)
- APPLICANT:** Ed Christensen, Welkin Engineering PC
- STAFF:** Taylor Graybehl, Senior Planner
- DATE RECIEVED:** January 9, 2025
- DECISION-MAKING BODY & ACTION:** McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.
- MEETING DATE & LOCATION:** February 12, 2025, McMinnville Community Development Center, 231 NE 5<sup>th</sup> Street, and via Zoom online meeting
- PROCEDURE:** Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.
- CRITERIA:** The applicable criteria are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance, McMinnville City Code.
- APPEAL:** The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.
- COMMENTS:** This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

**DECISION**

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 1-25) **subject to the conditions of approval provided in Section II of this document.**

////////////////////////////////////  
**DECISION: APPROVAL WITH CONDITIONS**  
////////////////////////////////////

Planning Staff: \_\_\_\_\_ Date: \_\_\_\_\_  
Taylor Graybehl, Senior Planner

Planning Department: \_\_\_\_\_ Date: \_\_\_\_\_  
Heather Richards, Planning Director

---

*Attachments :*  
Attachment 1 – Application and Attachments  
Attachment 2 - Revised Application (received 2/8/25)  
Attachment 3 - Street Tree Planting Standards

## **I. APPLICATION SUMMARY:**

### ***Subject Property***

The subject site is located at 900 SW Booth Bend Road, Tax Lot R4429 02500. **See Figure 1 (Aerial/Vicinity Map).** The property is zoned as C-3 (General Commercial). **See Figure 2 (Zoning Map).**

The subject site is currently vacant with sparse shrubbery, trees, pavement, and a chain link fence. The property has street frontage along Highway 99W and SW Booth Bend Rd; both street frontages are partially improved with drainage ditch and street trees but no sidewalks or curbs. The site takes access from SW Booth Bend with a private driving connection to the residential use to the east. The subject site falls within Highway 18/99W South Interchange Access Management Plan. It is subject to design requirements identified by the City and the Oregon Department of Transportation, which may be modified for future development.

### ***Application***

The applicant requests approval for a landscape plan to construct a new *Retail* use development to place a Tractor Supply Building on the subject site. Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans – Submittal and review – Approval – Time limit for completion) of the McMinnville Zoning Ordinance. Beyond landscaping, the application references additional proposed actions: building construction, right-of-way improvements, sign installation, and stormwater management. These proposed actions require separate permit applications and will be reviewed for compliance with standards at the time of application.

The subject site is approximately 4.6 acres in size, and the applicant has proposed a 21,930-square-foot building, a 20,046-square-foot display yard, and an approximately 70,000-square-foot parking and driving area. The project exceeds the requirement minimum landscape percentage of seven (7%) percent, providing approximately thirty-eight (38%) of the site as landscaped.

The landscape plan indicates the new building will be located towards the center of the site in the north-south direction adjacent to HWY 99W. A fenced display yard is proposed east of the building, with a paved loading area and infiltration pond to the south, a parking area to the north, and a display area between the parking area and SW Booth Bend. Landscaping is proposed around the site's exterior with a mixture of trees, shrubs, and ground cover. The interior of the site has landscaping proposed within the parking area. All plants are proposed to be irrigated with a permanent irrigation system. **See Figure 3 (Landscape Plan).**

The applicant has proposed removing six (6) street trees and forty-seven (47) on-site trees. Plans show the planting of seven (17) street trees and thirty-nine (39) on-site trees.

On-site trees are proposed primarily along the southern and eastern property, which will screen the proposed use from Highway 18 and the neighboring residential use to the east. Additional on-site trees are located within the parking area's end islands.

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### ***Attachments :***

Attachment 1 – Application and Attachments  
Attachment 2 - Revised Application (received 2/8/25)  
Attachment 3 - Street Tree Planting Standards

Along HWY 99W, the applicant has proposed the removal of four (4) street trees to be replaced by twenty-three (23) street trees: eleven (11) Persian Parrotia adjacent to the overhead lines, six (6) Wildfire Tupelo, and nine (9) Fastigiata European Beech. The applicant proposes the removal of ten (10) street trees along SW Booth Bend, of which five (5) are located adjacent to the property to the east, with the planting of seventeen (17) trees, including twelve (12) Tuscarora Crape Myrtle and five (5) Summer Sprite Littleleaf Linden.

The applicant has proposed two (2) parking areas one (1) between the proposed building and SW Booth Bend Road and one (1) between the proposed outdoor display area and the abutting residential use. The parking area north of the building is marked by long parking rows with end islands, and the area to the east has long parking rows without end islands. The northern parking area contains trees, shrubs, and ground cover.

Staff recommends approval of the landscape plan with the revisions/conditions identified in the conditions of approval to comply with the findings of fact.

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*Attachments :*

Attachment 1 – Application and Attachments

Attachment 2 - Revised Application (received 2/8/25)

Attachment 3 - Street Tree Planting Standards

Figure 1: Aerial Photo/Vicinity Map

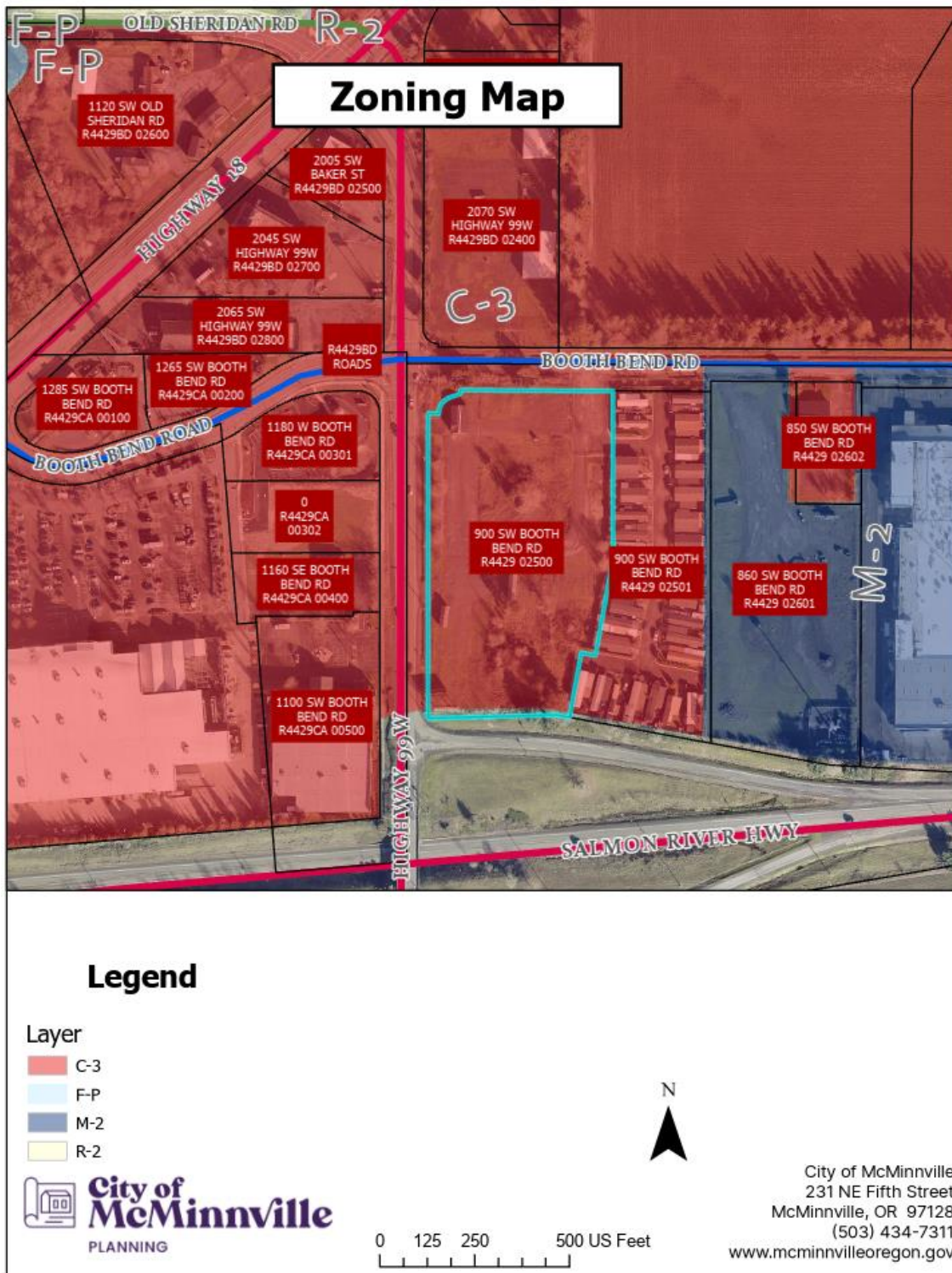


**Attachments:**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards



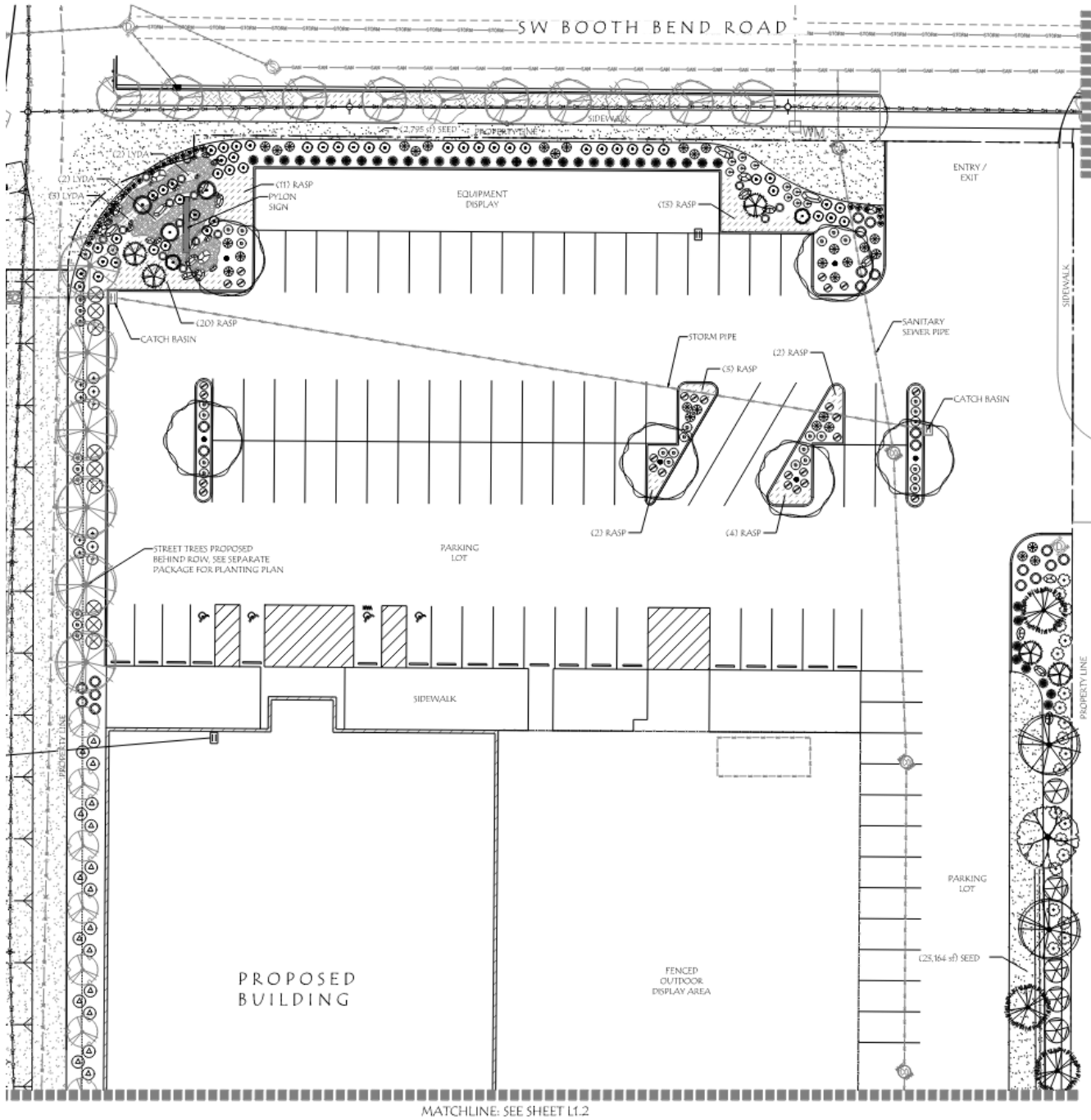
**Figure 2: Zoning Map**



**Attachments :**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards

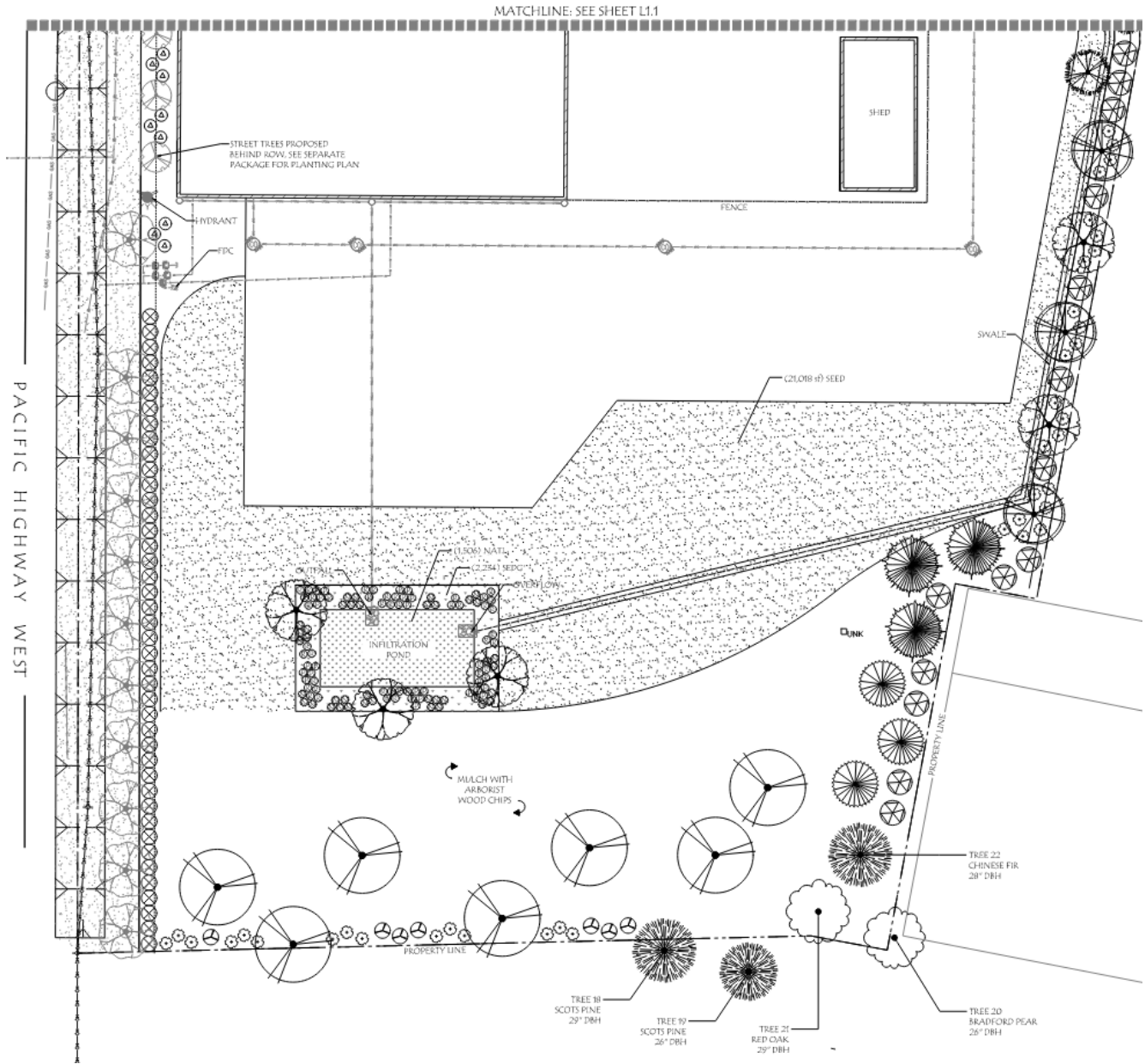
Figure 3. Landscape Plan



- Attachments:
- Attachment 1 – Application and Attachments
  - Attachment 2 - Revised Application (received 2/8/25)
  - Attachment 3 - Street Tree Planting Standards



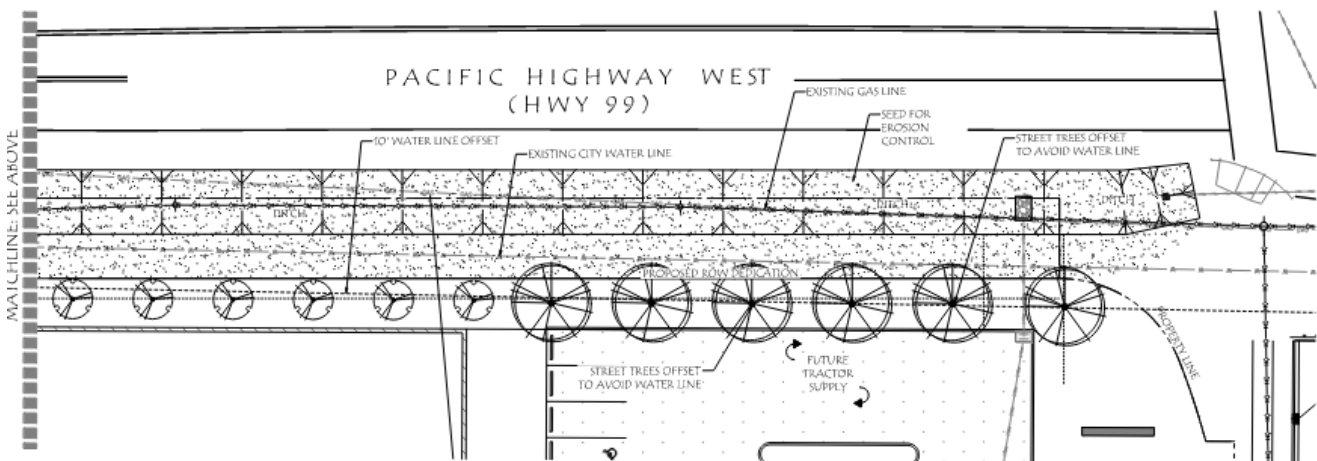
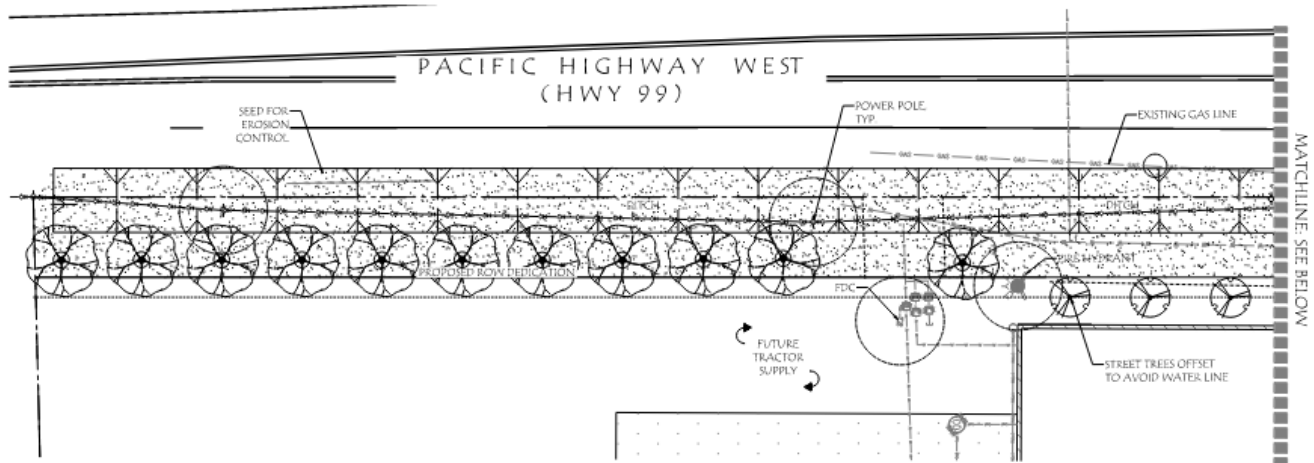
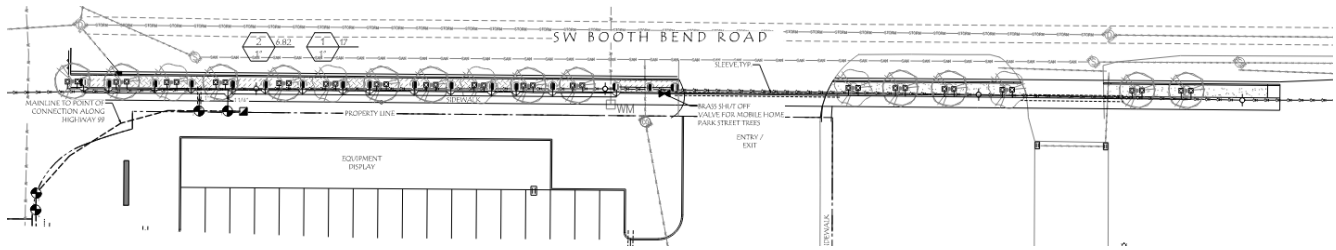
Figure 3. Landscape Plan



**Attachments :**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards

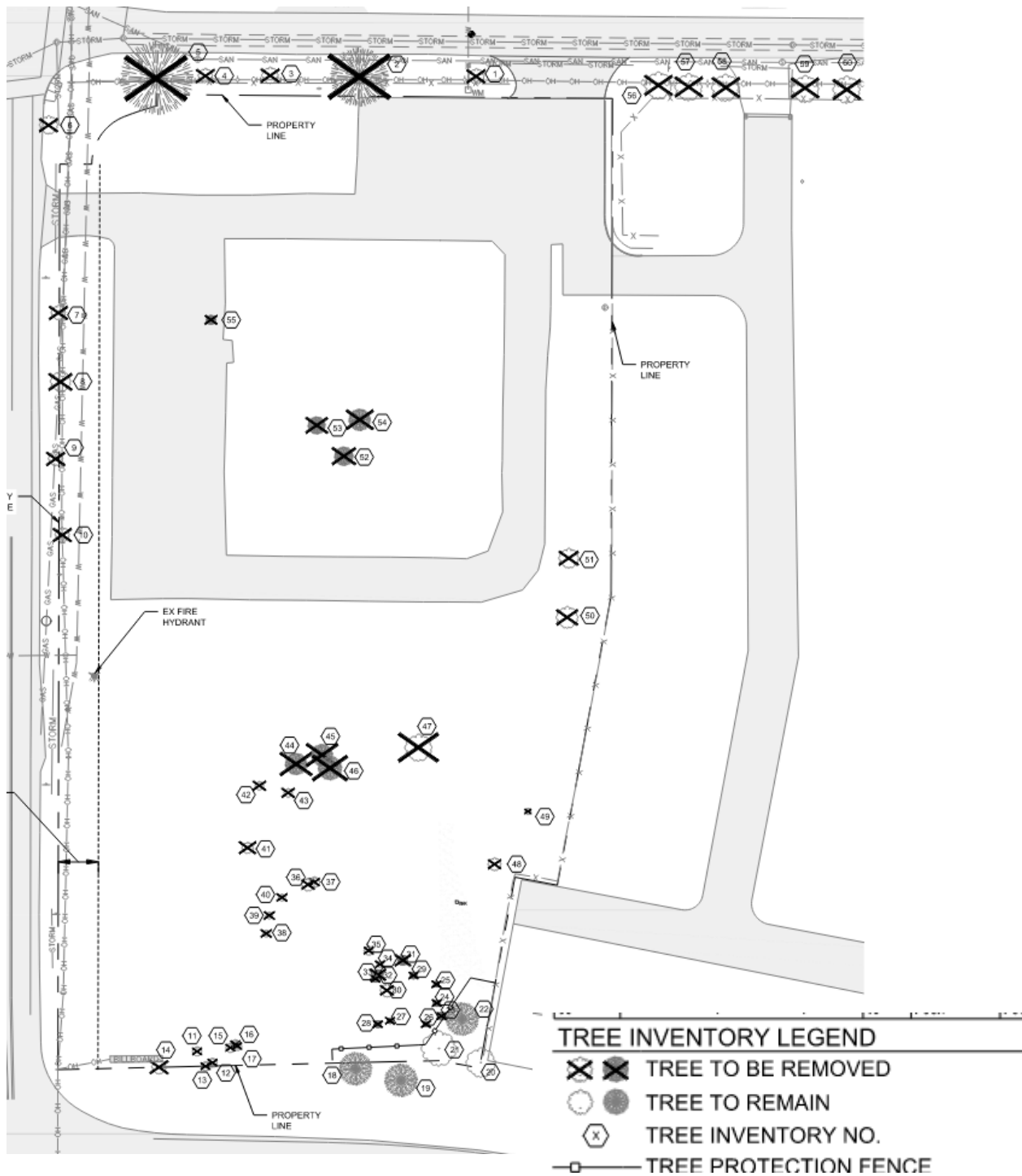
Figure 3. Landscape Plan



**Attachments:**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards

Figure 3. Landscape Plan



**Attachments :**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards

### **Summary of Criteria**

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The development is proposed on land zoned C-3 (General Commercial) which is required to be landscaped by MMC Section 17.57.030. Therefore, landscaping is required subject to the criteria and standards described in MMC Chapter 17.57-Landscaping.

### **II. CONDITIONS:**

1. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan in compliance with the conditions of approval and receive approval of the landscape plan. (MMC 17.57.050(A)(1))
2. Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to the issuance of the building permit. (MMC 17.57.050(C))
3. A temporary occupancy permit may be issued prior to the complete installation of all required landscaping subject to the standards of MMC 17.57.050(D).
4. Prior to the issuance of a certificate of occupancy or return of security, landscaping shall be inspected by the Planning Director or designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))
5. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that identifies the amount of landscaped area and the percentage of the gross area to be landscaped. (MMC 17.57.060(C))
6. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that provides additional evergreen plantings, shade trees, fences, or a combination to establish sight-obscuring screening along the eastern property line. If the applicant will make use of landscaping only, they shall identify the screening at the time of planting and expected mature growth, with the mature growth date identified. (MMC 17.57.070(B)(2))
7. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan with:
  - a. a landscaped end island located at the easternmost point of the parking spaces immediately north of the display yard;
  - b. landscape islands equally distributed throughout the parking lot, with landscape islands spaced not more than 60 feet apart; and

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#### **Attachments :**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards

- c. all landscaped end and landscape islands planted with a suitable tree, not prohibited by Section 17.57.070(B)(5). (MMC 17.57.070(B)(4))
8. Prior to the issuance of a building permit, the applicant shall submit a revised irrigation plan showing suitable watering facilities or irrigation systems in or near all planted areas. (MMC 17.57.070(B)(6))
9. Irrigation shall not be installed within ODOT right-of-way. If required, the applicant shall submit a revised landscape plan showing street trees outside ODOT right-of-way based on future right-of-way dedication.
10. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).
11. Tree(s) shall be removed or pruned following accepted arboricultural pruning practices, such as those published by the International Society of Arboriculture (ISA). (MMC 17.58.040(B))
12. All costs and liability associated with tree removal, pruning, and stump grinding shall be borne by the applicant and all work shall be done in a manner which ensures safety to individuals and public and private property. (MMC 17.58.040(C))
13. Prior to the issuance of a building permit and removal of trees, the applicant shall submit revised plans showing new tree plantings in a ratio of at least one to one (1:1) with those removed. (MMC 17.58.040(D))
14. The applicant is responsible for grinding stumps and surface roots at least six (6) inches below grade. At least a two-inch-thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two (2) inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. (MMC 17.58.040(E))
15. The removal of those trees identified for removal in the Arborist report and the required replanting, per COA #13, shall occur by April 1, 2026. (MMC 17.57.040(F))
16. That street trees shall not be installed within ODOT right-of-way. If required, the applicant shall submit a revised landscape plan showing street trees outside ODOT right-of-way based on future right-of-way dedication.
17. Prior to the issuance of a building permit, the applicant shall submit revised landscape plans to include city design drawings and specifications for street trees as established in MMC 17.58.040(H).
18. Trees within ten (10) feet of sidewalks shall be planted according to city design drawings and specifications (see attachment). (MMC 17.58.040(H))
19. Trees shall be protected per MMC 17.58.075.

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*Attachments :*

Attachment 1 – Application and Attachments

Attachment 2 - Revised Application (received 2/8/25)

Attachment 3 - Street Tree Planting Standards

20. Prior to the issuance of a building permit, the applicant shall submit revised plans with notes identifying the protection of trees per MMC 17.58.075.
21. Prior to the issuance of a building permit, the applicant shall submit revised landscape plans that identify street trees to have a minimum diameter of two (2) inches measured at six (6) inches above ground level and note that all street trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety and free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC 17.58.090(B))
22. Street trees shall be planted to spacing standards established in MMC Section 17.58.090(E), not to be planted within:
  - a. Five (5) feet of a private driveway or alley;
  - b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm, or water line; or
  - c. Twenty (20) feet of street light standards or street intersections.
23. Street trees, besides those subject to MMC 17.57.040(F), shall be installed at the time all other required landscaping is installed. (MMC 17.58.100(B))
24. Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))
25. Street trees shall be maintained in perpetuity, and if they must be replaced, they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))
26. Street trees shall be maintained continually per MMC 17.58.120(D):
  - a. This includes necessary watering, weeding, pruning, and replacement.
  - b. Street shall be pruned with at least
    - i. eighteen (18) feet of clearance above HWY 99W.
    - ii. fifteen (15) feet of clearance above SW Booth Bend Road.
  - c. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.
27. Prior to the issuance of a building permit, the applicant shall submit revised plans including sufficient information to determine if standards within Section 17.61.030(A) are met, including:
  - a. Minimum size requirement as determined by the collection agency
  - b. The enclosure spaced at least two (2) feet from an existing or proposed structure
  - c. Elevation demonstrating the height of the enclosure is six (6) inches higher than the top of the tallest container.

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*Attachments :*

Attachment 1 – Application and Attachments  
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Attachment 3 - Street Tree Planting Standards

28. Prior to the issuance of a building permit, the applicant shall submit revised plans with landscaping on three (3) sides of the trash enclosure structure of climbing vines and screening shrubs or hedges with a minimum height of three (3) feet at the time of planting.
29. Prior to the issuance of a building permit, the applicant shall submit plans indicating the design of the trash enclosure in compliance with MMC 17.61.030(E).
30. Prior to the issuance of a building permit, the applicant shall submit revised landscape plans with a trash enclosure in compliance with MMC 17.61.030(G).
31. Prior to the issuance of a building permit, the applicant shall submit revised landscape plans with a trash enclosure in compliance with MMC 17.61.030(H).
32. This approval is for landscaping only, and the applicant is responsible for obtaining any other required permits.

### **III. ATTACHMENTS:**

1. (L 1-25) Application and Attachments (on file with the Planning Department)
2. (L 1-25) Revised Application (received 2/8/25)
3. Street Tree Planting Standards

### **IV. COMMENTS:**

#### ***Agency Comments***

This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, McMinnville Water and Light, and Oregon Department of Transportation.

The following comments were received:

#### City of McMinnville Engineering Division

1. If final approved civil plans conflict with previously approved landscape and irrigation plans, the landscape and irrigation plans will need to be revised to reflect final civil design.
2. Any landscape and irrigation required for any stormwater detention facilities will be reviewed by the City Engineering Department with the civil engineering design submittal.

#### City of McMinnville Public Works:

1. The proposed trees along Hwy 99 on the south end of the property appear to be in ODOT ROW and would need permits and ODOT approval. It's unclear to me in the drawing if these trees conflict with the water line, so that would need to be verified.
2. The trees on the north end appear to be outside the ROW, and thus outside of our purview.

---

#### *Attachments :*

Attachment 1 – Application and Attachments  
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3. Similarly, it appears that the irrigation on the south end is in ODOT ROW; these would need ODOT approval and permits as well.
4. The proposed trees along Booth Bend Road are in the City's ROW, and are trees listed in the recommended tree list. The applicant shall place the trees in such a manner as not to impede sight distance for vehicles exiting the property onto Booth Bend. The applicant shall verify that the proposed tree on the east side will not impact sight distance. That same criteria shall apply to trees planted adjacent to the access to the existing mobile home park.
5. Street trees along both Hwy 99 (if approved by ODOT) and Booth Bend Road shall be 2" in caliper and planted as per the City's approved detail.

#### McMinnville Water and Light

1. Landscape plan may need adjusted to conform with MW&L Clearances around equipment once power design is finalized.
2. Power plan is not approved as drawn. Civil Engineer to consult with McMinnville Water & Light to overlay power design by MW&L onto plan set. Contact McMinnville Water and Light for details. The approved plan and design will be incorporated into the extension agreement between McMinnville Water and Light and owner/developer.
3. Landscape Plan shows trees planted within MW&L easement. All trees planted near power lines need to be on the approved street tree list for planting underneath overhead lines.

#### Oregon Department of Transportation

1. Street trees should not be placed in ODOT ROW.
2. Irrigation appurtenances should not be placed in ODOT ROW.
3. Page 45 of 47 of the submittal shows irrigation features in ODOT ROW at the corner of Booth Bend and 99W.
  - a. Consider revising sheet names, I was going to call out sheet L2.1 but there are 3 different L2.1 sheets in the plans.
4. It appears that the irrigation noted above are the only features shown in ODOT ROW, however it is unclear if the applicant is donating property to ODOT or providing a PUE to McMinnville. Sheet L1.1 (Page 23 of 47) shows a proposed ROW dedication while sheet 003 (Page 30 of 47) shows 25' City of McMinnville Water & Light Easement.

#### **Public Comments**

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director's decision.

#### **V. FINDINGS OF FACT - PROCEDURAL FINDINGS**

2. The application was submitted on January 9, 2025.

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#### *Attachments :*

Attachment 1 – Application and Attachments  
Attachment 2 - Revised Application (received 2/8/25)  
Attachment 3 - Street Tree Planting Standards

3. Notice of the application was referred to the following public agencies for comment on January 13, 2025 McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
4. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
5. A public meeting was held by the Landscape Review Committee on February 12, 2025, to review the application and proposed landscape plan.

## **VI. FINDINGS OF FACT - GENERAL FINDINGS**

1. **Location:** 900 SW Booth Bend Road, Tax Lot R4429 02500
2. **Size:** The lot is approximately 4.6 acres
3. **Comprehensive Plan Map Designation:** Commercial
4. **Zoning:** C-3 (General Commercial)
5. **Overlay Zones/Special Districts:** None.
6. **Current Use:** Vacant
7. **Inventoried Significant Resources:**
  - a. **Historic Resources:** None
  - b. **Other:** None
8. **Other Features:** This property has no identified significant or distinguishing natural features.
9. **Utilities:** Utilities are available to the site. Overhead utilities are present on Highway 99W NE Orchard Avenue and SW Booth Bend Road.
10. **Transportation:** The property is accessed from one (1) SW Booth Bend Road driveway. NW Booth Bend Road is identified as a Major Collector and Highway 99W is identified as a Major Arterial.

## **VII. CONCLUSIONARY FINDINGS:**

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicable standards for Street Trees are specified in Section 17.58.090 of the Zoning Ordinance. The applicable standards for Solid Waste and Recycling Enclosures are specified in Section 17.61.030.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

### ***Comprehensive Plan Volume II:***

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***Attachments:***

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan (MCP) provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

**GOAL X 1:** *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMINNVILLE.*

*Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

### ***McMinnville Zoning Ordinance***

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

#### **Chapter 17.57 Landscaping**

**17.57.010 Purpose and intent.** *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
  1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
  2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
  3. *Mitigate the loss of natural resources.*
  4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
  5. *Create safe, attractively landscaped areas adjacent to public streets.*

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- Attachment 3 - Street Tree Planting Standards

6. *Require the planting of street trees along the City's rights-of-way.*
7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
8. *Provide shade, and seasonal color.*
9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

*It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.*

*The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the purpose and intent of the Landscape 17.57 chapter of the Community Development Code.

**FINDING: SATISFIED WITH CONDITIONS.** Subject to conditions of approval detailed below, the proposed landscape plan is consistent with the purpose of this chapter.

**17.57.030 Zones where required.** *Landscaping shall be required in the following zones except as otherwise noted:*

- A. *R-4 (Multiple-Family Residential zone, except the construction of a Single-Family or Two-Family Residential unit);*
- B. *C-1 (Neighborhood Business zone);*
- C. *C-2 (Travel Commercial zone);*
- D. *C-3 (General Commercial zone);*
- E. *O-R (Office/Residential zone);*
- F. *M-L (Limited Light Industrial zone);*

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- G. M-1 (Light Industrial zone);
- H. M-2 (General Industrial zone).

**APPLICANT'S RESPONSE:** The proposed development is within the C-3 (General Commercial) zone; therefore, landscaping is required subject to landscaping requirements of commercial zones and the criteria and standards described in Chapter 17.57 – Landscaping. The applicant will comply with the landscaping requirements set out in Chapter 17.57.

**FINDING: SATISFIED/APPLICABLE.** The proposed development is within the C-3 (General Commercial); therefore, landscaping is required subject to landscaping requirements of commercial zones and the criteria and standards described in Chapter 17.57 – Landscaping.

**17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.**

**17.57.050(A).** *At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.*

1. *No building permit shall be issued until the landscaping plan has been approved.*
2. *The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #1.** The applicant must comply with the above standards by submitting a revised landscape plan that is in compliance with the conditions of approval prior to the issuance of a building permit.

**CONDITION OF APPROVAL #1.** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan in compliance with the conditions of approval and receive approval of the landscape plan. (MMC 17.57.050(A)(1))

**17.57.050(B).** *Landscaping review shall occur within 30 (thirty) days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 (thirty) days shall be considered as approval of the plan;*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

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**FINDING: SATISFIED.** The application and fee were received on January 9, 2025. Within 30 days of submission, the Landscape Review Committee met and heard on the proposal on February 12, 2025. The applicant was notified of the time and place of review.

**17.57.050(C).** *The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #2.** The proposed conditions of approval make the landscape plan compatible with this chapter's purpose, intent, and requirements. The applicant is required to submit a revised landscape plan for review and approval prior to the issuance of a building permit. If the applicant seeks modification of the approved landscape plan it must be agreed to in writing prior to the issuance of a building permit.

**CONDITION OF APPROVAL #2:** Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to the issuance of the building permit. (MMC 17.57.050(C))

**17.57.050(D).** *Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

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**FINDING: SATISFIED WITH CONDITION OF APPROVAL #3.** The issuance of a temporary occupancy permit prior to the complete installation of landscaping may be permitted by the Planning Director. If permitted by the Planning Director, the amount of security, time frame, and potential use of the security to finalize landscaping must comply with this criterion.

**CONDITION OF APPROVAL #3:** A temporary occupancy permit may be issued prior to the complete installation of all required landscaping subject to the standards of MMC 17.57.050(D).

**17.57.050(E).** *All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan.*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #4.** Issuance of an occupancy permit or return of security requires the inspection of the landscape project by the Planning Director or their designee which finds the landscaping in compliance with the approved plans. Minor changes in the landscape plan shall be allowed by the Planning Director or their designee in some cases.

**CONDITION OF APPROVAL #4:** Prior to the issuance of a certificate of occupancy or return of security, landscaping shall be inspected by the Planning Director or designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))

**17.57.060 Plans** - *Information to be Included. The following information shall be included in the plans submitted under Section 17.57.050:*

- A. *Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the rip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;*
- B. *The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;*
- C. *The percentage of the gross area to be landscaped;*
- D. *Any equipment proposed for recreation uses;*
- E. *All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;*

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- F. *The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;*
- G. *All of the information on the plot plan for the building permit.*

**APPLICANT’S RESPONSE:** Applicant has provided all the required plan information from 17.57.060 on the site, arborist, and landscaping plans for the proposed property. They are all provided in this submittal. Per the Site and Landscape Plans, the site contains 38.0% landscaping, far exceeding the City’s guidelines for good site planning.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #5.**

- A. **Satisfied:** The applicant has identified those trees on-site, their variety, and if they are to remain or be removed.
- B. **Satisfied:** The location, variety, and size of new plantings (trees, shrubs, ground cover) have been identified.
- C. **Satisfied With Condition:** The applicant has not identified the percentage of the gross area to be landscaped and will need to submit a revision that includes that percentage.
- D. **Not Applicable:** No equipment for recreational uses is proposed.
- E. **Satisfied:** The provided plans identify proposed site features.
- F. **Satisfied:** The application includes an irrigation plan identifying the location of irrigation systems.
- G. **Satisfied:** The plans provide sufficient information; the applicant will be responsible for ensuring that future building permit applications comply with the approved landscape plans.

**CONDITION OF APPROVAL #5:** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that identifies the amount of landscaped area and the percentage of the gross area to be landscaped. (MMC 17.57.060(C))

**17.57.070 Area Determination – Planning Factors.**

**17.57.070(A).** *Landscaping shall be accomplished within the following ranges:*

**17.57.070(A)(2).** *Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*

**APPLICANT’S RESPONSE:** Per the Site and Landscape Plans, the site contains 38.0% landscaping, far exceeding the City’s guidelines for good site planning.

**FINDING: SATISFIED.** The applicant has proposed approximately 76,140 square feet of landscaping calculated at seventeen percent (38%) of the site landscaped. The applicant has exceeded the minimum seven percent (7%) requirement.

**17.57.070(A)(4).** *A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection 2 of this section.*

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- Attachment 3 - Street Tree Planting Standards

**APPLICANT'S RESPONSE:** Per the Site and Landscape Plans, the site contains 11,942.6 sf of landscaping immediately adjacent to the 48,266.6 sf of asphalt customer parking. The percentage of landscaping immediately adjacent to the customer parking equates to 24.7%, far exceeding the City's guidelines for good site planning.

**FINDING: SATISFIED.** The applicant has proposed approximately 11,900 square feet of landscaping, including eighteen (18) trees, shrubs, and ground cover adjacent to the customer parking. The customer parking area is approximately 48,300 square feet; the applicant proposes providing approximately 24.7% landscaping adjacent to the parking area, exceeding the minimum seven percent (7%) requirement.

**17.57.070(B).** *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

**17.57.070(B)(1).** *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

**APPLICANT'S RESPONSE:** The existing property is surrounded by roads on 3 sides. To the east it abuts a C-3 (General Commercial Zone) that has been developed as a manufactured home park, which has a 35 ft access easement over the eastern portion of the existing access driveway. The existing access driveway will be improved at the entry with a concrete driveway, but otherwise it will not be changed. From the existing driveway south of the manufactured home park driveway, the project is showing a 20 ft minimum landscaping buffer adjoining the manufactured home park.

Per a development agreement with the City, the frontage to the manufactured home park will be improved with this development. A planter strip will be included with the frontage improvements, which will accompany this application. Along the Highway 99 frontage, ODOT is requiring a ±4 ft asphalt widening and a rebuilt drainage ditch. The ditch and remaining unpaved ROW will be landscaped and street trees added. The trees along the entire frontage and manufactured home park, will have a low height restriction due to the significant amount of power and communication lines fronting the sites.

**FINDING: SATISFIED.** The subject site is zoned as C-3 (General Commercial) with sites zoned as C-3 (General Commercial) to the north, east, and west. The surrounding use is storage to the north, commercial uses to the west, residential to the east (manufactured dwelling park), and a Highway to the south. In those cases where commercial use (such as this project) is adjacent to residential use (the site to the east), design requirements are required to ensure compatibility. The landscape plan identifies a buffer of approximately 20 feet between the use and the neighboring residential uses, made of ground cover, shrubs, and trees. The width of the buffer, when improved with the screening as conditioned by Section 17.57.070(B)(2) will ensure compatibility.

**17.57.070(B)(2).** *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

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**APPLICANT'S RESPONSE:** Sight-obscuring plantings including large evergreen shrubs, conifers, and shade trees along with fencing are proposed along the east property line.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #6.** The subject site, and proposed use are visible from three (3) right-of-way and a neighboring residential use to the east. The applicant has proposed what appears to be a paved loading and storage area south of the building, with pavement designed for truck hauling. The applicant has provided landscaping along the common property line with the residential development to the east; however, the proposed landscaping does not appear dense or tall enough to provide a sight-obscuring screening.

**CONDITION OF APPROVAL #6:** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan that provides additional evergreen plantings, shade trees, fences, or a combination to establish sight-obscuring screening along the eastern property line. If the applicant will make use of landscaping only, they shall identify the screening at the time of planting and expected mature growth, with the mature growth date identified. (MMC 17.57.070(B)(2))

**17.57.070(B)(3).** *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

**APPLICANT'S RESPONSE:** There are no existing trees within the developed area recommended by the Arborist to be retained. Of the 55 trees evaluated by Teragan and Associated, Peter van Oss only 4 trees – 2 on-site and 2 off-site in the southeastern corner of the property were recommended to be retained. The full Arborist report is provided in this submittal.

**STATISFIED.** The applicant provided a revised Tree Plan attached on February 7, 2025. The Tree Plan identifies fifty-five (55) trees identifying the DBH, health condition, structure condition, crown radius, construction impact tolerance, field notes/comments, and if the tree is to be removed. All trees on site are identified to be removed. Removing a tree as part of a development project is subject to Chapter 17.58 Trees. Findings for tree removal are provided below.

**17.57.070(B)(4).** *The development and use of islands and plantings therein to break up parking areas.*

**APPLICANT'S RESPONSE:** The proposed property has islands and plants flanking the ends of the parking area to break up the lot. The parking lot, as laid out, is a prototypical layout for the Tractor Supply stores.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #7.** The applicant has proposed two parking areas, one located north of the proposed building adjacent to Highway 99W and Booth Bend Road and the second east of the proposed display yard, not adjacent to public

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Attachment 3 - Street Tree Planting Standards

streets. The applicant has proposed eighty-three (83) parking spaces, with seventy-one (71) parking spaces arranged in groupings of over sixty (60) feet in width without a planter island.

Section 17.57.010 Purpose and Intent identifies the following values, guidelines, and standards related to the proposed parking area landscaping:

*A. Provide guidelines and standards that will:*

- 4. Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
- 5. Create safe, attractively landscaped areas adjacent to public streets.*

The northern parking lot, as proposed, does not comply with Sections 17.57.010(A)(4) and (5) due to a lack of canopy coverage to reduce the harmful effects of heat. It will also create large, paved areas adjacent to public streets that are not attractively landscaped. To comply with the above standards, the applicant shall provide a landscaped end island adjacent to space 71 (as identified on sheet 004). In addition, landscaped islands shall be equally distributed throughout the parking lot, with landscaped islands separated by not more than sixty (60) feet. The new landscaped islands shall be planted with suitable trees, not those prohibited by Section 17.57.070(B)(5). The revised landscaped islands distribution and associated tree planting will bring the proposal into compliance with Section 17.57.070(B)(4).

**CONDITION OF APPROVAL #7:** Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan with:

- a. a landscaped end island located at the easternmost point of the parking spaces immediately north of the display yard;
- b. landscape islands equally distributed throughout the parking lot, with landscape islands spaced not more than 60 feet apart; and
- c. all landscaped end and landscape islands planted with a suitable tree, not prohibited by Section 17.57.070(B)(5). (MMC 17.57.070(B)(4))

**17.57.070(B)(5).** *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

**APPLICANT'S RESPONSE:** The applicant will be using one of the permitted trees in the development of the property, and no prohibited trees shall be used in the parking area or for street trees.

**FINDING: SATISFIED.** The applicant has proposed the use of suitable street trees and not proposed a prohibited tree in the parking area.

**17.57.070(B)(6).** *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

**APPLICANT'S RESPONSE:** The site will have an automatic underground water efficient irrigation system including street tree bubblers, sprinkler heads, drip zones, and a new backflow device at the water meter located west side behind the building. The automatic irrigation system will reach all landscape areas on the approved plans.

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**FINDING: SATISFIED WITH CONDITIONS #8 AND #9.** The applicant has included an irrigation plan that has identified suitable watering facilities. However, changes to the landscape plan are required as part of the approval conditions for this application. The applicant must provide a revised irrigation plan demonstrating how those new planting areas will be provided with suitable water facilities or irrigation systems. In addition, irrigation facilities are not permitted within the ODOT right-of-way and a condition is included to ensure compliance if right-of-way dedication is required as part of a separate permit.

**CONDITION OF APPROVAL #8:** Prior to the issuance of a building permit, the applicant shall submit a revised irrigation plan showing suitable watering facilities or irrigation systems in or near all planted areas. (MMC 17.57.070(B)(6))

**CONDITION OF APPROVAL #9:** Irrigation shall not be installed within ODOT right-of-way. If required, the applicant shall submit a revised landscape plan showing street trees outside ODOT right-of-way based on future right-of-way dedication.

**17.57.070(C).** *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.*

**APPLICANT'S RESPONSE:** Applicant understands and acknowledges the landscaping will be continually maintained per the LRC guidelines. Tractor Supply is well versed in the etiquette of maintaining a clean well landscaped site. A well landscaped and maintained site promotes a good customer base.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #10.** This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

**CONDITION OF APPROVAL #10:** All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).

### **Chapter 17.58 Trees**

**17.58.010 Purpose.** *The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).*

**APPLICANT'S RESPONSE:** The applicant understands and acknowledges the purpose of this chapter and the landscape plan is consistent.

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**FINDING: SATISFIED WITH CONDITIONS.** The applicant is subject to the standards of Chapter 17.58 including the purpose statement. The proposed conditions of approval bring the project into compliance with this section.

**17.58.020 Applicability.** *The provisions of this ordinance shall apply to:*

- A. *Individual significant or historic trees as defined in this ordinance.*
- B. *All trees with trunks located completely or partially within any public area or right-of-way;*
- C. *All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review; (Ord. 5027 §2, 2017; Ord. 4654B §1, 1997).*

**APPLICANT'S RESPONSE:** The applicant understands and acknowledges the applicability of this chapter and the landscape plan is consistent with this criterion.

**FINDING: APPLICABLE.** Those trees on the subject site and adjacent right-of-way are subject to the standards of Chapter 17.58.

**Section 17.58.040 Tree Removal/Replacement**

**17.58.040(A).** *The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the City. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal or major pruning. Applications shall be reviewed by the City Manager or City Manager's Designee (hereafter "Manager") or the Landscape Review Committee as provided in this Chapter, including Section 17.58.050. Only applications for Complex Tree Removal Permits shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 (thirty) days of submittal, except as authorized in Section 17.58.050. Requests for tree removal within the Downtown Tree Zone shall be submitted to the City. Such requests shall be acted upon as soon as practicable, with consideration given to public safety, value of the tree to the public, and work schedules. The Manager should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or Manager, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in Section 17.58.050. A decision of the committee or Manager may be appealed to the Planning Commission if written notice of the appeal is filed with the City within 15 (fifteen) days of the committee's or Manager's decision. A decision made by the Manager in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks, or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.*

**APPLICANT'S RESPONSE:** The applicant is requesting trees to be removed on the subject property consistent with the Teragan and Associates Arborist report dated 2/6/2025.

**FINDING: APPLICABLE.** The applicant has proposed the removal of trees on the subject site and is subject to the above requirements. The applicant has provided an Arborist report detailing the location, type, size, desired action, and reason for desired action for each tree.

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- Attachment 3 - Street Tree Planting Standards

The Landscape Review Committee may approve the removal of the trees with conditions. The applicant has the right to appeal as provided within this section.

**Section 17.58.040(B).** *Trees subject to this ordinance which are approved for removal or pruning shall be removed or pruned following accepted arboricultural pruning practices, such as those published by the International Society of Arboriculture (ISA) and any standards adopted by the City. The Manager, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.*

**APPLICANT'S RESPONSE:** This property is not in the downtown area. This criterion does not apply.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #11.**

**CONDITION OF APPROVAL #11:** Tree(s) shall be removed or pruned following accepted arboricultural pruning practices, such as those published by the International Society of Arboriculture (ISA). (MMC 17.58.040(B))

**Section 17.58.040(C).** *The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.*

**APPLICANT'S RESPONSE:** The applicant will be responsible for all costs associated with the tree removal and will ensure that all work is done in a manner which ensures safety to individuals and public and private property. This criterion will be adhered to.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #12.** The applicant has proposed the removal of trees subject to Chapter 17.58. The applicant is responsible for complying with the above standards.

**CONDITION OF APPROVAL #12:** All costs and liability associated with tree removal, pruning, and stump grinding shall be borne by the applicant and all work shall be done in a manner which ensures safety to individuals and public and private property. (MMC 17.58.040(C))

**Section 17.58.040(D).** *Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the City as part of the City's annual tree planting program.*

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**Attachments :**

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- Attachment 3 - Street Tree Planting Standards

**APPLICANT'S RESPONSE:** The applicant will be responsible for all costs associated with the tree removal and will ensure that all work is done in a manner which ensures safety to individuals and public and private property. This criterion will be adhered to.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #13.** The applicant has proposed removing six (6) street trees and forty-seven (47) on-site trees. Plans show the planting of seven (7) street trees and thirty-nine (39) on-site trees. This standard requires either the one-to-one replacement of trees or replacement based on tree value. To comply with this standard, the applicant is required to install additional on-site trees.

**CONDITION OF APPROVAL #13:** Prior to the issuance of a building permit and removal of trees, the applicant shall submit revised plans showing new tree plantings in a ratio of at least one to one (1:1) with those removed. (MMC 17.58.040(D))

**Section 17.57.040(E).** *The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two-inch-thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.*

**APPLICANT'S RESPONSE:** The trees removed from this site will include removing the root balls too and the site will be manicured. This criterion will be met.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #14.** The applicant has proposed the removal of trees subject to Chapter 17.58. Plans show the planting of sixty-five (65) trees. The applicant will be responsible for complying with this section as part of the removal.

**CONDITION OF APPROVAL #14:** The applicant is responsible for grinding stumps and surface roots at least six (6) inches below grade. At least a two-inch-thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two (2) inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. (MMC 17.58.040(E))

**Section 17.57.040(F).** *The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Manager's or Landscape Review Committee's decision. The Manager or Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.*

**APPLICANT'S RESPONSE:** The applicant understands and acknowledges the timeline from receiving the LRC's decision. Typically though, this site development will take much longer than 6 months to complete. The project timeline may take 18 months from start to finish, with landscaping occurring at the end of the construction timeline. We ask consideration for a longer removal to replacement for this project.

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**FINDING: SATISFIED WITH CONDITION OF APPROVAL #15.** The applicant has proposed the removal of trees subject to Chapter 17.58. Tree removal and replacement must follow the time period established in this section. To allow planting in a favorable season, the applicant will be permitted to replant trees until April 1, 2026. If necessary, the applicant may be required to return for a tree removal permit. If trees are to be removed, they must be replaced by April 1, 2026.

**CONDITION OF APPROVAL #15:** The removal of those trees identified for removal in the Arborist report and the required replanting, per COA #13, shall occur by April 1, 2026. (MMC 17.57.040(F))

**17.58.040(G).** *Other conditions may be attached to the permit approval by the Manager or Landscape Review Committee as deemed necessary.*

**APPLICANT’S RESPONSE:** The applicant understands there may be conditions by the LRC required to gain permit approval.

**FINDING: SATISFIED WITH CONDITION OF APPROVALS #16 AND #17.** Comments received from ODOT indicated that street trees cannot be placed in ODOT right-of-way. The landscape plans show a right-of-way that may change based on other permit requirements. A condition is proposed to ensure that street trees are not planted within ODOT right-of-way. In addition, landscape plans include planting standards that do not align with city standards (see Attachment 3). The applicant will revise plans to include city planting standards.

**CONDITION OF APPROVAL #16:** That street trees shall not be installed within ODOT right-of-way. If required, the applicant shall submit a revised landscape plan showing street trees outside ODOT right-of-way based on future right-of-way dedication.

**CONDITION OF APPROVAL #17:** Prior to the issuance of a building permit, the applicant shall submit revised landscape plans to include city design drawings and specifications for street trees as established in MMC 17.58.040(H).

**17.58.040(H).** *The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014, as may be subsequently amended. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict.*

**APPLICANT’S RESPONSE:** The applicant understands that the planting of street trees will be subject to the design drawings and specifications developed by the city in May 2014. The plans and specifications are provided herein are up to date. This criterion is met.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #18.** The applicant has proposed planting trees and street trees as part of the proposal. Those trees planted within ten (10) feet of the sidewalk shall be installed to standards.

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**CONDITION OF APPROVAL #18:** Trees within ten (10) feet of sidewalks shall be planted according to city design drawings and specifications (see attachment). (MMC 17.58.040(H))

**17.58.050                    Application Review and Criteria.**

- A. *Application for Simple Tree Removal Permit.*
1. *Review. Applications for simple tree removal permits shall be reviewed by the Manager in accordance with the requirements of this Chapter on a form containing information required by the Manager.*
  2. *Criteria. Each tree proposed for removal must meet at least one of the following criteria:*
    - a. *The tree is a hazard as determined by a Certified arborist, and the arborist has demonstrated that less intensive options than removal, such as pruning, cabling, or bracing of limbs would not abate the hazard or would have a significant adverse effect on the health of the tree.*
    - b. *The tree is dead or in an advanced state of decline.*
    - c. *The tree species is on the nuisance list for Oregon or the list of invasive trees published by OSU Extension.*
    - d. *Tree is infested with pests or disease.*
    - e. *The tree roots are causing damage to sidewalks or other infrastructure, and the damage can't reasonably be abated without removing the tree. In evaluating whether the damage can be reasonably abated without removing the tree, consideration shall be given to impacts of the necessary abatement on the tree's health, further damage to infrastructure that would occur if the tree is retained, and alternative methods of abatement that would retain and protect the tree and prevent further damage. When considering reasonable abatement methods, greater priority shall be placed on retention of larger, healthy trees.*
    - f. *The tree has sustained physical damage to an extent that necessitates its removal to address an issue of safety or tree health and aesthetics.*
    - g. *The proposed removal is part of an approved development project, a public improvement project where no reasonable alternative is available, or is part of a street tree improvement program. When considering reasonable alternatives, greater priority shall be placed on retention of larger, healthy trees.*
    - h. *If the tree is on an adopted list or inventory of trees identified by the City as part of an adopted tree protection program, such as a Heritage Tree list the decision shall also meet any applicable requirements related to the protection of such trees.*
  3. *Arborist Verification. In order to meet any of the above criteria for removal verification of tree health or a tree's impacts on infrastructure shall be required, at the expense of the applicant, by a Certified Arborist acceptable to the City. The Manager may waive the requirement for verification by an Arborist if it is reasonable to determine a tree is dead by inspection or other documentation required by the Manager. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).*
  4. *At the Manager's discretion, any simple tree removal permit application may be referred to the Landscape Review Committee for review, to be reviewed by the Committee within 30 days of submittal of the application.*

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Attachments :  
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**APPLICANT’S RESPONSE:** The applicant understands and acknowledges the review criteria for simple tree removal and will seek permitting appropriately. The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

**FINDING: SATISFIED.** The applicant has proposed removing fifty (50) trees, including street and on-site trees. The applicant provided an Arborist report identifying each tree, species, DBH, condition health, condition structure, crown radius, construction impact tolerance, field notes/comments, exemption status, and if to be removed. The Arborist report identifies the removal of each tree and associated criteria.

**17.58.075                      *Protection of Trees.***

- A. *It shall be unlawful for any person to remove, destroy, break, or injure any street tree or public tree. Individuals convicted of removing or destroying a tree without City approval shall be subject to paying to the City an amount sufficient to fund the planting and establishment of a tree, or trees, of similar value. The value of the removed or destroyed tree shall be calculated using the methods set forth in the edition then in effect of the “Guide for Plant Appraisal” published by the International Society of Arboriculture Council of Tree Landscape Appraisers.*
- B. *It shall be unlawful for any person to attach or keep attached to any street or public tree or to the guard or stake intended for the protection of such tree, any rope, wire, chain, sign, or other device, except as a support for such tree.*
- C. *During the construction, repair, alteration or removal of any building or structure it shall be unlawful for any owner or contractor to leave any street tree or public tree in the vicinity of such building or structure without a good and sufficient guard or protectors as shall prevent injury to such tree arising out of or by reason of such construction or removal.*
- D. *Excavations shall not occur within the drip line of any street tree or public tree without approval of the City, applying criteria developed by the Landscape Review Committee. Utility pole installations are exempted from these requirements. During such excavation or construction, any such person shall guard any street tree or public tree within the drip line, or as may be required by the Manager or Landscape Review Committee.*
- E. *All building material or other debris shall be kept outside of the drip line of any street tree or public tree.*

**APPLICANT’S RESPONSE:** The applicant understands and acknowledges the protection of trees and complies with section 17.58.075. Tree protection for the 4 remaining trees is shown on multiple plan sheets and the Arborist report. This criterion will be met.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #19.** The applicant has proposed the removal of street trees and trees with the retention of two (2) trees on site. As a condition of approval for the removal of on-site trees, the applicant will be required to install trees by April 1, 2026 or apply for a new permit. The applicant will be responsible for the protection of all trees on site, those to remain, and those planted as part of the removal process.

**CONDITION OF APPROVAL #19:** Trees shall be protected per MMC 17.58.075.

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**CONDITION OF APPROVAL #20:** Prior to the issuance of a building permit, the applicant shall submit revised plans with notes identifying the protection of trees per MMC 17.58.075.

**17.58.080 Street Tree Planting—When Required.** *All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.*

**APPLICANT'S RESPONSE:** The proposed property has planting islands and planting strips with street trees within the standards list of MMC 17.58.090 as indicated on the Landscaping Plan. This criterion will be met.

**FINDING: APPLICABLE.** The applicant has proposed a new commercial development and is subject to the standards of MMC 17.58.090.

**17.58.090 Street Tree Standards.**

**17.58.090(A).** *The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.*

**APPLICANT'S RESPONSE:** The applicant has chosen street trees from the approved McMinnville Street Tree List. The trees chosen are smaller in full height due to the extensive overhead utilities. This criterion will be met.

**FINDING: SATISFIED.** The proposed street tree plans include species identified from the McMinnville Street Tree list, and those identified as appropriate for under overhead wires where conflicts occur.

**17.58.090(B).** *Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well- developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.*

**APPLICANT'S RESPONSE:** The applicant will comply with these standards for the street trees and confirms the requirements will be met.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #21.** Street trees shall be planted to the standards of this section. A condition of approval is included to ensure compliance with standards.

**CONDITION OF APPROVAL #21.** Prior to the issuance of a building permit, the applicant shall submit revised landscape plans that identify street trees to have a minimum diameter of two (2) inches measured at six (6) inches above ground level and note that all street

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trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety and free of insects, diseases, mechanical injury, and other objectionable features when planted. (MMC 17.58.090(B))

**17.58.090(C).** *Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.*

**APPLICANT'S RESPONSE:** The property will have 11 small trees that are spaced no more than 20 feet apart along Booth Bend Road and 20 small trees that are spaced no more than 20 feet apart and 6 medium trees spaced no more than 30 feet apart along Highway 99. The trees are staggered as allowed within commercial development as this is a C-3 zone.

**FINDING: SATISFIED.** The proposed plantings meet minimum spacing requirements. Plans include a note detailing minimum spacing requirements and, if it is found necessary, to move trees, the applicant will be required to comply with this section.

**17.58.090(D).** *Except as provided in this Section, street trees shall be planted within a curbside planter strip or tree wells consistent with the applicable standards and dimensions of the City's adopted Complete Street standards, with the street trees centered between back of curb and front of sidewalk. However, where a street with sidewalk was previously constructed to a different standard, the Manager may authorize deviation to the street tree planting standards, with street trees planted in a narrower planter strip or behind the sidewalk. Except when authorized by the Manager, street trees shall not be planted within a curbside landscape strip narrower than four (4) feet in width between the sidewalk and curb. When nonconforming conditions do not allow for trees to be planted in tree wells or planter strips along major collector or arterial streets per the adopted Complete Street standards, street trees adjacent to major collector streets or arterial streets shall be placed a minimum of five (5) feet from the back edge of the sidewalk. Except when authorized by the Director, a street tree shall not be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the City.*

**APPLICANT'S RESPONSE:** Street trees adjacent to Booth Bend Road are located within a planter strip and are 2.5 feet from back of sidewalk. Root barrier is proposed on both sides of the planter strip. Along Highway 99 there is no sidewalk. Street trees are a minimum of 24 feet from edge of street pavement and 6 feet from parking lot curbs. This criterion is met.

**FINDING: SATISFIED.** Proposed plantings comply with the requirements of this section.

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**17.58.090(E).** *Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.*

**APPLICANT'S RESPONSE:** No street trees are to be placed within 10 feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within 20 feet of streetlight standards or street intersections, or within five feet of a private driveway or alley. This criterion is met.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #22.** The provided plans note that trees are to be planted to the minimum distance requirements and have identified those trees to be in proximity of overhead wires to be appropriate for the location. A condition is included in the case that trees must be moved.

**CONDITION OF APPROVAL #22.** Street trees shall be planted to spacing standards established in MMC Section 17.58.090(E), not to be planted within:

- a. Five (5) feet of a private driveway or alley;
- b. Ten (10) feet of a fire hydrant, transformer, power or water vault, water meter box, utility pole, sanitary sewer, storm, or water line; or
- c. Twenty (20) feet of street light standards or street intersections.

**17.58.090(F).** *Existing street trees shall be retained unless approved by the Planning Director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Planning Director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.*

**APPLICANT RESPONSE:** All trees within the street right-of-way to improve SW Booth Bend Rd. and Highway 99 will be removed. The cherry trees fronting the manufacture home park have very invasive roots and need to be removed to install sidewalk and curb. This criterion is met.

**FINDING: STATISIFED.** Six (6) trees within the street right-of-way the SW Booth Bend Rd. are proposed to be removed. The applicant has proposed the planting of seventeen (17) trees and complies with this section.

### **17.58.100 Street Tree Plans**

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**17.58.100(A)(2).** *Commercial, Industrial, Parking Lots, and Multi-dwelling Residential Development: Landscape plans, to include street tree planting as may be required by this ordinance, shall be submitted to the Landscape Review Committee for review and approval prior to the issuance of a building permit.*

**APPLICANT'S RESPONSE:** The applicant understands and acknowledges the submittal is required to LRC prior to the issuance of building permits. We are submitting prior to the building permit application. This criterion is met.

**FINDING: APPLICABLE.** The proposed project is subject to Street Tree Plans standards as it is a proposed commercial development.

**17.58.110 Street Tree Planting**

**17.58.110(B).** *Commercial, Industrial, Multi-dwelling, Parking Lot Development.*

*1. Planting Schedule: Street trees required of a commercial, industrial, multi-dwelling, or parking lot development shall be installed at the time all other required landscaping is installed.*

**APPLICANT'S RESPONSE:** The applicant understands and acknowledges the requirements for what needs to be shown on the street tree planting plan and confirms all criteria have been supplied. This criterion is met.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #23.** This is an applicable code requirement, as the project is for commercial development. Those street trees to be removed must be replaced as established by MMC 17.58.040(F), while new street trees must meet this replacement standard.

**CONDITION OF APPROVAL #23:** Street trees, besides those subject to MMC 17.57.040(F) shall be installed at the time all other required landscaping is installed. (MMC 17.58.100(B))

**17.58.120 Street Tree Maintenance.**

- A. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.*
- B. Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.*
- C. Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees.*
- D. Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section*

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17.58.020, of a street tree must be approved by the City in accordance with Section 17.58.040.

**APPLICANT’S RESPONSE:** The applicant understands and acknowledges the street trees are required to be continually maintained, including necessary watering, weeding, pruning, and replacement, by the property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner. Tractor Supply is well versed in the etiquette of maintaining a clean and well landscaped site. A well landscaped and maintained site promotes a good customer base. This criterion will be adhered to.

**FINDING: SATISFIED WITH CONDITIONS OF APPROVAL #24 TO #27.** This is an applicable code requirement. In addition, a condition of approval has been included to ensure that the street trees are continually maintained, including necessary watering, weeding, pruning, and replacement, by the developer or property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner.

**CONDITION OF APPROVAL #24.** Street trees shall be continually maintained for one full growing season following planting by the developer or property owner, including necessary watering, weeding, pruning, and replacement. (MMC 17.58.120(A))

**CONDITION OF APPROVAL #26.** Street trees shall be maintained in perpetuity, and if they must be replaced, they shall be maintained by the adjacent property owner or developer with a tree of a species from the McMinnville Street Tree list. (MMC 17.58.120(B))

**CONDITION OF APPROVAL #27.** Street trees shall be maintained continually per MMC 17.58.120(D):

- a. This includes necessary watering, weeding, pruning, and replacement.
- b. Street shall be pruned with at least
  - i. eighteen (18) feet of clearance above HWY 99W.
  - ii. fifteen (15) feet of clearance above SW Booth Bend Road.
- c. A permit shall be obtained prior to the removal or major pruning (removal of 20 percent of the tree canopy, tree topping, or disturbance of 10 percent of the root system) of any street tree.

### **Chapter 17.33 C-3 General Commercial Zone**

**17.33.050 Use Limitations.** *In a C-3 zone, outside storage abutting or facing a residential zone shall be enclosed by a sight obscuring fence. The fence shall obstruct the storage from view on the sides of the property abutting or facing a residential zone. The fence shall be of such material and design as will not detract from adjacent residences, shall be free of advertising, and shall be constructed according to plans submitted by the owner or authorized agent and approved by the Planning Director. Outside storage in a required yard shall not exceed ten feet in height. (Ord. 4477 §3, 1990).*

**APPLICANT’S RESPONSE:** None.

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**FINDING: NOT APPLICABLE.** Although the subject sites a residential use to the east, the neighboring property is zoned as C-3. Therefore, the screening of outside storage is not required.

**Chapter 17.54. General Provisions**

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED.** The installation of landscaping is subject to standards found within Chapter 17.54 General Provisions, including Section 17.54.080 Clear Vision Area. As proposed, no plant exceeds the maximum permitted height within the clear vision area.

**Chapter 17.60. Off-Street Parking and Loading**

**17.60.080. Design Requirements**

**17.60.080(D)(2).** *When a parking area in a commercial or industrial zone abuts a property in a residential zone, a site-obscuring fence or wall, either permanent or of living material, shall be placed along the affected property line. The responsibility for placement of the fence or wall lies with the commercial or industrial property.*

**APPLICANT’S RESPONSE:** None.

**FINDING: NOT APPLICABLE.** The subject site is zoned commercial and surrounded by commercial zoning and a highway to the south. The standards of this section do not apply.

**Chapter 17.61. Solid Waste and Recycling Enclosure Plan**

**17.61.020 Applicability and Exemptions.**

**A.** *The requirements of this chapter shall apply to all new commercial, industrial and multi-dwelling developments of three (3) or more dwelling units.*

**APPLICANT’S RESPONSE:** None.

**FINDING: APPLICABLE.** The project is subject to standards within Chapter 17.61 as the applicant has proposed commercial development, which triggers applicability requirements as defined in Section 17.61.020(A). The applicant has indicated a trash enclosure on the southern portion of the primary structure. No landscaping is proposed near the trash enclosure and the design has not been provided.

**Section 17.61.030(A).** *The location of an enclosure must allow for collection agency drive-in access. A fifty-foot (50) access approach is recommended. In addition to the approach, either an exit that allows the truck to move forward or a turn area with a minimum radius of 46.5 feet is preferred. Both approach and location shall be unobstructed and free of overhead wires and low hanging trees. An eighteen-foot (18) minimum height clearance above the enclosure approach is required and a thirty-two-foot (32) vertical clearance is required above the container itself. The enclosure shall be of sufficient size to store trash and recycling receptacles, the size of which shall*

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be determined by the collection agency and will be based on proposed use. A minimum distance of two feet (2) is required between the container and existing or proposed structures. The enclosure shall be a minimum of six feet (6) tall or six inches (6) higher than the top of the tallest container.

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #27.** The project is subject to standards found within the Section. The placement of the enclosure complies with the 50-foot access approach and obstruction height requirements, with sufficient area for exit. It is unclear if the enclosure is of sufficient size and if its height is six (6) inches higher than the top of the tallest container. In addition, the enclosure appears to be within two feet (2) of the existing structure.

**CONDITION OF APPROVAL #27.** Prior to the issuance of a building permit, the applicant shall submit revised plans including sufficient information to determine if standards within Section 17.61.030(A) are met, including:

- a. Minimum size requirement as determined by the collection agency
- b. The enclosure spaced at least two (2) feet from an existing or proposed structure
- c. Elevation demonstrating the height of the enclosure is six (6) inches higher than the top of the tallest container.

**Section 17.61.030(B).** *Solid waste enclosures shall not be located within twenty feet (20) of a required front or exterior yard and should be placed at the rear of a building whenever possible. Should an enclosure be placed within a required landscaped front or exterior yard, additional landscaping must be provided elsewhere on the property to compensate for the encroachment into the required landscaped yard. Any modifications to required landscaping must meet the approval of the Landscape Review Committee.*

**APPLICANT'S RESPONSE:** None.

**FINDING: STATISFIED.** The solid waste enclosure is proposed at the southern portion of the building towards and not within twenty (20) feet of a required front or exterior yard.

**Section 17.61.030(C).** *Any trash or recycling enclosure which is visible from the street must provide landscaping around three (3) sides of the structure. Climbing vines and screening shrubs or hedges are appropriate, and landscaping must be a minimum of three feet (3) in height at the time of planting.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #28.** The solid waste enclosure is proposed at the southern portion of the building and visible from HWY 18. The applicant is required to provide landscaping as described in this section.

**CONDITION OF APPROVAL #28:** Prior to the issuance of a building permit, the applicant shall submit revised plans with landscaping on three (3) sides of the trash enclosure structure of climbing vines and screening shrubs or hedges with a minimum height of three (3) feet at the time of planting.

---

**Attachments :**

- Attachment 1 – Application and Attachments
- Attachment 2 - Revised Application (received 2/8/25)
- Attachment 3 - Street Tree Planting Standards



**Section 17.61.030(D).** *Where a commercial or industrial zone abuts a residential zone, enclosures must be placed a minimum of thirty feet (30) from any residential structure or as otherwise approved by the Planning Director.*

**APPLICANT'S RESPONSE:** None.

**FINDING: NOT APPLICABLE.** The subject site does not abut a residential zone.

**Section 17.61.030(E).** *Generally, the design of the structure should match the exterior surface of the building and can be constructed of masonry, wood or concrete blocks in combination with plant material capable of forming a complete evergreen hedge. The floor of the enclosure shall be a concrete holding pad which must extend eight feet (8) beyond the gates.*

**APPLICANT'S RESPONSE:** None

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has not provided the design of a trash enclosure structure. The structure shall meet the design requirements of this section.

**CONDITION OF APPROVAL #29:** Prior to the issuance of a building permit, the applicant shall submit plans indicating the design of the trash enclosure in compliance with MMC 17.61.030(E).

**Section 17.61.030(F).** *Gates that screen the containers are required and must remain closed at all times except at times of service.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant has identified the placement of a solid waste enclosure; however, it is not clear if a gate has been proposed as is required.

As a condition of approval, the applicant shall submit revised plans which demonstrate a gate to screen the containers which must remain closed at all times expect at times of service.

**Section 17.61.030(G).** *Parking is prohibited in front of the enclosure and all parked vehicles must be located at a safe distance. A "No Parking" sign must be visibly placed on the gates of the enclosure.*

**APPLICANT'S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITION OF APPROVAL #30.** The applicant is required to revise plans to provide a gate to screen containers within the solid waste enclosure. The gate shall comply with the standards above.

---

*Attachments :*

Attachment 1 – Application and Attachments  
Attachment 2 - Revised Application (received 2/8/25)  
Attachment 3 - Street Tree Planting Standards

**CONDITION OF APPROVAL #30:** Prior to the issuance of a building permit, the applicant shall submit revised landscape plans with a trash enclosure in compliance with MMC 17.61.030(G).

**Section 17.61.030(H).** *Solid waste and recycling enclosures must be placed in a location that is compatible with the City of McMinnville’s Fire Code.*

**APPLICANT’S RESPONSE:** None.

**FINDING: SATISFIED WITH CONDITIONS.** The applicant shall comply with City of McMinnville’s Fire Code for the placement of solid waste enclosures.

**CONDITION OF APPROVAL #31:** Prior to the issuance of a building permit, the applicant shall submit revised landscape plans with a trash enclosure in compliance with MMC 17.61.030(H).

TG

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*Attachments :*

Attachment 1 – Application and Attachments  
Attachment 2 - Revised Application (received 2/8/25)  
Attachment 3 - Street Tree Planting Standards



**Planning Department**  
 231 NE Fifth Street • McMinnville, OR 97128  
 (503) 434-7311 Office • (503) 474-4955 Fax  
[www.mcminnvilleoregon.gov](http://www.mcminnvilleoregon.gov)

<b>Office Use Only:</b>	
File No.	<u>L 1-25</u>
Date Received	<u>1/9/2025</u>
Fee	<u>\$2,055.00</u>
Receipt No.	<u>210910</u>
Received by	<u>AW</u>

569-25-00011-PLNG

## Landscape Plan Review Application

### Applicant Information

Applicant is:  Property Owner  Contract Buyer  Option Holder  Agent  Other Engineer

Applicant Name Ed Christensen, Welkin Engineering PC Phone (503) 380-5324

Contact Name \_\_\_\_\_ Phone \_\_\_\_\_  
*(If different than above)*

Address 25260 S.W. Parkway Avenue, Suite G

City, State, Zip Wilsonville, Oregon 97070

Contact Email ekc@welkinpc.com

### Property Owner Information

Property Owner Name HHD LIMITED PARTNERSHIP Phone \_\_\_\_\_  
*(If different than above)*

Contact Name Kunal Relwani Phone 312-480-7736

Address 2700 NW PINEHURST DR

City, State, Zip McMinnville, OR 97128

Contact Email relwani@atwatergroup.com

### Site Location and Description

*(If metes and bounds description, indicate on separate sheet)*

Property Address 900 SW BOOTH BEND RD, McMinnville, OR 97128

Assessor Map No. R4 - 4 - 29 Total Site Area 4.49 acres

Subdivision \_\_\_\_\_ Block \_\_\_\_\_ Lot 02500

Comprehensive Plan Designation General Commercial Zone Zoning Designation C3

**Landscaping Information**

- 1. Total Landscaped Area: 1.71 acres
- 2. Percent Landscaped: 38%
- 3. Building Floor Area:  
New Structure: 21,930 sq ft Existing Structure: \_\_\_\_\_ Addition: \_\_\_\_\_
- 4. Architect Name Ed Christensen, Welkin Engineering PC Phone (503) 380-5324  
*(Landscape Architect, Engineer, or Other Designer)*  
Contact Name Ed Christensen Phone (503) 380-5324  
Address 25260 S.W. Parkway Avenue, Suite G  
City, State, Zip Wilsonville, Oregon 97070  
Contact Email ekc@welkinpc.com

In addition to this completed application, the applicant must provide the following:

- Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.
- Payment of the applicable review fee, which can be found on the Planning Department web page.

**I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.**

  
\_\_\_\_\_  
Applicant's Signature

12/16/24  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Property Owner's Signature

12/16/24  
\_\_\_\_\_  
Date



Project Name

TRACTOR SUPPLY

Approval Request

LANDSCAPE NARRATIVE

Project Location

TAX LOT 2500  
SECTION 29 T4S R4W W.M.  
YAMHILL COUNTY

Development Team

ATWATER GROUP  
162 W GRAND AVE, SUITE 300  
CHICAGO, IL 60654  
C: 312-480-7736  
[relwani@atwatergroup.com](mailto:relwani@atwatergroup.com)

Applicant / Engineer / Planner / Surveyor / Owner's Representative

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<b>I. PROJECT DETAILS</b>	3
<b>II. SUMMARY DESCRIPTION</b>	3
<b>III. TITLE 17.57 LANDSCAPING</b>	3
17.57.010 Purpose and Intent.	3
17.57.030 Zones Where Required.	4
17.57.040 Specific Uses Requiring Landscaping.	5
17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.	5
17.57.060 Plans - Information to be Included.	6
17.57.070 Area Determination - Planning Factors.	6
17.57.080 Central Business District.	9
17.57.090 Credit for Work in Public Right-of-Way.	10
17.57.100 Appeal - Planning Commission to Act When.	10
<b>IV. TITLE 17.58 TREES</b>	11
17.58.010 Purpose.	11
17.58.020 Applicability.	11
17.58.030 Definitions.	12
17.58.040 Tree Removal/Replacement.	12
17.58.045 Downtown Trees.	14
17.58.050 Review Criteria.	14
17.58.060 Permit Exemptions.	15
17.58.070 Tree Topping It shall be unlawful for any person, firm, or the city to top any tree.	15
17.58.075 Protection of Trees.	15
17.58.080 Street Tree Planting – When Required.	16
17.58.090 Street Tree Standards.	16
17.58.100 Street Tree plans.	18
17.58.110 Street Tree Planting.	19
17.58.120 Street Tree Maintenance.	19

## I. PROJECT DETAILS

Applicant seeks approval for new Tractor Supply Building, Fenced Outdoor Display Area, Permanent Trailer Equipment Display Area and Park Lot for property described as follows:

**County:** Yamhill County  
**Tax Map:** Section 29 T4S R4W W.M.  
**Tax Lot Number:** 2500  
**Zoning:** C-3 (General Commercial zone)  
**Parcel Size:** 4.49 acres

## II. SUMMARY DESCRIPTION

Applicant seeks on behalf of Atwater Group approval to build a 21,930 Sq Ft Tractor Supply building, 20,000 Sq Ft fenced outdoor display area, 3,000 Sq Ft permanent trailer equipment display area and parking lot. The proposed property is located at Tax Lot 2500 Section 29 T4S R4W W.M. in Yamhill County.

## III. TITLE 17.57 LANDSCAPING

### 17.57.010 Purpose and Intent.

The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect, and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:

- A. Provide guidelines and standards that will:
  1. Reduce soil erosion and the volume and rate of discharge of storm water runoff.
  2. Aid in energy conservation by shading structures from energy losses caused by weather and wind.
  3. Mitigate the loss of natural resources.
  4. Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.
  5. Create safe, attractively landscaped areas adjacent to public streets.
  6. Require the planting of street trees along the City's rights-of-way.
  7. Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.
  8. Provide shade, and seasonal color.
  9. Reduce glare, noise, and heat.
- B. Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.
- C. Unify development and enhance and define public and private places.



- D. Preserve existing mature trees.
- E. Enhance the urban forest and tree canopy.
- F. Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.
- G. Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.
- H. Support McMinnville as a community that cares about its appearance.

It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.

The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant understands and acknowledges the purpose and intent of the landscape 17.57 chapter of the Community Development Code.

#### 17.57.030 Zones Where Required.

Landscaping shall be required in the following zones except as otherwise noted:

- A. R-4 (Multiple-Dwelling Residential zone, except the construction of a detached or plex residential units);
- B. C-1 (Neighborhood Business zone);
- C. C-2 (Travel Commercial zone);
- D. C-3 (General Commercial zone);
- E. O-R (Office/Residential zone);
- F. M-L (Limited Light Industrial zone);
- G. M-1 (Light Industrial zone);
- H. M-2 (General Industrial zone). (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The proposed development is within the C-3 (General Commercial) zone; therefore, landscaping is required subject to landscaping requirements of commercial zones and the criteria and standards described in Chapter 17.57 – Landscaping. The applicant will comply with the landscaping requirements set out in Chapter 17.57.

17.57.040 Specific Uses Requiring Landscaping.

- A. Churches, subject to the landscaping requirements of a multiple-dwelling development when in a residential zone and subject to the landscaping requirements of a commercial development when in a zone other than residential;
- B. Utility substations, subject to the landscaping requirements of commercial uses.
- C. Mobile home park, subject to the requirements of a multiple-dwelling development;
- D. Multiple-dwelling, commercial, and industrial uses in residential planned developments, subject to the landscaping requirements of the type of use in the planned development. (Ord. 5027 §2, 2017; Ord. 4264 §1, 1983; Ord. 4254 §1, 1983; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The proposed property does not fall into the specific uses requiring landscaping per 17.57.040.

17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.

- A. At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.
  - 1. No building permit shall be issued until the landscaping plan has been approved.
  - 2. The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;
- B. Landscaping review shall occur within 30 (thirty) days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 (thirty) days shall be considered as approval of the plan;
- C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;
- D. Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly

maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;

- E. All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

17.57.060 Plans - Information to be Included.

The following information shall be included in the plans submitted under Section 17.57.050:

- A. Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the drip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;
- B. The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;
- C. The percentage of the gross area to be landscaped;
- D. Any equipment proposed for recreation uses;
- E. All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;
- F. The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;
- G. All of the information on the plot plan for the building permit. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant has provided all the required plan information from 17.57.060 on the site, arborist, and landscaping plans for the proposed property. They are all provided in this submittal. Per the Site and Landscape Plans, the site contains 38.0% landscaping, far exceeding the City's guidelines for good site planning.

17.57.070 Area Determination - Planning Factors.

- A. Landscaping shall be accomplished within the following ranges:
  - 1. Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

**APPLICANT RESPONSE:** Not applicable, the proposed property is zoned C-3 (General Commercial Zone).

- 2. Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

**APPLICANT RESPONSE:** Per the Site and Landscape Plans, the site contains 38.0% landscaping, far exceeding the City’s guidelines for good site planning.

- 3. Multiple-dwelling, twenty-five percent of the gross area. This may be reduced to not less than fifteen percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

**APPLICANT RESPONSE:** Not applicable, the proposed property is zoned C-3 (General Commercial Zone).

- 4. A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection 2 of this section.

**APPLICANT RESPONSE:** Per the Site and Landscape Plans, the site contains 11,942.6 sf of landscaping immediately adjacent to the 48,266.6 sf of asphalt customer parking. The percentage of landscaping immediately adjacent to the customer parking equates to 24.7%, far exceeding the City’s guidelines for good site planning.

- 5. Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.
  - a. Picture
  - b. Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;

**APPLICANT RESPONSE:** Not applicable, the proposed property does not have an addition or expansion of an existing structure or parking lot. The proposed development is new, not existing.

B. The following factors shall be considered by the applicant when planning the landscaping in order

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to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

**APPLICANT RESPONSE:** The existing property is surrounded by roads on 3 sides. To the east it abuts a C-3 (General Commercial Zone) that has been developed as a manufactured home park, which has a 35 ft access easement over the eastern portion of the existing access driveway. The existing access driveway will be improved at the entry with a concrete driveway, but otherwise it will not be changed. From the existing driveway south of the manufactured home park driveway, the project is showing a 20 ft minimum landscaping buffer adjoining the manufactured home park.

Per a development agreement with the City, the frontage to the manufactured home park will be improved with this development. A planter strip will be included with the frontage improvements, which will accompany this application. Along the Highway 99 frontage, ODOT is requiring a  $\pm 4$  ft asphalt widening and a rebuilt drainage ditch. The ditch and remaining unpaved ROW will be landscaped and street trees added. The trees along the entire frontage and manufactured home park, will have a low height restriction due to the significant amount of power and communication lines fronting the sites.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

**APPLICANT RESPONSE:** Sight-obscuring plantings including large evergreen shrubs, conifers, and shade trees along with fencing are proposed along the east property line.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

**APPLICANT RESPONSE:** There are no existing trees within the developed area recommended by the Arborist to be retained. Of the 55 trees evaluated by Teragan and Associated, Peter van Oss only 4 trees – 2 on-site and 2 off-site in the southeastern corner of the property were recommended to be retained. The full Arborist report is provided in this submittal.

4. The development and use of islands and plantings therein to break up parking areas.

**APPLICANT RESPONSE:** The proposed property has islands and plants flanking the ends of the parking area to break up the lot. The parking lot as laid out is a prototypical layout for the Tractor Supply stores.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

**APPLICANT RESPONSE:** The applicant will be using one of the permitted trees in the development

of the property, and no prohibited trees shall be used in the parking area or for street trees.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

**APPLICANT RESPONSE:** The site will have an automatic underground water efficient irrigation system including street tree bubblers, sprinkler heads, drip zones, and a new backflow device at the water meter located west side behind the building. The automatic irrigation system will reach all landscape areas on the approved plans.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement. Minor changes in the landscape plan, such as like- for-like replacement of plants, shall be allowed, as long as they do not alter the character and aesthetics of the original plan. It shall be the Planning Director's decision as to what constitutes a major or minor change. Major changes to the landscape plan shall be reviewed and approved by the Landscape Review Committee. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant understands and acknowledges the landscaping will be continually maintained per the LRC guidelines. Tractor Supply is well versed in the etiquette of maintaining a clean well landscaped site. A well landscaped and maintained site promotes a good customer base.

17.57.080 Central Business District.

The central business district shall be divided into two areas as defined in this section:

- A. Area I is that area between Adams Street and the railroad tracks and between Second and Fourth Streets. The landscaping requirements set forth herein shall not apply to this portion of the central business district, except for the provision of street trees according to the city's master plan;
- B. Area II is defined as being that area between Adams and Kirby Streets from First to Fourth Streets, excluding the area in subsection A above. One-half of the landscaping requirements set forth in Section 15.57.050 above shall apply to this area. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).



**REDUCED LANDSCAPING REQUIREMENTS**



Area I No Required Landscaping

Area II - One-Half Required Landscaping

**APPLICANT RESPONSE:** This site is not in the Central Business District. This criteria does not apply.

17.57.090 Credit for Work in Public Right-of-Way.

The review committee may grant an applicant credit for landscaping done in the public right-of-way provided that if at any time in the future the right-of-way is needed for public use, any landscaping removed from the right-of-way must be replaced on the subject site. The review committee shall consider the need for future use of the right-of-way for street or utility purposes before granting credit under this section. (Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The applicant understands and acknowledges how the credit for landscaping along the public right of way works.

17.57.100 Appeal - Planning Commission to Act When.

A. In the event the landscaping is disapproved by the review committee, the applicant may appeal to the Planning Commission within 15 (fifteen) days after the review committee has considered the plan. The matter shall be set for review by the Planning Commission as set forth in subsection B of

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this section;

- B. If, after review, the review committee cannot or does not reach a decision on the landscaping plan submitted, the application shall be forwarded to the Planning Commission for review and final disposition. Action on the application will occur at the next regularly scheduled meeting, or with the approval of the Planning Commission chairman, at a work session if scheduled sooner. The applicant shall be notified of the time and place of the review by the Planning Commission and may choose to be present. The absence of the applicant shall not preclude the Planning Commission from reaching a decision;
- C. The review committee may, at their discretion, continue an application pending submittal of further information or detail. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the appeal process.

#### IV. TITLE 17.58 TREES

##### 17.58.010 Purpose.

The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the city; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the purpose of this chapter and the landscape plan is consistent.

##### 17.58.020 Applicability.

The provisions of this ordinance shall apply to:

- A. Individual significant or historic trees as defined in this ordinance.
- B. All trees with trunks located completely or partially within any public area or right-of-way;
- C. All trees with trunks located completely within any private property which directly affect public infrastructure including but not limited to sewers, water mains, sidewalks, streets, public property, or clear vision distances at street intersections;
- D. All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review; (Ord. 5027 §2, 2017; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the applicability of this chapter and

the landscape plan is consistent with this criterion.

#### 17.58.030 Definitions.

For the purpose of this section, refer to MMC 17.06.045 for Tree related definitions. (Ord. 4952 §1, 2012).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the definitions of this chapter.

#### 17.58.040 Tree Removal/Replacement.

A. The removal or major pruning of a tree, if applicable under MMC 17.58.020, shall require city approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the McMinnville planning department. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal or major pruning. Requests for tree removal or pruning of trees outside of the Downtown Tree Zone shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 days of submittal. Requests for tree removal within the Downtown Tree Zone shall be submitted to the McMinnville planning department. Such requests shall be acted upon as soon as practicable, with consideration given to public safety, value of the tree to the public, and work schedules. The planning director or their designee should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or planning director, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in MMC 17.58.050. A decision of the committee or director may be appealed to the planning commission if written notice of the appeal is filed with the planning department within 15 days of the committee's or director's decision. A decision made by the planning director in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.

**APPLICANT RESPONSE:** The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

B. Trees subject to this ordinance shall be removed or pruned following accepted pruning standards adopted by the city. The planning director, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.

**APPLICANT RESPONSE:** This property is not in the downtown area. This criterion does not apply.

C. The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.

**APPLICANT RESPONSE:** The applicant will be responsible for all costs associated with the tree removal and will ensure that all work is done in a manner which ensures safety to individuals and public and private property.

This criterion will be adhered to.

D. Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the “Guide for Plant Appraisal” published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the city as part of the city’s annual tree planting program.

**APPLICANT RESPONSE:** The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

E. The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.

**APPLICANT RESPONSE:** The trees removed from this site will include removing the root balls too. This criterion will be met.

F. The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Landscape Review Committee’s (LRC) decision. The Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the timeline from receiving the LRC’s decision.

G. Other conditions may be attached to the permit approval by the McMinnville Landscape Review Committee as deemed necessary.

**APPLICANT RESPONSE:** The applicant understands there may be conditions by the LRC required to gain permit approval.

H. The planting of street trees shall be subject to the design drawings and specifications developed by the city in May 2014. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the city to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands that the planting of street trees will be subject to the design drawings and specifications developed by the city in May 2014. The plans and specifications are provided herein are up to date. This criterion is met.

17.58.045 Downtown Trees.

- A. The pruning and removal of street trees within the Downtown Tree Zone shall be the responsibility of the city, and shall be undertaken at public expense.
- B. The planting of street trees shall be subject to the design drawings and specifications developed by the city in May 2014. Specific design drawings and specifications have been developed for trees within the Downtown Tree Zone. Such design specifications may be periodically updated by the city to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees within the Downtown Tree Zone to minimize the potential for sidewalk / tree root conflict.
- C. The city shall adopt implementation measures that cause, through rotation over time, the development of a variable aged stand of trees within the Downtown Tree Zone. In order to implement this policy, the planning director shall authorize, but shall limit, annual tree removal within the downtown to no more than three percent of the total number of existing downtown trees in the Downtown Tree Zone.
- D. A street tree within the Downtown Tree Zone may be removed if the planning director determines that the tree is causing repeated and excessive damage to sidewalks or other public or private improvements or structures. (Ord. 5027 §2, 2017).

**APPLICANT RESPONSE:** Not applicable as the property is not in the Downtown Zone.

17.58.050 Review Criteria.

A permit for major pruning or tree removal shall be granted if any of the following criteria apply:

- A. The tree is unsafe, dead, or diseased as determined by a Certified Arborist.
- B. The tree is in conflict with public improvements.
- C. The proposed removal or pruning is part of an approved development project, a public improvement project where no alternative is available, or is part of a street tree improvement program.
- D. Verification of tree health or a tree's impacts on infrastructure shall be required, at the expense of the applicant, by a Certified Arborist acceptable to the city. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the review criteria for major pruning or tree removal and will seek permitting. The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

17.58.060 Permit Exemptions.

- A. Hazardous Tree – If an imminent danger exists to the public or any private property owner or occupant, the city may issue an emergency removal permit. The removal shall be in accordance with International Society of Arboriculture (ISA) standards.
- B. Tree Impacting Public Infrastructure – If a tree is causing damage to or impacting public infrastructure that the adjacent property owner is not responsible for repairing, such as pedestrian ramps, utility vaults, or public storm or sanitary sewer lines, the tree removal may be approved by the planning director or their designee. The removal shall be in accordance with International Society of Arboriculture (ISA) standards. In the event that a replacement tree cannot be planted in the same general location as the tree removed, the replacement tree may be planted in another location in the city as part of the city’s annual tree planting program.
- C. Maintenance – Regular pruning maintenance which does not require the removal of over 20 percent of the tree’s canopy, tree topping, or the disturbance of over 10 percent of the tree’s root system is exempt from the provisions of this ordinance.
- D. Removal of downtown trees at the direction and initiative of the city planning director. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the permit exemptions and required maintenance of trees and will comply with this criterion.

17.58.070 Tree Topping It shall be unlawful for any person, firm, or the city to top any tree.

Trees severely damaged by storms or other causes or certain trees under utility wires or other obstructions where normal pruning practices are impractical may be exempted at the determination of the McMinnville Landscape Review Committee, applying criteria developed by the city. (Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the legality of tree topping and there is none proposed.

17.58.075 Protection of Trees.

- A. It shall be unlawful for any person to remove, destroy, break, or injure any street tree or public tree. Individuals convicted of removing or destroying a tree without city approval shall be subject to paying to the city an amount sufficient to fund the planting and establishment of a tree, or trees, of similar value. The value of the removed or destroyed tree shall be calculated using the methods set forth in the edition then in effect of the “Guide for Plant Appraisal” published by the International Society of Arboriculture Council of Tree Landscape Appraisers.
- B. It shall be unlawful for any person to attach or keep attached to any street or public tree or to the guard or stake intended for the protection of such tree, any rope, wire, chain, sign, or other device, except as a support for such tree.

C. During the construction, repair, alteration or removal of any building or structure it shall be unlawful for any owner or contractor to leave any street tree or public tree in the vicinity of such building or structure without a good and sufficient guard or protectors as shall prevent injury to such tree arising out of or by reason of such construction or removal.

D. Excavations shall not occur within the dripline of any street tree or public tree without approval of the city, applying criteria developed by the Landscape Review Committee. Utility pole installations are exempted from these requirements. During such excavation or construction, any such person shall guard any street tree or public tree within the drip line, or as may be required by the Landscape Review Committee.

E. All building material or other debris shall be kept outside of the drip line of any street tree or public tree. (Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the protection of trees and complies with section 17.58.075. Tree protection for the 4 remaining trees is shown on multiple plan sheets and the Arborist report. This criterion will be met.

#### 17.58.080 Street Tree Planting – When Required.

All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in MMC [17.58.090](#). (Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The proposed property has planting islands and planting strips with street trees within the standards list of MMC 17.58.090. This criterion will be met.

#### 17.58.090 Street Tree Standards.

A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2016-22, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

**APPLICANT RESPONSE:** The applicant has chosen street trees from the approved McMinnville Street Tree List. This criterion will be met.

B. Street trees shall be a minimum of two inches in caliper measured at six inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

**APPLICANT RESPONSE:** The applicant will comply with these standards for the street trees and confirms the requirements will be met.

C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the city for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.

**APPLICANT RESPONSE:** The property will have 11 small trees that are spaced no more than 20 feet apart along Booth Bend Road and 20 small trees that are spaced no more than 20 feet apart and 6 medium trees spaced no more than 30 feet apart along Highway 99. The trees are staggered as allowed within commercial development as this is a C-3 zone.

D. When located adjacent to a local residential street or minor collector street, street trees shall be planted within a curbside landscape strip measuring a minimum of three feet in width. Street trees adjacent to major collector streets or arterial streets shall be placed a minimum of four feet from the back edge of the sidewalk. In no case shall a tree be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the city.

**APPLICANT RESPONSE:** Street trees adjacent to Booth Bend Road are located within a planter strip and are 2.5 feet from back of sidewalk. Root barrier is proposed on both sides of the planter strip. Along Highway 99 there is no sidewalk. Street trees are a minimum of 24 feet from edge of street pavement and 6 feet from parking lot curbs.

E. Street trees shall not be planted within 10 feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within 20 feet of street light standards or street intersections, or within five feet of a private driveway or alley. New utility poles shall not be located within five feet of an existing street tree. Variations to these distances may be granted by the public works director and as may be required to ensure adequate clear vision.

**APPLICANT RESPONSE:** No street trees are to be placed within 10 feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within 20 feet of streetlight standards or street intersections, or within five feet of a private driveway or alley.

F. Existing street trees shall be retained unless approved by the planning director for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the planning director to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the city, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.



**APPLICANT RESPONSE:** All trees within the street right-of-way to improve SW Booth Bend Rd. and Highway 99 will be removed. The cherry trees fronting the manufacture home park have very invasive roots and need to be removed to install sidewalk and curb.

G. Sidewalk cuts in concrete for tree planting shall be a minimum of four feet by six feet, with the long dimension parallel to the curb, and if located within the Downtown Tree Zone shall follow the design drawing or updated design drawings and specifications as periodically developed and adopted by the city. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** There is no sidewalk fronting this site. This criterion does not apply.

17.58.100 Street Tree plans.

A. *Submittal.*

1. Subdivisions and Partitions: Street tree planting plans shall be submitted to the Landscape Review Committee for review and approval prior to the filing of a final subdivision or partition plat.

**APPLICANT RESPONSE:** Not applicable, proposed property is in a C-3 zone.

2. Commercial, Industrial, Parking Lots, and Multi-family Residential Development: Landscape plans, to include street tree planting as may be required by this ordinance, shall be submitted to the Landscape Review Committee for review and approval prior to the issuance of a building permit.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the submittal is required to LRC prior to the issuance of building permits. We are submitting prior to the building permit application.

B. *Street Tree plan Content.* At a minimum, the street tree planting plan should:

1. Indicate all existing trees, noting location, species, size (caliper and height) and condition;
2. Indicate whether existing trees will be retained, removed or relocated;
3. Indicate the measures to be taken during site development to ensure the protection of existing trees to be retained;
4. Indicate the location, species, and size (caliper and height) of street trees to be planted;
5. Indicate the location of proposed and existing utilities and driveways; and
6. Indicate the location of rights-of-way, existing structures, driveways, and existing trees including their species, size, and condition, within 20 feet of the subject site. (Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the requirements for what needs to be shown on the street tree planting plan and confirms all criteria have been supplied.

17.58.110 Street Tree Planting.A. *Residential subdivisions and partitions.*

1. Planting Schedule: Street trees required of residential subdivisions and partitions shall be installed prior to submittal of a final subdivision plat or partition plat. As an alternative the applicant may file a surety bond or other approved security to assure the planting of the required street trees, as prescribed in MMC [17.53.153](#).

**APPLICANT RESPONSE:** Not applicable, proposed property is in a C-3 zone.

B. *Commercial, Industrial, Multi-family, Parking Lot Development.*

1. Planting Schedule: Street trees required of a commercial, industrial, multi-family, or parking lot development shall be installed at the time all other required landscaping is installed. (Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the installation timing, and all street trees will be installed at the same time as all other required landscaping installation.

17.58.120 Street Tree Maintenance.

A. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the city.

B. Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.

C. Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The city shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees. (Ord. 4816 §2, 2004; Ord. 4654-B §1, 1997).

D. Street trees, as they grow, shall be pruned to provide at least eight feet of clearance above sidewalks and 13 feet above local streets, 15 feet above collector streets, and 18 feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the city. Major pruning, as defined in MMC [17.58.020](#), of a street tree must be approved by the city in accordance with MMC [17.58.040](#). (Ord. 5027 §2, 2017; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the street trees are required to be continually maintained, including necessary watering, weeding, pruning, and replacement, by the property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner. Tractor Supply is well versed in the etiquette of maintaining a clean well landscaped site. A well landscaped and maintained site promotes a good customer base. This criterion will be adhered to.

# TRACTOR SUPPLY CO.: HIGHWAY 99 IMPROVEMENTS

900 SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON

## DRAWINGS FOR:

ATWATER GROUP  
162 WEST GRAND AVENUE #300  
CHICAGO, ILLINOIS 60654

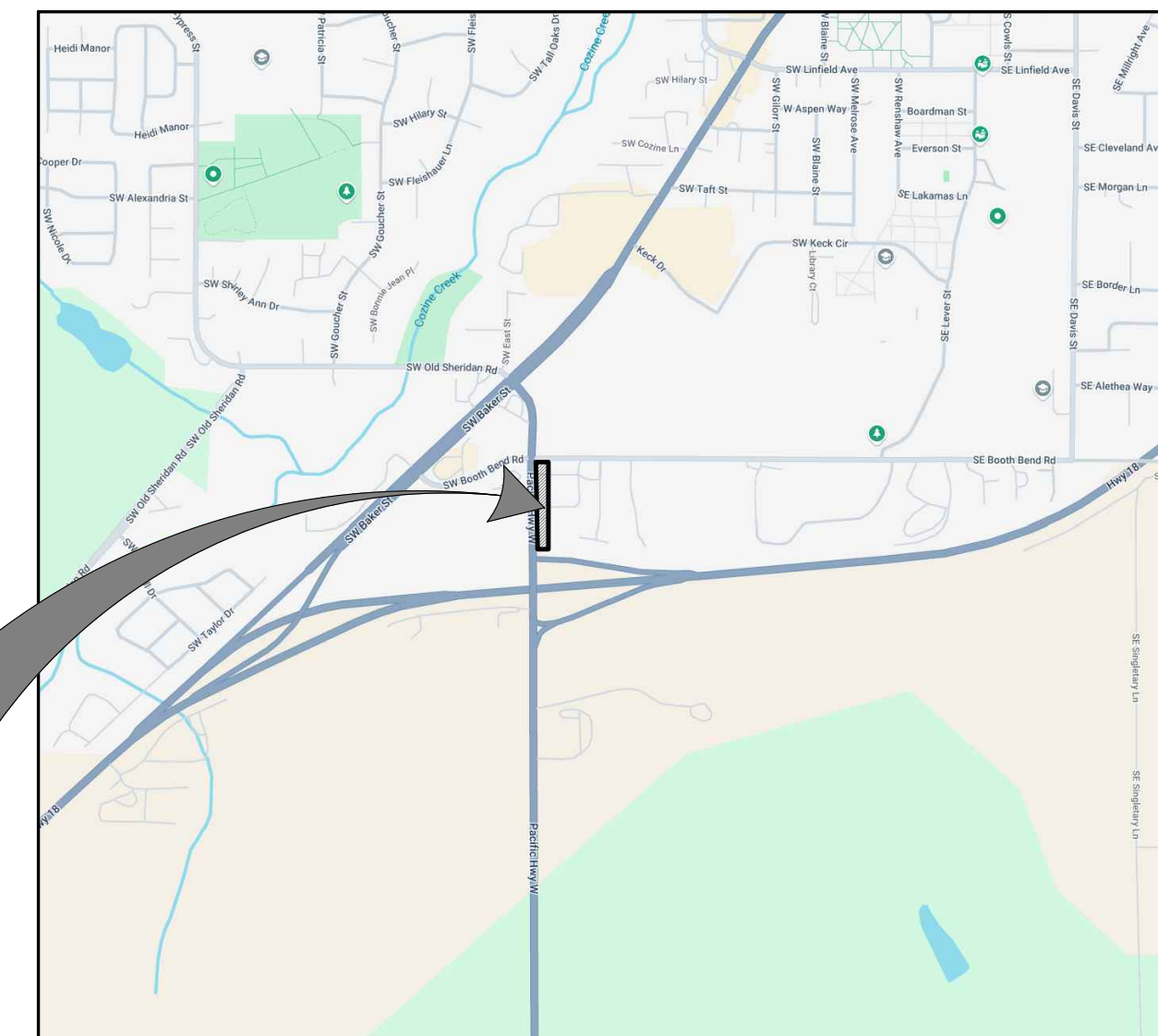
## LANDSCAPE ARCHITECT:

LAURUS DESIGNS, LLC  
LAURA ANTONSON, RLA, ASLA  
1012 PINE STREET  
SILVERTON, OREGON 97381  
503 . 784 . 6494  
LAURA@LAURUSDESIGNS.COM

## SHEET INDEX:

- LO.0 COVER SHEET
- L1.1 PLANTING PLAN AND SCHEDULE
- L2.1 IRRIGATION PLAN AND SCHEDULE

## VICINITY MAP:



PROJECT  
SITE

MAP COURTESY OF GOOGLE

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TRACTOR  
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IMPROVEMENTS

HIGHWAY 99  
MCMINNVILLE, OREGON



COVER  
SHEET

DECEMBER 16TH, 2024

### REVISIONS

#	DATE	NOTES	INITIALS
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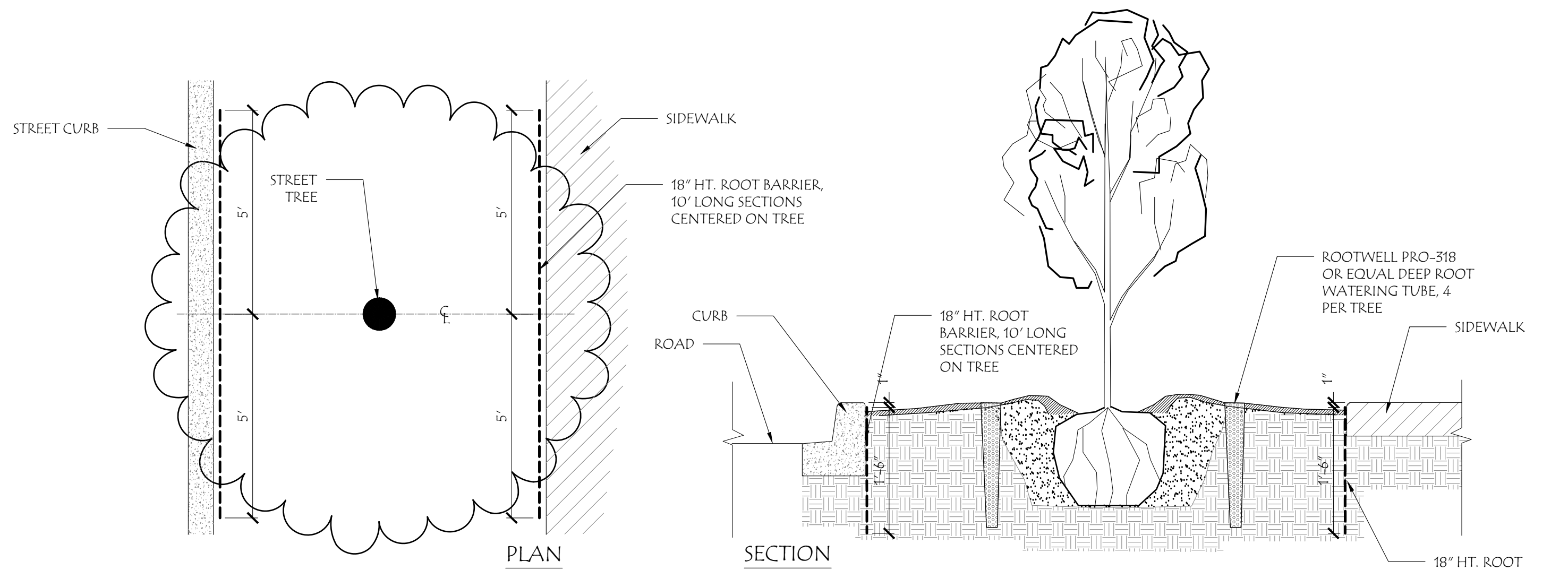
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SHEET 1 OF 3

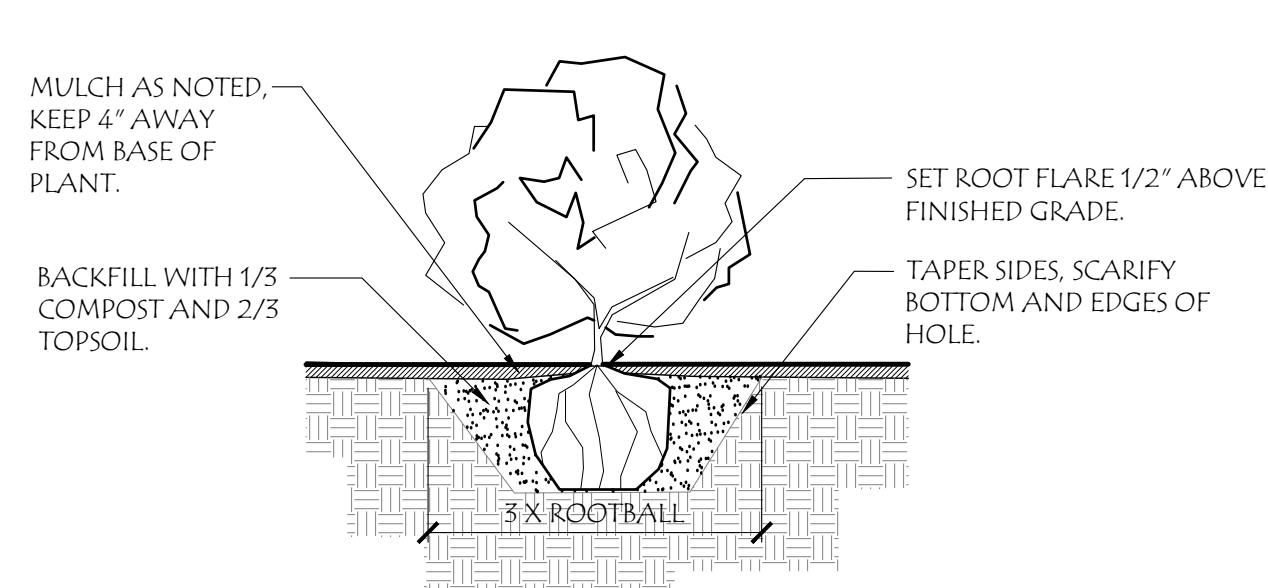
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Page 1 of 166

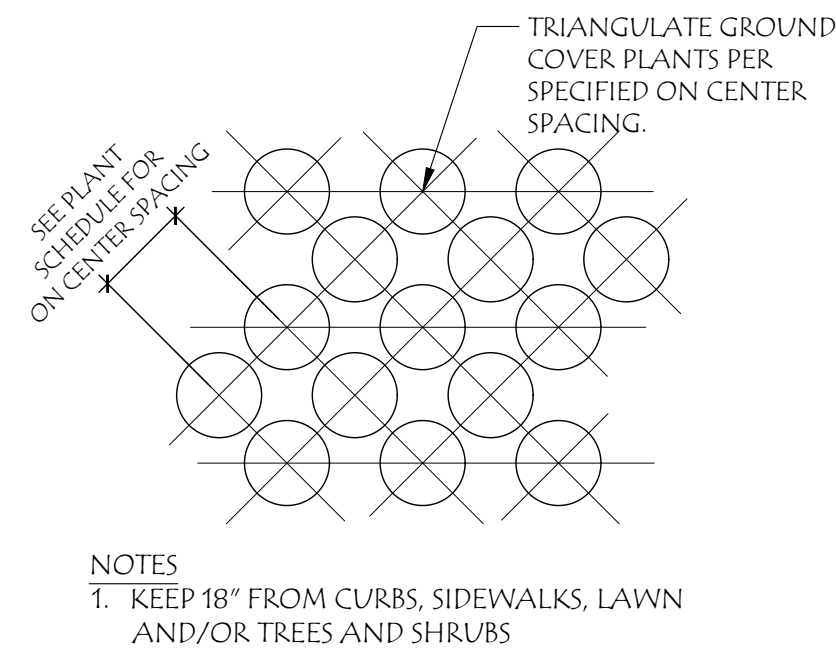




1 STREET TREE ROOT BARRIER AND WATERING TUBES  
SCALE: NTS



2 SHRUB AND GROUND COVER PLANTING DETAIL  
SCALE: NTS



3 GROUND COVER SPACING DETAIL  
SCALE: NTS

GENERAL PLANTING NOTES:

- THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED.
- IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION.
- PLANT MATERIALS SHALL BE FREE OF DISEASE, INJURY, AND INSECT INFESTATION. UNHEALTHY OR DAMAGED PLANTS SHALL BE REPLACED BY LANDSCAPE CONTRACTOR. ALL PLANT MATERIAL SHALL FOLLOW THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLICATIONS INCLUDING ANSI A300 AND ANSI Z60.
- PLANTER BEDS: ALL PLANTER BEDS SHALL HAVE A MINIMUM DEPTH OF 8" WORKABLE TOPSOIL, COMPACTED AT A MAXIMUM OF 85% STANDARD PROCTOR MAXIMUM DRY DENSITY. TOPSOIL SHALL BE OVER ROCK-FREE SURGRADE. SURGRADE TO BE RIPPED AND TILLED TO 6" DEPTH AND REMOVE ALL DEBRIS 2" OR LARGER. SMALL PLANTER AREAS MAY REQUIRE REMOVAL OF COMPACTED SOIL, ROCK, GRAVEL TO AT LEAST 18" DEEP. LOOSEN AND AMEND SOIL BEFORE REPLACING IN 6" LIFTS TO FINISH GRADE.
- TOPSOIL MIX: AMEND EXISTING SOIL IN-SITU OR STOCK PILE SOIL ON SITE. IMPORT TOPSOIL ONLY AS NECESSARY. CONDUCT A SOIL SAMPLE FOR EACH TYPE OF PLANTER AREA. SEND SAMPLES TO AN INDEPENDENT LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE AND SPECIALIZING IN AGRONOMIC SOIL ANALYSIS FOR TESTING AND AMENDMENT RECOMMENDATIONS.
- SOIL AMENDMENTS: ADD A MINIMUM OF 3" CLEAN, MATURE COMPOST TO TOPSOIL, TILL IN, FOR ALL PLANTER BEDS. FOR BIDDING PURPOSES, ASSUME GENERAL SOIL AMENDMENTS AS FOLLOWS PER 1000' SF AT 6" LIFTS UNTIL SOIL ANALYSIS RECOMMENDATION IS COMPLETE. SEE ABOVE FOR COMPOST:
  - 25 LBS GYPSUM
  - 75 LBS LIME
  - 8 LBS SUPERPHOSPHATE
  - 3 LBS AMMONIUM NITRATE
  - 4 OZS ZINC SULFATE
  - 8 OZS MANGANESE SULFATE
- MYCORRHIZAL FUNGI INOCULATE: USE A COMBINED ENDO AND ECTO MYCORRHIZAL FUNGI INOCULATE SUCH AS BIO-ORGANICS OR EQUAL AT A RATE OF:
  - 2" CAL. B&B TREE: 3 TEASPOONS
  - 5 GALLON: 2 TEASPOONS
  - 1-3 GALLON PLANT: 1 TEASPOON
  - 4" POT: 1/4 TEASPOON
  - SEED/TURF: 1 LB PER 2000 SF
 DO NOT USE ON RHODODENDRON/AZALEA, HUCKLEBERRY, SEDGE, RUSH, HEATH.
- PLANTING: VERIFY SOIL IS APPROPRIATELY DRY FOR DIGGING. SEE DETAILS THIS SHEET FOR HOLE DEPTH, WIDTH AND BACKFILL. DEEP WATER IMMEDIATELY AFTER PLANTING.
- MOUND PLANTING BED AREAS 3% FOR POSITIVE DRAINAGE AND AESTHETICS.
- MULCH: SPREAD 2" MAX. DEPTH AGED FIR MULCH IN ALL PLANTER BEDS AND OPEN LANDSCAPE AREAS. KEEP MULCH AWAY FROM PLANT BASE.
- FERTILIZER: DO NOT USE ADDITIONAL FERTILIZERS ON NEWLY PLANTED TREES FOR FIRST YEAR.
- TREES: TREE STAKES TO BE REMOVED AFTER 6 MONTHS.
- PLANT QUANTITIES SHOWN ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES AND SYMBOLS SHOWN, USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES.
- NOTIFY LANDSCAPE ARCHITECT OF PLANT SUBSTITUTIONS.
- PLANTS TO BE UNDER WARRANTY FOR A MINIMUM OF 12 MONTHS STARTING FROM FULL COMPLETION.

LEGEND:

----- UTILITY OFFSET, SEE TREE REQUIREMENTS BELOW FOR DISTANCES

TREE REQUIREMENTS:

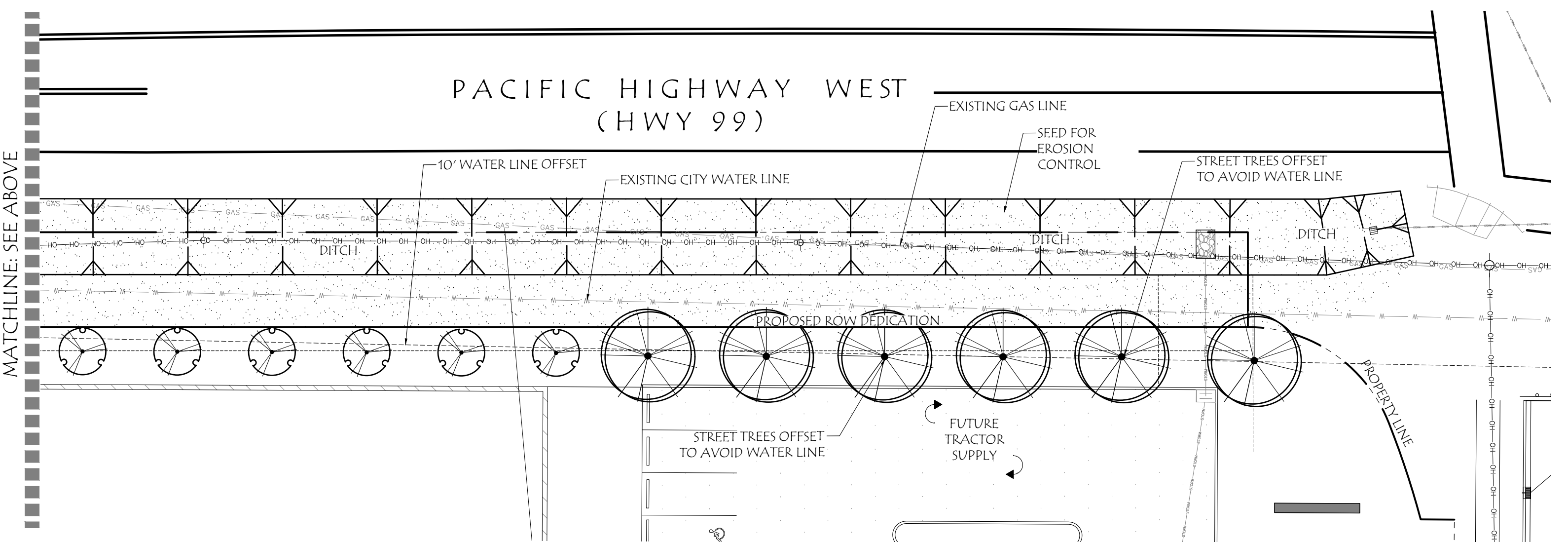
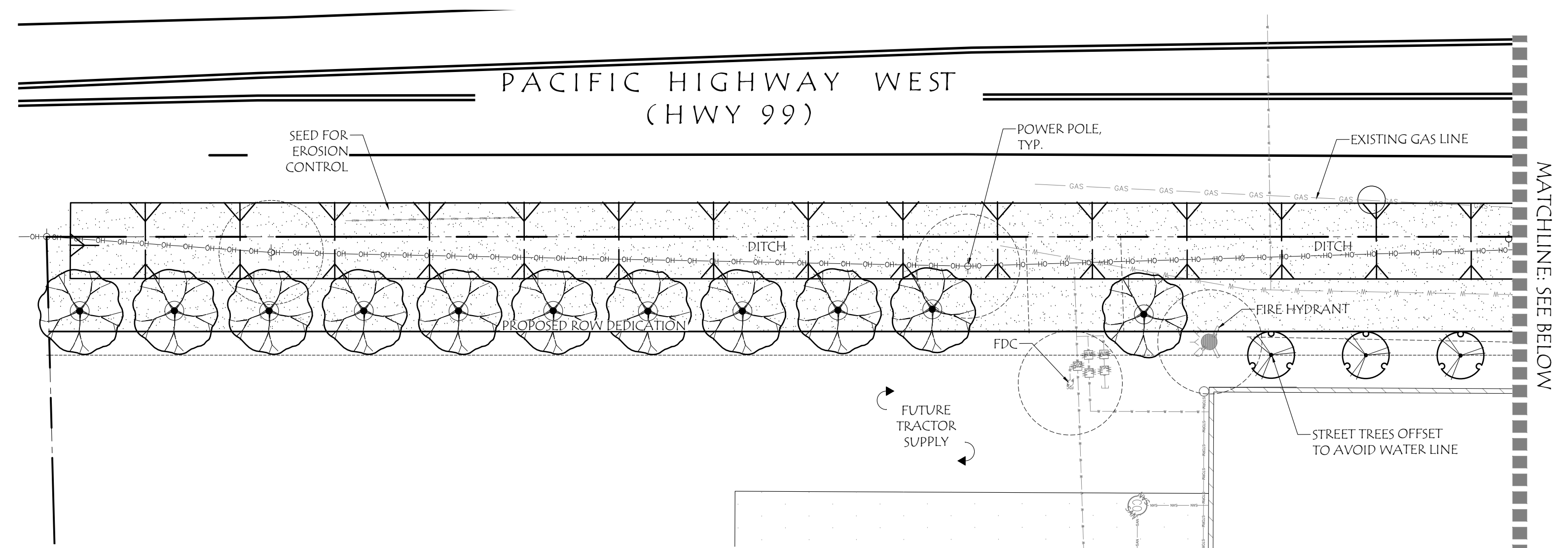
STREET TREES:  
SMALL TREES @ 20' ON CENTER MAX.  
MEDIUM TREES @ 30' ON CENTER MAX.  
LARGE TREES @ 40' ON CENTER MAX.  
KEEP TREES 10' FROM HYDRANTS, UTILITY POLES AND LINES, 20' FROM STREET LIGHTS AND INTERSECTIONS, 5' FROM DRIVEWAYS.

GENERAL NOTES:

- VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND RIGHT OF WAY IMPROVEMENTS.
- STREET TREES SELECTED FROM CITY OF MCMINNVILLE APPROVED STREET TREES.
- PLANT SCHEDULE AND DETAILS SEE THIS SHEET.
- HIGHWAY 99 ROW IMPROVEMENTS LANDSCAPE PLAN SEE SEPARATE PACKAGE.
- ONSITE LANDSCAPE PLANS SEE SEPARATE PACKAGE.
- IRRIGATION PLAN SEE SHEET L2.1.

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H X W)	NOTES
	9	FAGUS SYLVATICA 'FASTIGIATA' / FASTIGIATE EUROPEAN BEECH	2" CAL. B&B	45' X 15'	SMALL STREET TREE
	6	NYSSA SYLVATICA 'WILDFIRE' / WILDFIRE TUPELO	2" CAL. B&B	45' X 30'	MEDIUM STREET TREE
	11	PARROTIA PERSICA / PERSIAN PARROTIA	2" CAL. B&B	3' X 20'	SMALL STREET TREE ADJACENT TO LOW OVERHEAD LINES
SEED MIX	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES	
	+/- 15,962 SF	PRO TIME 769 / R&R ECO-TURF MIX WITH MICROCOVER	SEED	SEED AT RATE OF 5-7LBS PER 1,000 SF	



Laurus Designs, LLC



1012 Pine Street  
Silverton, Oregon 97381

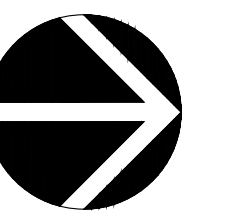
503.784.6494  
laurusdesigns.com

TRACTOR SUPPLY CO.  
HIGHWAY 99 IMPROVEMENTS

HIGHWAY 99  
MCMINNVILLE, OREGON



PLANTING PLAN AND SCHEDULE



SCALE: 1" = 20' - 0"



DECEMBER 16TH, 2024

REVISIONS

#	DATE	NOTES	INITIALS

L1.1

SHEET 2 OF 3

PROJECT #: 1699C



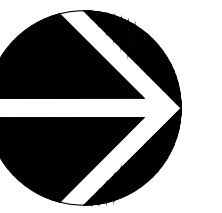


TRACTOR SUPPLY CO.  
HIGHWAY 99 IMPROVEMENTS

HIGHWAY 99  
MCMINNVILLE, OREGON



IRRIGATION PLAN AND SCHEDULE



SCALE: 1" = 20' - 0"  
0' 10' 20' 40'  
SCALE

DECEMBER 16TH, 2024

REVISIONS

#	DATE	NOTES	INITIALS

L2.1

SHEET 3 OF 3

IRRIGATION NOTES:

- IRRIGATION SYSTEM DESIGN BASED ON 57 GPM AT 75 PSI. IF METER SIZE, FLOW (GPM) AND/OR STATIC PRESSURE (PSI) VARY, CONTACT LANDSCAPE ARCHITECT.
- POINT OF CONNECTION AND FULL IRRIGATION PLAN SEE ON-SITE LANDSCAPE PACKAGE.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION (POC) ONLY. IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5- FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY. PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ADJUST SLEEVE LOCATIONS AS NEEDED. LOCATE VALVES AT EDGE OF PLANT BEDS OR LAWN FOR GOOD ACCESS. PLACE VALVES INSIDE ROW LIMITS IF POSSIBLE. FIELD VERIFY.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH A MINIMUM 12" OF COVER BASED ON FINISH GRADES. BACKFILL TRENCHES WITH NATIVE ON-SITE SOIL, FREE OF ROCK AND OTHER DELETERIOUS MATERIAL IN 4" LIFTS, TAMPING FIRMLY TO ENSURE COMPACTION. MATCH GRADE TO EXISTING PLANTER AREAS. IRRIGATION SLEEVES AT DRIVING SURFACES TO BE 24" DEEP. BACKFILL WITH NATIVE ON-SITE SOIL, FREE OF ROCK AND OTHER DELETERIOUS MATERIAL IN 4" LIFTS, TAMPING FIRMLY TO ENSURE COMPACTION. SEE CIVIL DRAWINGS FOR PAVEMENT DETAILS. SHARE TRENCHES WHENEVER POSSIBLE.

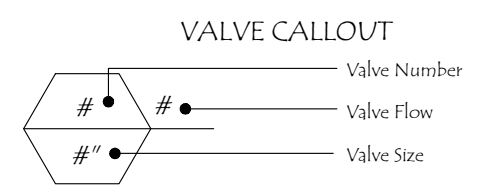
- USE IN-LINE CHECK VALVES TO AVOID LOW LINE DRAINAGE.
- PLACE ISOLATION VALVES AT POINT OF CONNECTION AND EACH VALVE BOX.
- LAWN ROTATORS: 4" POP-UPS IN LAWN AREAS. SEE HEAD TYPES IN LEGEND. KEEP 2" FROM PAVING AND 4" FROM WALLS.
- TREE BUBBLERS: KEEP STREET TREE BUBBLERS ON INDEPENDENT ZONE.
- CONTROLLER: EXTERIOR. VERIFY LOCATION WITH OWNER.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTORS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
- CONTRACTOR TO PROVIDE AS-BUILTS TO CLIENT AND INCLUDE ZONE INFORMATION IN CONTROLLER BOX.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...).

IRRIGATION SCHEDULE: HIGHWAY 99

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	HUNTER MP2000 PROS-04-PRS40-CV-F TURF ROTATOR, 4IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY, K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	40
	HUNTER RZWS-SLEEVE-18-CV 18IN. LONG RZWS WITH FILTER FABRIC SLEEVE, .25 GPM OR .50 GPM BUBBLER OPTIONS, CHECK VALVE, 1/2IN. SWING JOINT FOR CONNECTION TO 1/2IN. PIPE	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	HUNTER ICV-G 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	
	HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	
	SHUT OFF VALVE BRASS, LINE SIZE	
	ZURN 950XL 1" DOUBLE CHECK VALVE ASSEMBLY	
	WATER METER 1" BY OTHERS	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	

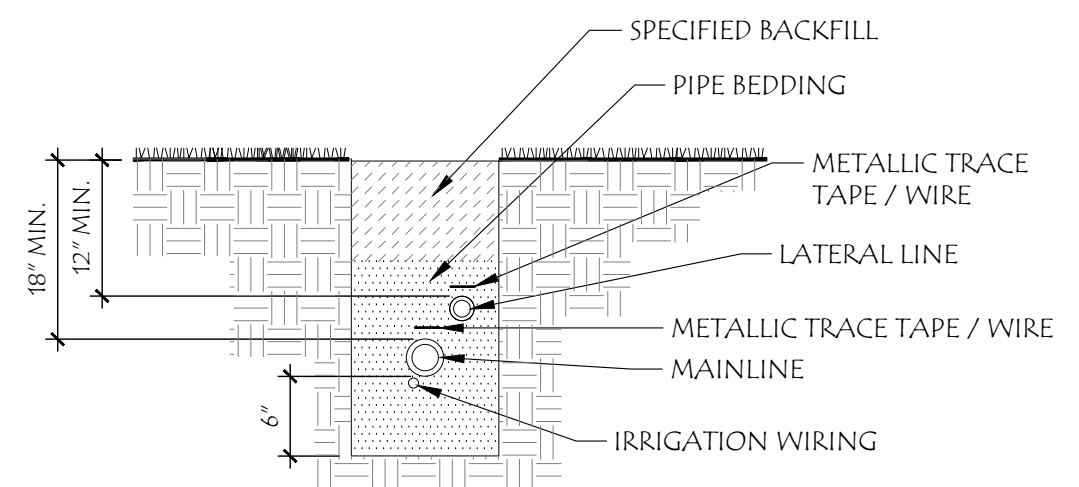
\*MATERIAL QUANTITIES SEE ONSITE PACKAGE IRRIGATION PLAN

LEGEND:



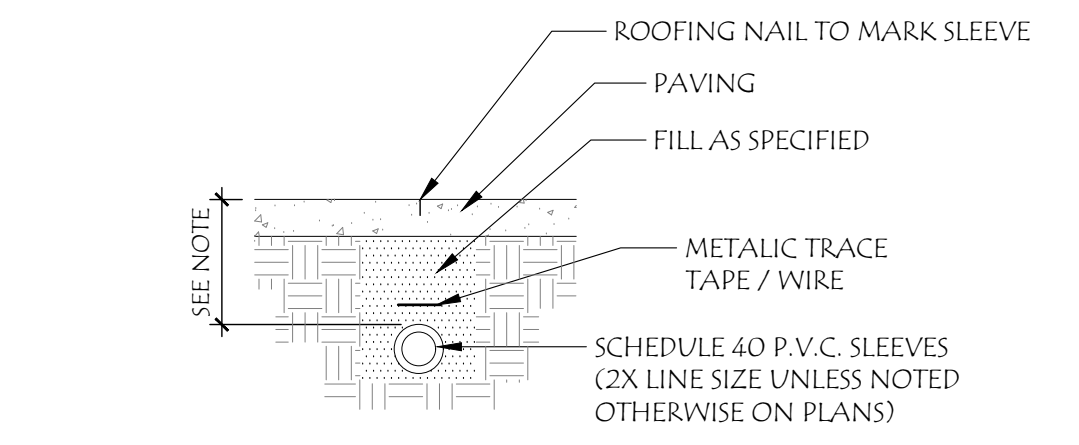
GENERAL NOTES:

- VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND RIGHT OF WAY IMPROVEMENTS.
- IRRIGATION SCHEDULE AND DETAILS SEE THIS SHEET.
- PLANTING PLAN SEE SHEET L1.1.
- BOOTH BEND ROAD ROW IMPROVEMENTS LANDSCAPE PLAN SEE SEPARATE PACKAGE.
- ONSITE LANDSCAPE PLANS SEE SEPARATE PACKAGE.



1 TYPICAL TRENCHING

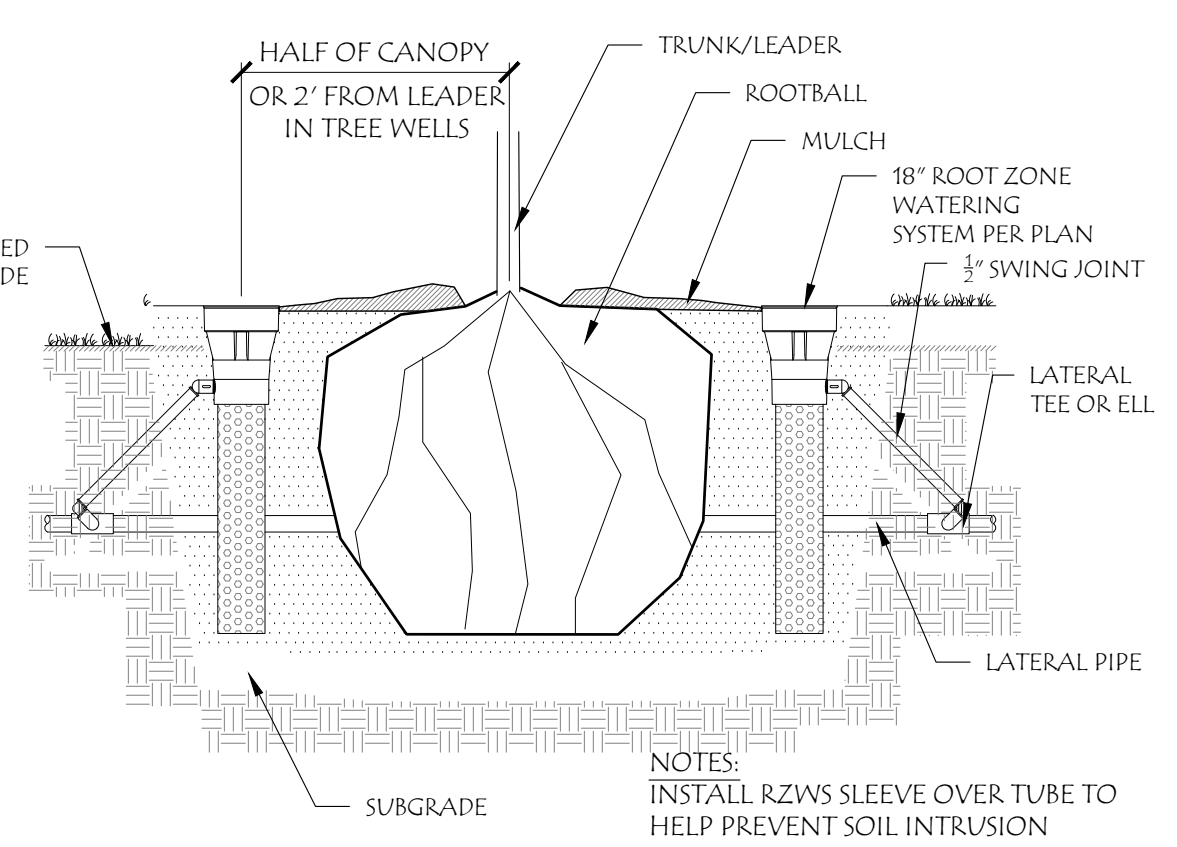
SCALE: NTS



- NOTES:
- EXTEND IRRIGATION SLEEVE 6" BEYOND EACH SIDE OF PAVING.
  - 18" MIN. DEPTH OF MAINLINE
  - 14" MIN. DEPTH OF LATERAL @ PAVING
  - 24" MIN. DEPTH OF LINES UNDER DRIVING SURFACES

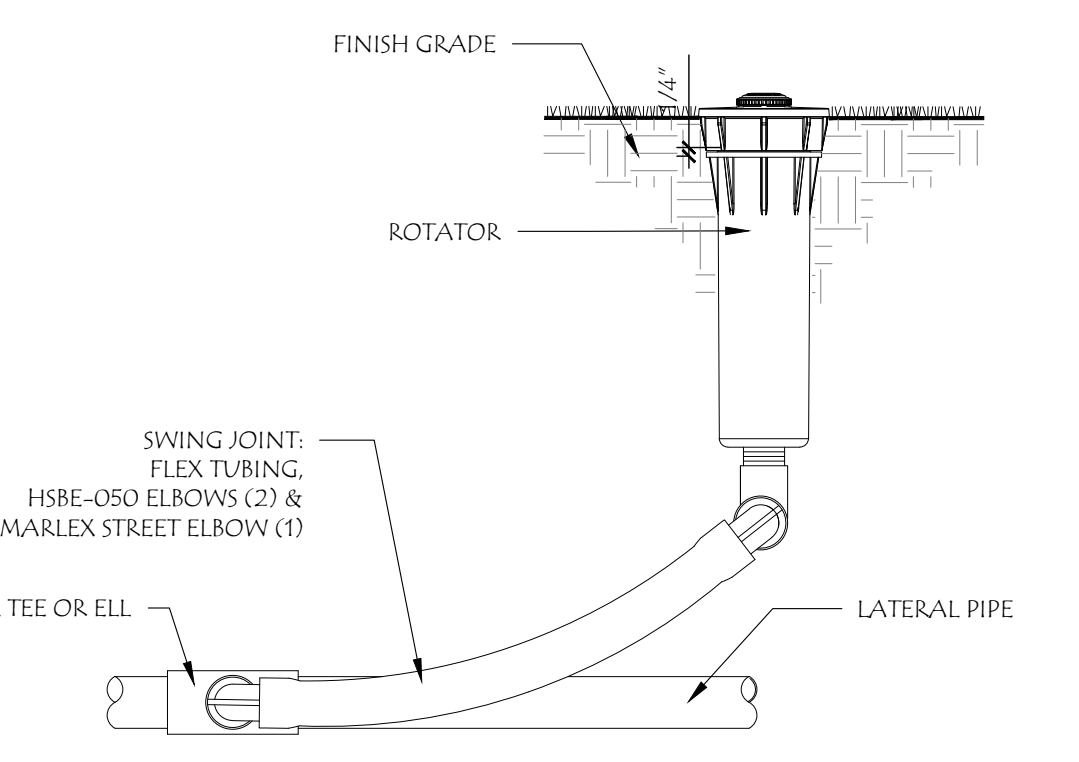
2 IRRIGATION SLEEVES

SCALE: NTS



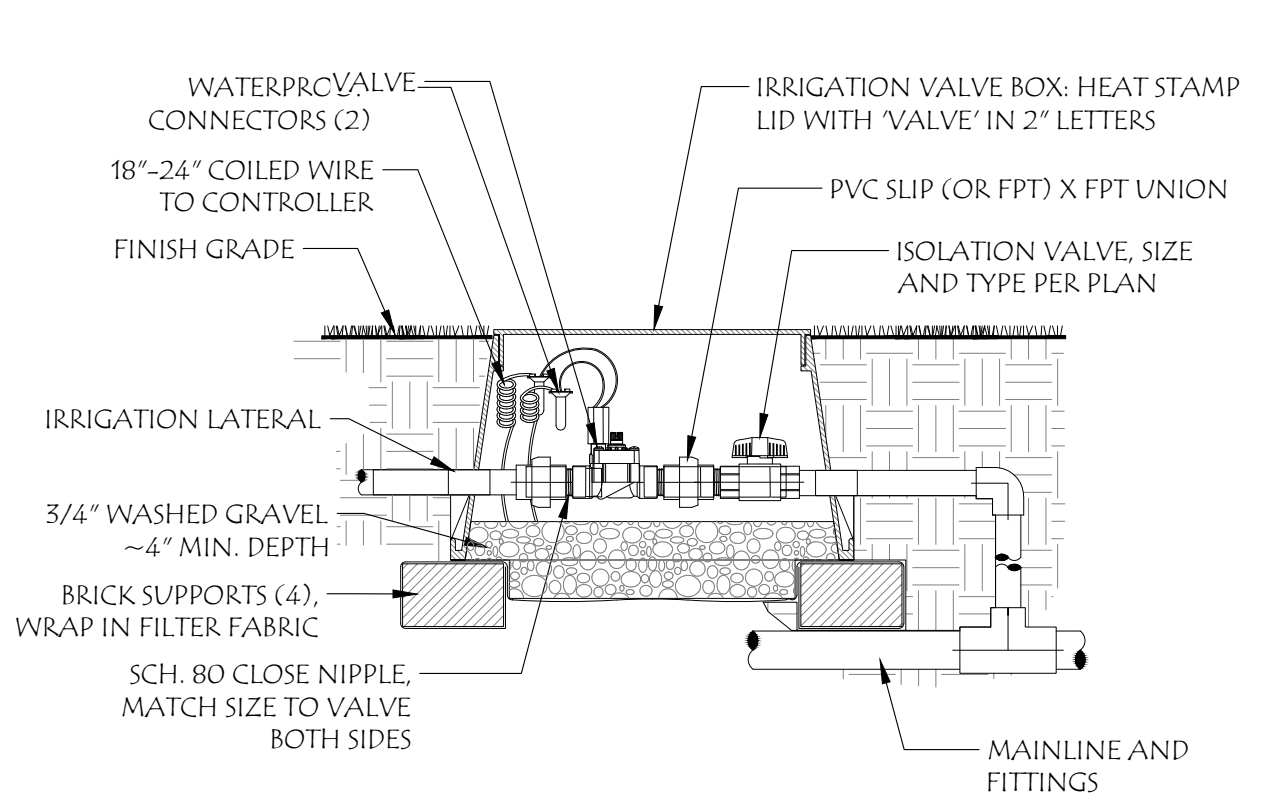
3 18" ROOT ZONE WATERING

SCALE: NTS



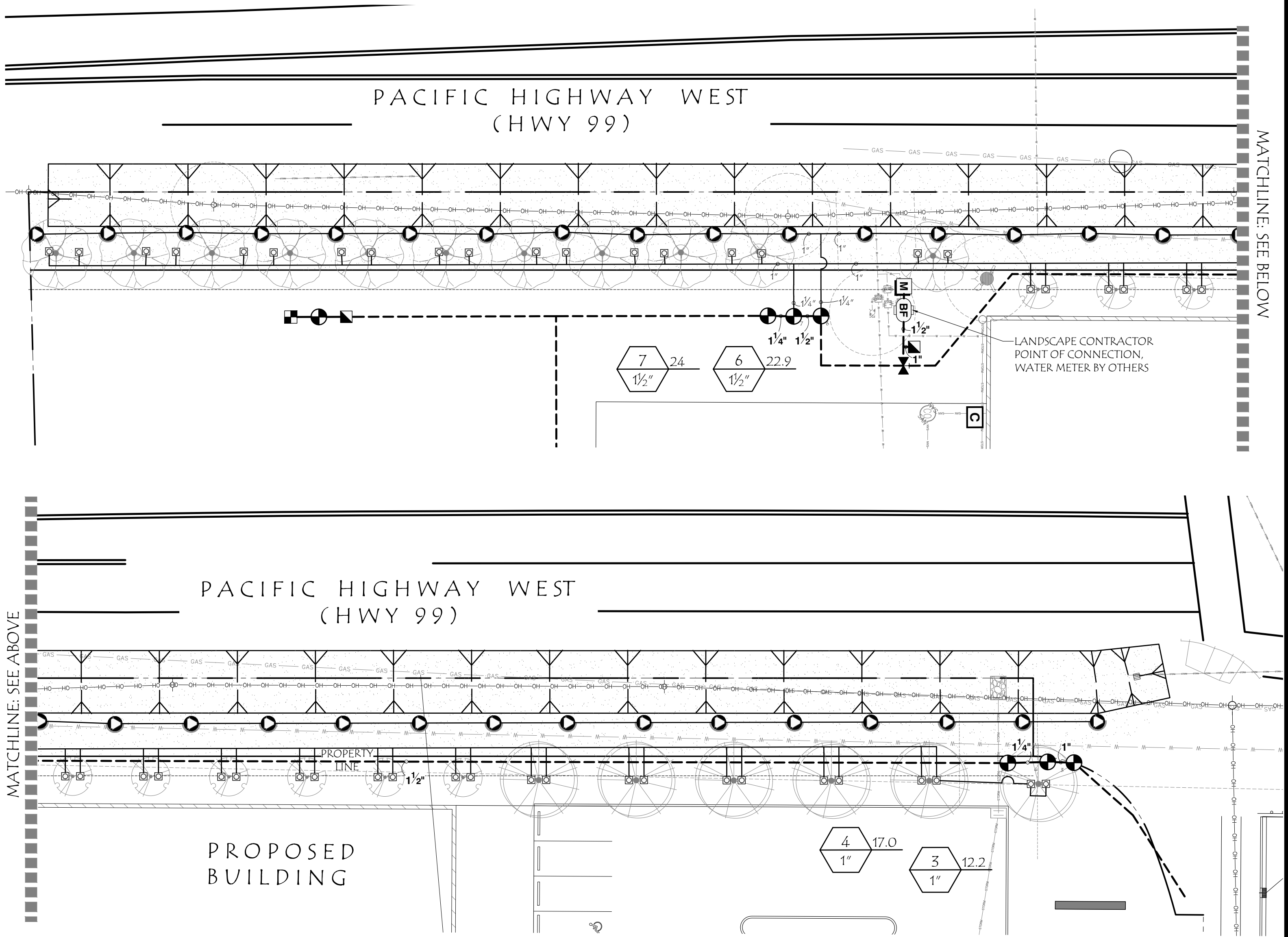
4 MP ROTATOR SWING JOINT

SCALE: NTS



5 CONTROL ZONE VALVE

SCALE: NTS



MATCHLINE: SEE ABOVE

MATCHLINE: SEE BELOW



# TRACTOR SUPPLY CO.: SW BOOTH BEND ROAD IMPROVEMENTS

900 SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON

## DRAWINGS FOR:

ATWATER GROUP  
162 WEST GRAND AVENUE #300  
CHICAGO, ILLINOIS 60654

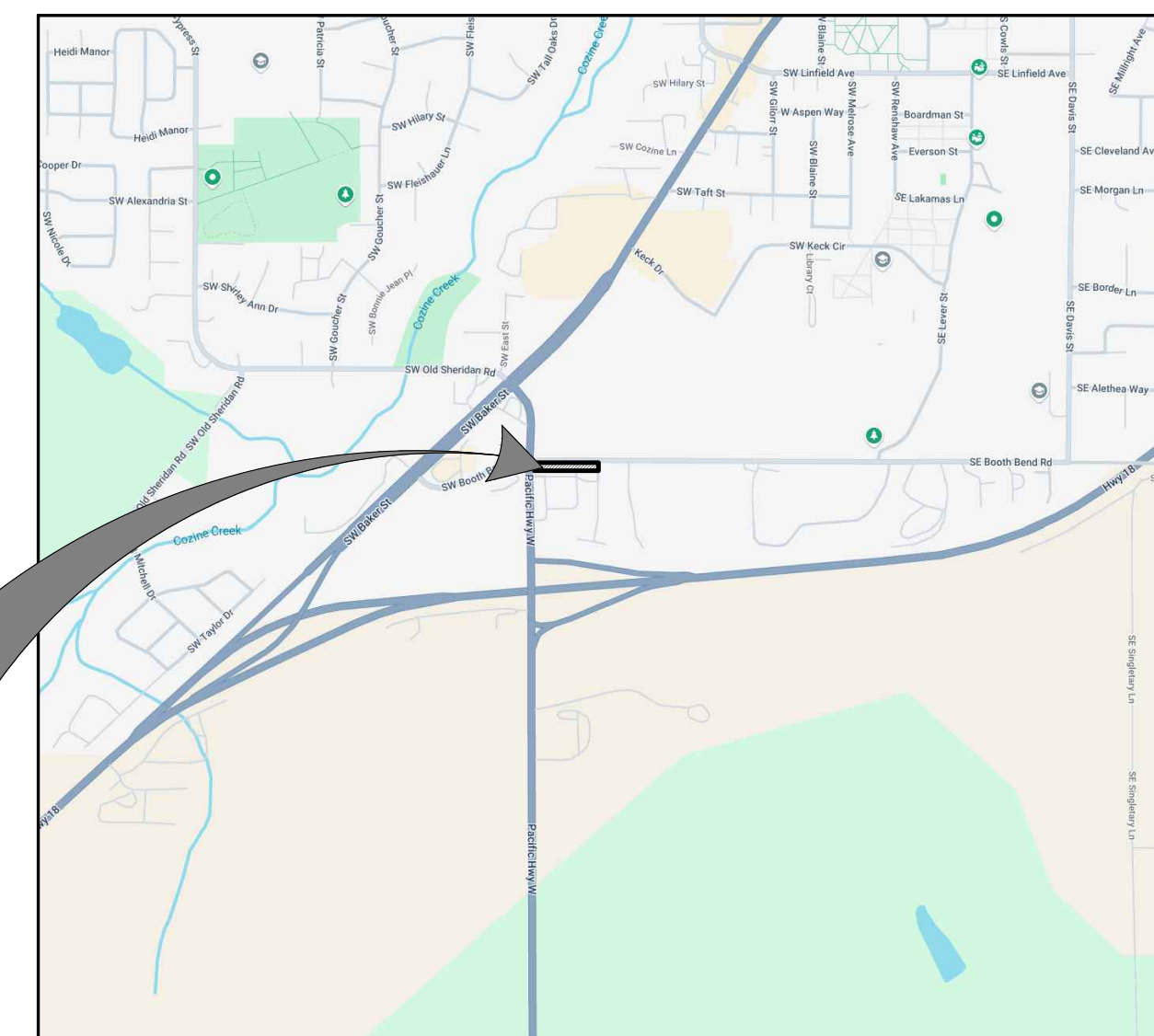
## LANDSCAPE ARCHITECT:

LAURUS DESIGNS, LLC  
LAURA ANTONSON, RLA, ASLA  
1012 PINE STREET  
SILVERTON, OREGON 97381  
503 . 784 . 6494  
LAURA@LAURUSDESIGNS.COM

## SHEET INDEX:

- LO.0 COVER SHEET
- L1.1 PLANTING PLAN AND SCHEDULE
- L2.1 IRRIGATION PLAN AND SCHEDULE

## VICINITY MAP:



PROJECT SITE

MAP COURTESY OF GOOGLE

CALL BEFORE YOU DIG  
AVOID CUTTING UNDERGROUND  
UTILITY LINES. IT'S COSTLY.



OR  
1.800.332.2344  
www.callbeforeyoudig.org

Laurus  
Designs, LLC



1012 Pine Street  
Silverton, Oregon 97381

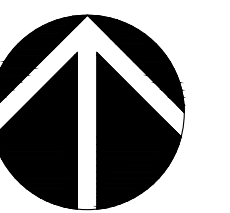
503.784.6494  
laurusdesigns.com

TRACTOR  
SUPPLY CO.  
SW BOOTH  
BEND ROAD  
IMPROVEMENTS

SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON



COVER  
SHEET



DECEMBER 16TH, 2024

### REVISIONS

#	DATE	NOTES	INITIALS

LO.0

SHEET 1 OF 3

PROJECT #: 1699C

Page 1 of 166







**IRRIGATION NOTES:**

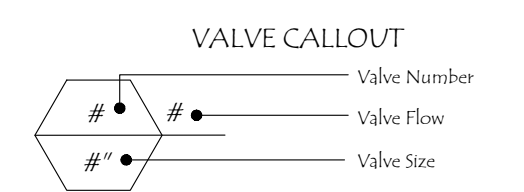
- IRRIGATION SYSTEM DESIGN BASED ON 37 GPM AT 75 PSI. IF METER SIZE, FLOW (GPM) AND/OR STATIC PRESSURE (PSI) VARY, CONTACT LANDSCAPE ARCHITECT.
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- PLACE ISOLATION VALVES AT POINT OF CONNECTION AND EACH VALVE BOX.
- SHRUB ROTATORS: 6" POP-UPS IN PLANTER AREAS. SEE HEAD TYPES IN LEGEND. KEEP 2" FROM PAVING AND 4" FROM WALLS.
- TREE BUBBLERS: KEEP STREET TREE BUBBLERS ON INDEPENDENT ZONE.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTORS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
- CONTRACTOR TO PROVIDE AS-BUILTS TO CLIENT AND INCLUDE ZONE INFORMATION IN CONTROLLER BOX.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...).

**IRRIGATION SCHEDULE: BOOTH BEND**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	HUNTER MP STRIP PROS-06-PRS40-CV-F (2) SHRUB ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP ON PRS40 BODY.	40
	HUNTER RZWS-SLEEVE-18-CV 18IN. LONG RZWS WITH FILTER FABRIC SLEEVE, .25 GPM OR .50 GPM BUBBLER OPTIONS, CHECK VALVE, 1/2IN. SWING JOINT FOR CONNECTION TO 1/2IN. PIPE	30
	HUNTER ICV-G 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	
	HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	
	IRRIGATION MAINLINE: PVC SCHEDULE 40	
	PIPE SLEEVE: 4" PVC SCHEDULE 40	

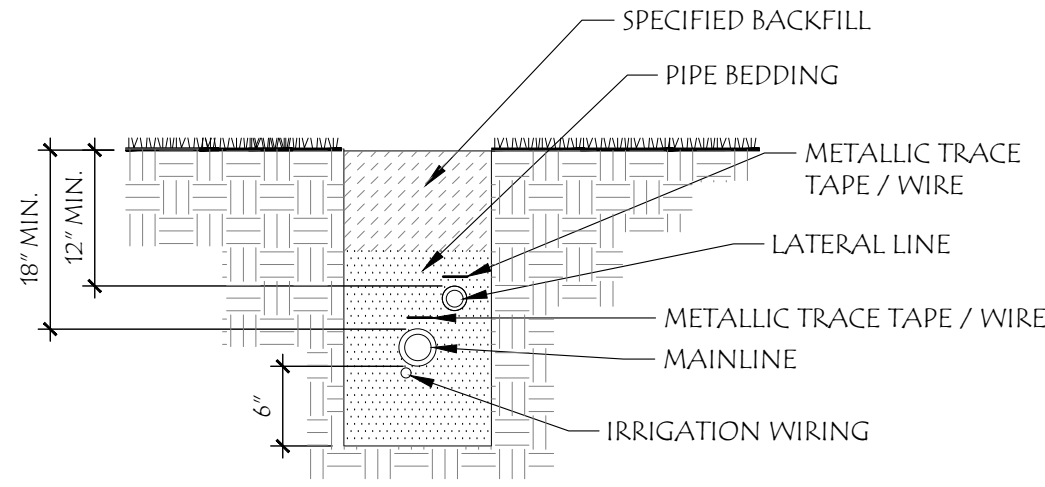
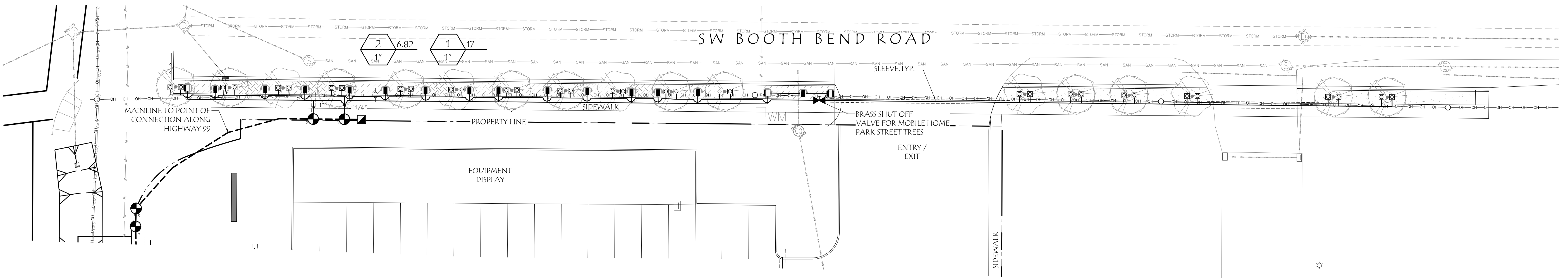
\*MATERIAL QUANTITIES SEE ONSITE PACKAGE IRRIGATION PLAN

**LEGEND:**

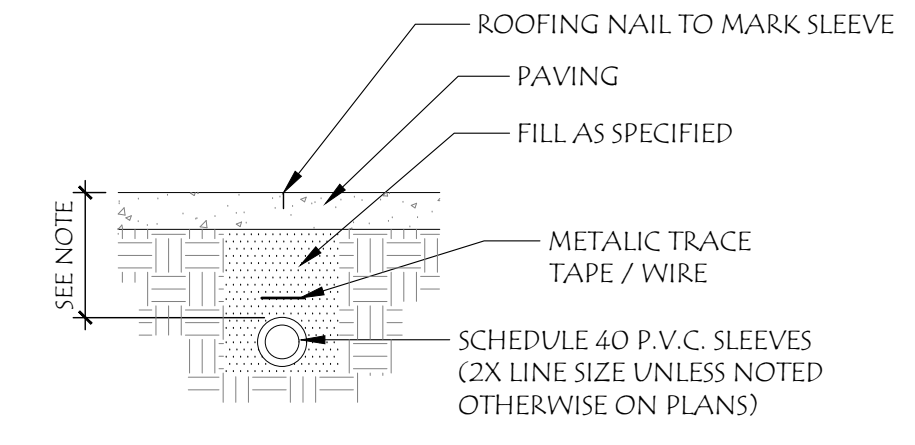


**GENERAL NOTES:**

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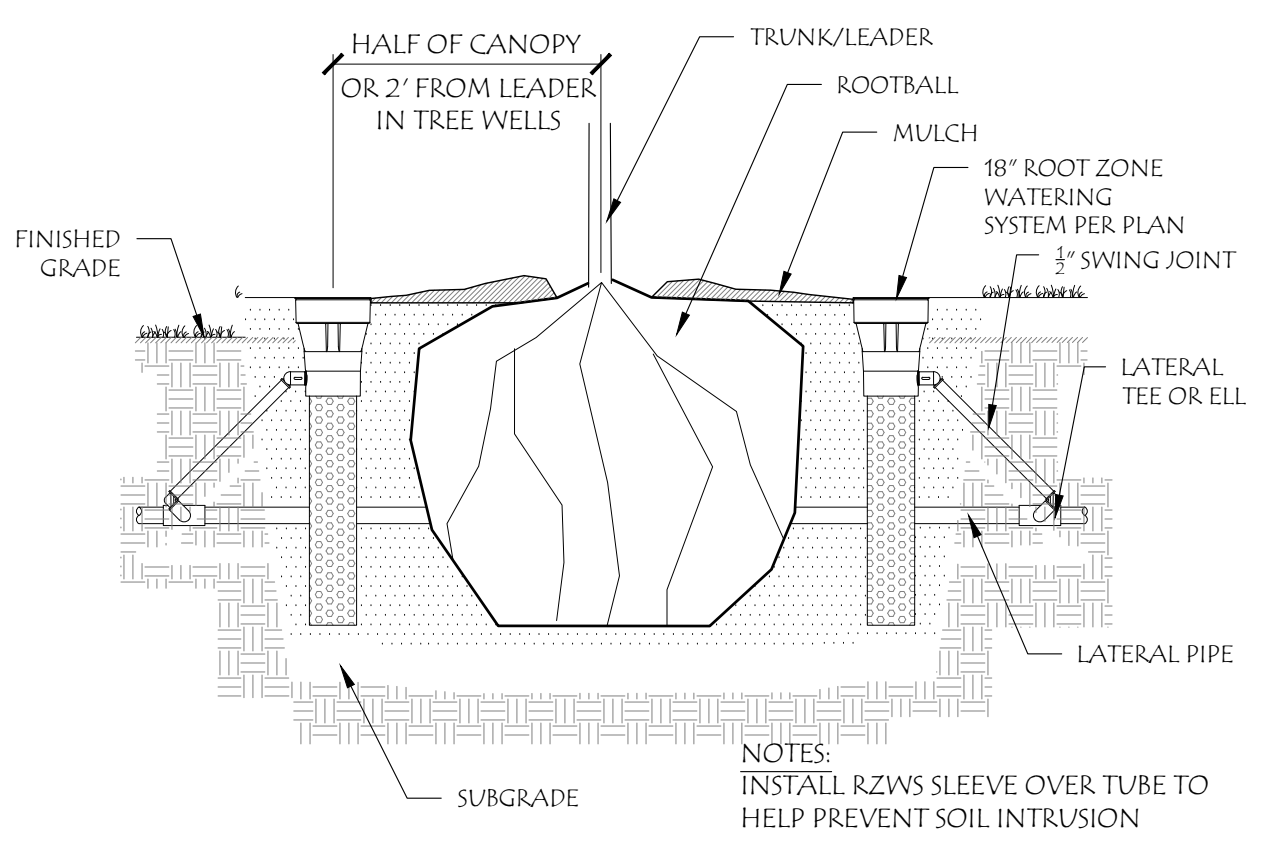


**1 TYPICAL TRENCHING**  
SCALE: NTS

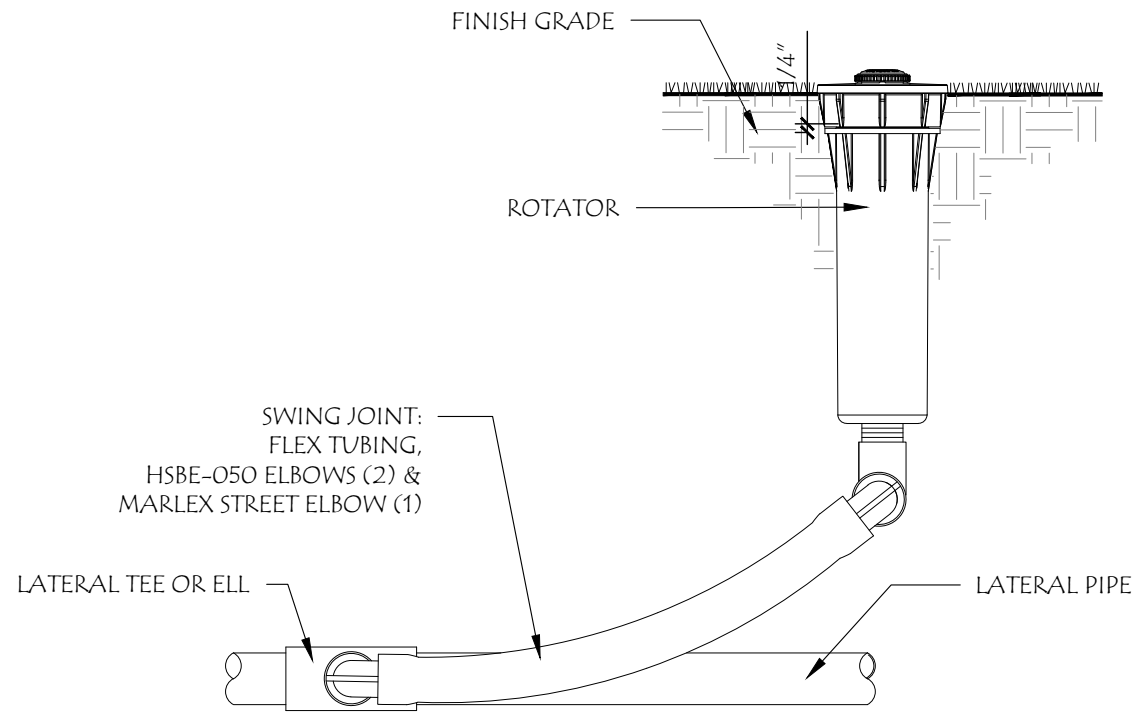


- NOTES:
- EXTEND IRRIGATION SLEEVE 6" BEYOND EACH SIDE OF PAVING.
  - 18" MIN. DEPTH OF MAINLINE
  - 14" MIN. DEPTH OF LATERAL @ PAVING
  - 24" MIN. DEPTH OF LINES UNDER DRIVING SURFACES

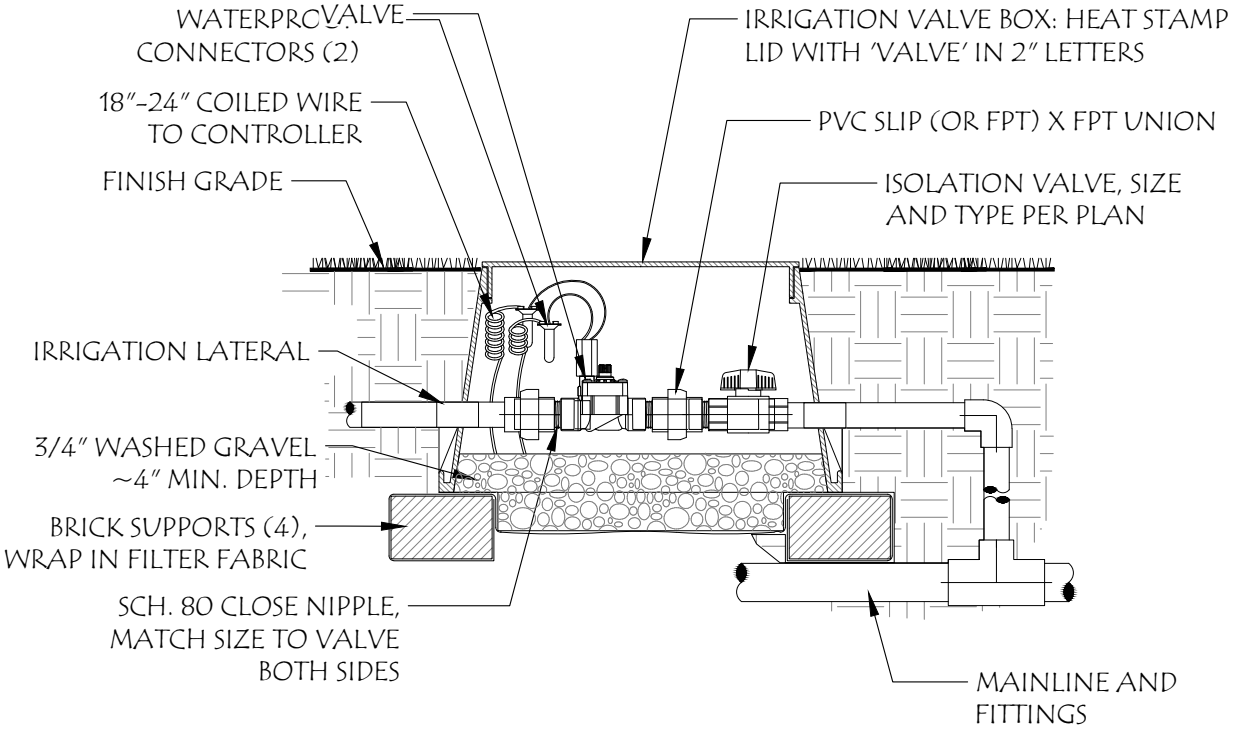
**2 IRRIGATION SLEEVES**  
SCALE: NTS



**3 18" ROOT ZONE WATERING**  
SCALE: NTS



**4 MP ROTATOR SWING JOINT**  
SCALE: NTS



**5 CONTROL ZONE VALVE**  
SCALE: NTS

Laurus Designs, LLC

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Silverton, Oregon 97381

503.784.6494  
laurusdesigns.com

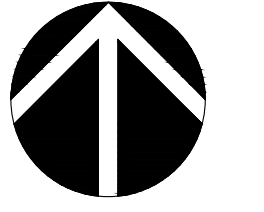
**TRACTOR SUPPLY CO. SW BOOTH BEND ROAD IMPROVEMENTS**

SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON

REGISTERED LANDSCAPE ARCHITECT

LAURA A. ANTONSON  
OREGON  
11/16/2007

**IRRIGATION PLAN AND SCHEDULE**



SCALE: 1" = 20' - 0"

DECEMBER 16TH, 2024

**REVISIONS**

#	DATE	NOTES	INITIALS

**L2.1**  
SHEET 3 OF 3



# ONSITE IMPROVEMENT PLANS FOR TRACTOR SUPPLY PROJECT

SOUTH 1/2 OF SECTION 29, TOWNSHIP 4 SOUTH, RANGE 4 WEST OF  
THE WILLAMETTE MERIDIAN  
CITY OF MCMINNVILLE, YAMHILL COUNTY, OREGON

### APPLICANT/ DEVELOPER:

ATWATER MCMINNVILLE OR LLC  
162 W GRAND AVE., SUITE 300  
CHICAGO, IL 60654  
EMAIL: RELWANI@ATWATERGROUP.COM  
PHONE: (312) 332-0690

### SITE PLANNERS/ ENGINEERS/SURVEYORS:

WELKIN ENGINEERING, P.C.  
ED CHRISTENSEN, P.E.  
25260 SW PARKWAY AVE., SUITE G  
WILSONVILLE, OR 97070  
EMAIL: EKC@WELKINPC.COM  
PHONE: (503) 380-5324

### GEOTECHNICAL:

BRANCH ENGINEERING, INC.  
DANIEL M. STAI, P.E.  
310 5TH ST  
SPRINGFIELD, OR 97477  
PHONE: (541) 746-0637

### UTILITY CONTACTS:

#### POWER

MCMINNVILLE WATER & LIGHT  
855 NE MARSH LN  
MCMINNVILLE, OR 97128  
(503) 472-6158

#### CABLE

COMCAST CABLE  
1004 N SPRINGBROOK RD  
NEWBERG, OR 97132  
(800) 934-6489

#### SEWER

WASTEWATER SERVICES  
3500 NE CLEARWATER DR  
MCMINNVILLE, OR 97128

#### STORM

ENGINEERING DEPARTMENT  
COMMUNITY DEVELOPMENT CENTER  
231 NE FIFTH ST  
MCMINNVILLE, OR 97128  
(503) 434-7312

#### GAS

NORTHWEST NATURAL  
P.O. BOX 8905  
PORTLAND, OR 97255  
(800) 422-4012

#### FIRE

MCMINNVILLE FIRE DEPT  
175 SE 1ST ST  
MCMINNVILLE, OR 97128  
(503) 435-5800

#### TELEPHONE

HUNTER COMMUNICATIONS  
4771 INDUSTRY RD  
CENTRAL POINT, OR 97502  
(541) 772-9282

#### WATER

MCMINNVILLE WATER & LIGHT  
855 NE MARSH LN  
MCMINNVILLE, OR 97128  
(503) 472-6158

#### REFUSE/RECYCLING

RECOLOGY WESTERN OREGON  
1850 LAFAYETTE AVE  
MCMINNVILLE, OR 97128  
(503) 472-3176



**SAFETY IS IN YOUR HANDS.  
EVERY DIG. EVERY TIME.**

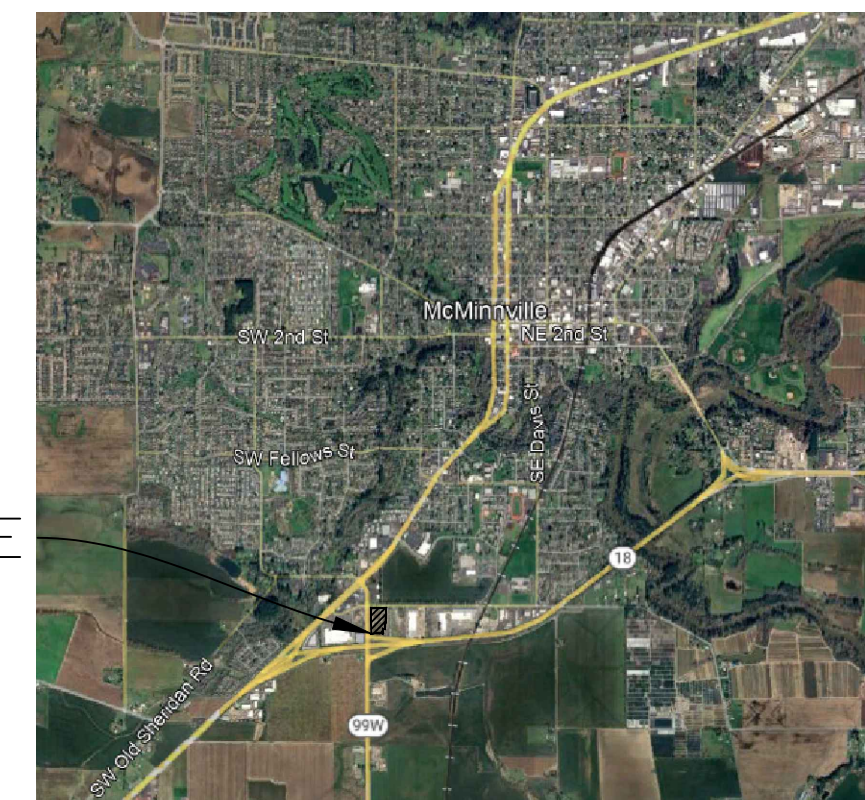
### LOCATES:

48 HOUR NOTICE REQUIRED PRIOR TO EXCAVATION  
THE CONTRACTOR MUST COMPLY WITH THE REGULATIONS OF ORS  
757.541 TO 757.571 IN LOCATION AND PROTECTION OF  
UNDERGROUND UTILITIES. OREGON LAW REQUIRES COMPLIANCE WITH  
RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER.  
THOSE RULES ARE SET FORTH IN OAR 952-002-0010 THROUGH  
OAR 952-001-0090. COPIES OF THE RULES MAY BE OBTAINED BY  
CALLING THE CENTER AT (503) 282-1987.



SITE MAP

NTS



VICINITY MAP

NTS



### SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		CATCH BASIN/CURB INLET
		AREA DRAIN
		FIRE DEPARTMENT CONNECTION
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER VAULT
		GATE VALVE
		UNKNOWN UTILITY STUB
		TELEPHONE PEDESTAL/MANHOLE
		POWER VAULT/METER
		POWER TRANSFORMER
		POLE ANCHOR
		GAS METER
		GAS VALVE
		POWER POLE
		STREET/PARKING/FLOOD LIGHT
		BOLLARD
		SANITARY SEWER MANHOLE
		STORM DRAIN
		SAMPLING STATION
		BLOW OFF ASSEMBLY
		CLEANOUT
		WELL
		MONUMENT
		BENCH MARK
		STREET BARRICADE
		THRUST BLOCKING
		TREE
		DIVERSION MANHOLE
		CONTROL POINT
		IRON ROD/PIPE
		SOIL BORING
		SIGN POST
		MAILBOX
		GATE
		IRRIGATION CONTROL BOX
		POWER BOX
		DOUBLE DETECTOR CHECK VALVE
		AIR CONDITIONING UNIT

### LINETYPES

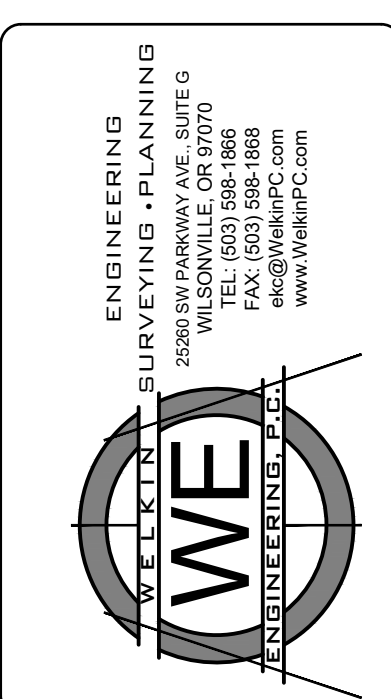
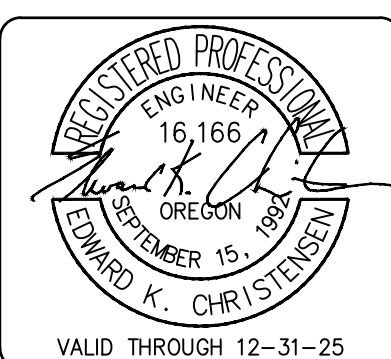
EXISTING	PROPOSED	DESCRIPTION
		PROJECT BOUNDARY
		LIMITS OF DISTURBANCE
		BUILDING FOOTPRINT
		MAJOR CONTOUR
		MINOR CONTOUR
		FENCE
		SANITARY SEWER
		STORM PIPE
		WATER MAIN
		SAWCUT LINE
		DITCH BOTTOM/FLOW LINE
		GAS MAIN
		EDGE OF PAVEMENT
		RETAINING WALL
		CONCRETE PAD/SIDEWALK
		STREAM
		COMM LINE
		COMBINED SEWER
		OVERHEAD LINE
		UNDERGROUND POWER
		RIGHT-OF-WAY
		EASEMENT - ROAD
		EASEMENT - UTILITY
		STRIPING - ROADWAY
		STRIPING - PARKING LOT
		PARCEL/PROPERTY LINE
		LOT LINE
		CURB
		ROADWAY CENTERLINE
		GRAVEL EDGE
		FORCE MAIN
		RAILROAD TRACKS
		LANDSCAPE
		GRADE BREAK

### ABBREVIATIONS

(AB)	AS-BUILT	NTS	NOT TO SCALE
ODOT	OREGON DEPT OF TRANSPORTATION	PL	PROPERTY LINE
BC	BACK OF CURB	PUE	PUBLIC UTILITY EASEMENT
C&G	CURB & GUTTER	RCP	REINFORCED CONCRETE PIPE
CB	CATCH BASIN	ROW	RIGHT-OF-WAY
CL	CENTERLINE	S=	SLOPE
CY	CUBIC YARD	SS/SSWR	SEWER
DTL	DETAIL	SW	SIDEWALK
E	ELECTRIC	STD	STANDARD
EL/ELEV	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	SD	STORM DRAIN
ESMT	EASEMENT	SF	SQUARE FOOT
EX	EXISTING	TB	TOP OF BANK
FC	FACE OF CURB	TC	TOP OF CURB
FF	FINISH FLOOR	TW	TOP OF WALL
FG	FINISH GRADE	VERT	VERTICAL
FL	FLOW LINE	R/RT	RIGHT
FP	FINISH PAD	L/LT	LEFT
FH	FIRE HYDRANT	PC	POINT OF CURVATURE
GB	GRADE BREAK	PCC	POINT OF COMPOUND CURVATURE
IE	INVERT ELEVATION	PRC	POINT OF REVERSE CURVATURE
LF	LINEAR FOOT	PT	POINT OF TANGENCY
MH	MANHOLE	UNKN	UNKNOWN

SHEET INDEX	
SHEET NO.	SHEET TITLE
001	COVER SHEET
002	GENERAL NOTES
003	EXISTING CONDITIONS
003A	TREE PLAN
004	SITE PLAN
005	GRADING PLAN
006	STORM PLAN
007	SEWER & GAS PLAN
008	WATER AND POWER PLAN
009	CONSTRUCTION DETAILS
010	CONSTRUCTION DETAILS
011	CONSTRUCTION DETAILS
L0.0	LANDSCAPE COVER SHEET
L1.1	PLANTING PLAN & SCHEDULE
L1.2	PLANTING PLAN & SCHEDULE
L1.3	PLANTING NOTES & DETAILS
L1.4	PLANTING DETAILS
L2.1	IRRIGATION PLAN & SCHEDULE
L2.2	IRRIGATION PLAN & NOTES
L2.3	IRRIGATION DETAILS

NO.	DATE	REVISION



COVER SHEET

TRACTOR SUPPLY  
IMPROVEMENT PLANS  
CITY OF  
MCMINNVILLE

DESIGNED BY:	MFP
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	NA HORIZONTAL NA VERTICAL
PROJECT NO:	----
SHEET	001

DATE PLOTTED: Jan 03, 2025 - 3:36pm  
WFPC DRAWING FILE: c:\Project Data\24-132-01 Tractor\_Suppl\DWG\Civil\Sheets\Onsite\24-132-01\_CV.dwg



**GENERAL NOTES OF WELKIN ENGINEERING, P.C.**

1. WORKMANSHIP AND MATERIAL SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY, AND CITY REQUIREMENTS AND WITH ACCEPTED CONTEMPORARY STANDARDS OF CRAFTSMANSHIP. THE CONTRACTOR SHALL OBTAIN A COPY OF AND COMPLY WITH EACH OF THESE PROVISIONS.
2. THE CONTRACTOR SHALL KEEP AND MAINTAIN A CURRENT SET OF DRAWINGS FOR THE DESIGN ENGINEER SHOWING AS-CONSTRUCTED DATA AND ALL FIELD ALTERATIONS. THESE CONSTRUCTION FIELD PRINTS SHALL BE TRANSMITTED TO THE DESIGN ENGINEER AND SHALL SHOW ANY AND ALL ALTERATIONS FROM THE PLANS.
3. THE ENGINEER MAY REQUIRE MODIFICATIONS DURING CONSTRUCTION WHERE NECESSITY REQUIRES. THE CONTRACTOR SHALL OBTAIN APPROPRIATE APPROVAL FOR ANY ALTERATIONS, EXCEPTING MINOR FIELD ADJUSTMENTS NEEDED TO MEET EXISTING FIELD CONDITIONS, AND DOCUMENT ALL MODIFICATIONS ON THE FIELD PRINTS.
4. THE LOCATION AND DESCRIPTION OF EXISTING UTILITIES, WATER COURSES, AND/OR UNDERGROUND STRUCTURES SHOWN ON THE PLANS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND NATURE OF SUCH, AND PRIOR TO DIGGING, SHALL CALL FOR UTILITY LOCATE. IN SOME INSTANCES THE INDIVIDUAL UTILITIES WILL NEED TO BE CONTACTED.
5. THE CONTRACTOR SHALL REPORT TO THE ENGINEER IMMEDIATELY ANY ERROR OR DISCREPANCY DISCOVERED IN THE CONTRACT DRAWINGS OR IN ANY OTHER DATA FURNISHED BY THE ENGINEER.
6. THE CONTRACTOR SHALL CONTACT UTILITY OWNERS, VERIFY ALL UTILITY INVOLVEMENT WITHIN THE WORK, AND ARRANGE FOR THE RELOCATION OF ANY UTILITIES IN CONFLICT WITH THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE FOR THE FLOW OF WATER COURSES AND ESSENTIAL UTILITIES THAT MAY BE INTERRUPTED DURING THE PROGRESS OF THE WORK AND SHALL RESTORE SUCH WATER COURSES AND UTILITIES AFTER COMPLETION OF THE WORK. THE CONTRACTOR SHALL NOT INTERRUPT THE SERVICE FUNCTION OR DISTURB THE SUPPORT OF ANY UTILITY WITHOUT AUTHORITY FROM THE OWNER OF THE UTILITY. ALL VALVES, SWITCHES, VAULTS AND METERS SHALL BE MAINTAINED READILY ACCESSIBLE FOR EMERGENCY SHUTOFF.
7. ALL VAULTS, BOXES, FRAMES, COVERS, EXISTING AND PROPOSED MONUMENTS, AND OTHER STRUCTURES SHALL BE BROUGHT TO FINISH GRADE.
8. THE CONTRACTOR SHALL NOT DISTURB, FILL OVER, BUILD OVER, OR PAVE OVER ANY STANDARD SURVEY MONUMENTS, LOT CORNER PIPES, OR OTHER PERMANENT SURVEY MONUMENTS DURING THE PROCESS OF CONSTRUCTION WITHOUT THE CONSENT OF THE ENGINEER. ANY THAT ARE DISTURBED WITHOUT PERMISSION SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR. WHEN A CHANGE IS MADE IN THE FINISH ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL ADJUST THE MONUMENT COVER TO THE NEW GRADE WITHIN 7 DAYS OF FINISHED PAVING UNLESS OTHERWISE SPECIFIED.
9. THE CONTRACTOR IS TO CHECK ALL THE LINES AND GRADES AND ANY OTHER DIMENSIONS DETERMINED BY THE ENGINEER, AND SHALL TAKE FULL RESPONSIBILITY FOR DETAILED DIMENSIONS, ELEVATIONS, AND SLOPES. THE CONTRACTOR IS OBLIGED TO PRESERVE CONSTRUCTION SURVEY STAKES AND MARKS FOR THE DURATION OF THEIR USEFULNESS.
10. THE CONTRACTOR SHALL ERECT AND MAINTAIN TRAFFIC CONTROL PER THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", PART VI, CONSTRUCTION AND MAINTENANCE, LOCAL AND EMERGENCY ACCESS SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL SUBMIT A PLAN FOR THE TRAFFIC CONTROL TO THE CITY FOR APPROVAL. THE CONTRACTOR SHALL GIVE THE TIMELY NOTIFICATION OF TRAFFIC FLOW DISRUPTIONS TO AREA-WIDE EMERGENCY SERVICES AND THE SCHOOL DISTRICT.
11. THROUGHOUT ALL PHASES OF CONSTRUCTION, INCLUDING SUSPENSION OF WORK AND UNTIL THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL KEEP THE SITE CLEAN AND FREE FROM RUBBISH AND DEBRIS, AND UNUSED MATERIALS OF ANY KIND RESULTING FROM THE WORK. THE CONTRACTOR SHALL ALSO ABATE DUST NOISANCE BY CLEANING, SWEEPING, AND SPRINKLING AS NECESSARY. MATERIALS AND EQUIPMENT SHALL BE REMOVED FROM THE SITE AS SOON AS THEY ARE NO LONGER NECESSARY. FORMS AND FORM LUMBER SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICABLE AFTER STRIPPING. BEFORE THE FINAL INSPECTION, THE SITE SHALL BE CLEARED OF EQUIPMENT, UNUSED MATERIALS, AND RUBBISH SO AS TO PRESENT A SATISFACTORY CLEAN AND NEAT APPEARANCE. ALL CLEANUP COSTS SHALL BE INCLUDED IN THE CONTRACTOR'S BID. IF THE CONTRACTOR FAILS TO COMMENCE THE CLEANUP WITHIN 24 HOURS AFTER DIRECTED BY THE ENGINEER, THE ENGINEER MAY HAVE THE WORK PERFORMED BY OTHERS, WITH THE COST BORNE BY THE CONTRACTOR AND DEDUCTED FROM PAYMENTS DUE OR TO BECOME DUE TO THE CONTRACTOR, OR MAY ORDER WORK SUSPENDED UNTIL THE CONDITION IS CORRECTED. NO ADDITIONAL COMPENSATION WILL BE ALLOWED AS A RESULT OF SUCH A SUSPENSION.
12. THE CONTRACTOR SHALL AT ALL TIMES ABIDE BY APPLICABLE SAFETY RULES OF O.S.H.A., AND IN PARTICULAR, THOSE PERTAINING TO SHORING, OPEN EXCAVATIONS, AND THE PROTECTION OF WORKERS.
13. NO CONSTRUCTION MATERIAL SHALL BE PLACED OR STORED IN THE EXISTING PUBLIC RIGHT-OF-WAY.

**SANITARY SEWER**

1. ALL WORK AND MATERIALS SHALL CONFORM WITH THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF MCMINNVILLE, THESE PLANS, WES, OR SUNRISE WATER AUTHORITY
2. THE CONTRACTOR IS REQUIRED TO ATTEND A PRE-CONSTRUCTION CONFERENCE AT THE CITY OFFICES PRIOR TO BEGINNING WORK ON THE SANITARY SEWER. THE OWNER OR CONTRACTOR IS ALSO REQUIRED TO PROVIDE THE COUNTY A WARRANTY BOND FOR THE NEW SANITARY SEWER MAINS AND SERVICE CONNECTIONS AT THE COMPLETION OF CONSTRUCTION.
3. THE ENGINEER IS REQUIRED TO HAVE AN INSPECTOR ON SITE AT ALL TIMES DURING CONSTRUCTION OF THE SANITARY SEWER, THE CONTRACTOR, SHALL GIVE THE ENGINEER AT LEAST 24 HOURS NOTICE PRIOR TO BEGINNING WORK, AT THE START OF CONSTRUCTION OR AFTER AN INTERVAL OF NOT WORKING ON THE SANITARY SEWER.
4. SANITARY SEWER PIPE AND APPURTENANCES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH CITY OF MCMINNVILLE STANDARDS. LEAKAGE TESTS INCLUDE AN AIR TEST OF THE SEWER MAINS AND SERVICE CONNECTIONS AND A WATER EXFILTRATION TEST OR VACUUM TEST OF THE MANHOLES. ANY PORTION OF THE SEWER WHICH FAILS TO PASS THESE TESTS SHALL BE EXCAVATED, REPAIRED OR REALIGNED, AND RETESTED. IN ADDITION TO HYDROSTATIC OR AIR TESTING, SANITARY SEWERS CONSTRUCTED OF PVC SEWER PIPE SHALL BE DEFLECTION TESTED NO LESS THAN 30-DAYS AFTER THE TRENCH BACKFILL AND COMPACTION HAS BEEN COMPLETED. THE TEST SHALL BE CONDUCTED BY PULLING AN APPROVED SOLID POINTED MANDREL 95% OF THE INSIDE DIAMETER THROUGH THE PIPELINE ON A MANHOLE TO MANHOLE BASIS.
5. UNLESS OTHERWISE SPECIFIED ON THE PLANS OR DIRECTED BY THE ENGINEER, EACH GRAVITY SERVICE CONNECTION SHALL BE LAID IN A SEPARATE TRENCH ON A STRAIGHT LINE AND GRADIENT FROM THE TEE TO THE END OF THE SERVICE CONNECTION. AT THE PROPERTY LINE THE GRAVITY SERVICE CONNECTION SHALL BE AT LEAST 6 FEET BELOW THE GRADE OF THE STREET CENTER LINE. NO GRAVITY SERVICE CONNECTION SHALL BE LAID ON A SLOPE OF LESS THAN TWO PERCENT, UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR SHOWN ON THE PLANS. THE ENGINEER WILL PROVIDE A CUT STAKE AT THE TERMINAL POINT OF EACH SERVICE CONNECTION. UNLESS OTHERWISE DIRECTED BY THE ENGINEER, THE CONTRACTOR WILL USE A GRADING LINE TO LAY THE PIPE AND THE GRAVITY SERVICE CONNECTION SHALL BE INSTALLED WITH THE SAME ACCURACY AS THE MAIN SEWER. EACH SERVICE CONNECTION SHALL BE PLUGGED WITH A RUBBER RING PLUG. A 10" - 2 X 4 MARKER PAINTED GREEN SHALL BE PLACED AT THE END OF EACH SERVICE CONNECTION, AND SHALL EXTEND FROM THE END OF THE PIPE TO A POINT GREATER THAN ONE FOOT (1') ABOVE THE SURFACE OF THE GROUND. A DETECTABLE GREEN MAGNETIC TAPE ("THORDURATEC SAFETY GREEN SANITARY SEWER RIBBON OR EQUAL") WITH THE WORD "SEWER" AT REGULAR INTERVALS SHALL BE PLACED ALONG THE SERVICE CONNECTION FROM THE MAINLINE TEE TO THE GROUND SURFACE. IF A LONGER 2X4 IS REQUIRED, THE ENGINEER SHALL BE NOTIFIED FOR RECORDING ON AS-BUILT PLANS.
6. ALL MANHOLES IN EASEMENT AREAS SHALL HAVE TAMPER-PROOF LIDS PER WES SPECIFICATIONS, OR APPROVED EQUAL. CAUTION: NOT ALL TAMPER-PROOF LIDS MEET CITY OF MCMINNVILLE OR YAMHILL COUNTY SPECIFICATIONS. THE FRAME AND COVER SHALL BE SIX INCHES (6") ABOVE FINISH GRADE.
7. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE AND MAINTAIN AMPLE MEANS AND DEVICES TO REMOVE AND

**MATERIALS**

POLYVINYL CHLORIDE PIPE (PVC) SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-3034, SDR 35, AND JOINT TYPE SHALL BE ELASTOMERIC GASKET CONFORMING TO ASTM D-3212.

**INSTALLATION**

POLYVINYL CHLORIDE PIPE (PVC) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. PVC SEWER PIPE SHALL BE CONNECTED TO CONCRETE MANHOLES BY MEANS OF AN APPROVED COUPLING WITH AN ELASTOMERIC GASKET, AN APPROVED WATERSTOP OR FLEXIBLE SLEEVE. USE OF PORTLAND CEMENT GROUT FOR CONNECTION OF PVC SEWER PIPE TO MANHOLES WILL NOT BE PERMITTED. AFTER THE CONTRACTOR HAS BACKFILLED THE PIPE ZONE OF THE TRENCH AS REQUIRED, HE SHALL THEN BACKFILL THE BALANCE OF THE TRENCH, WITH 3/4"-0" OR 1"-0" CRUSHED AGGREGATE, IN ONE FOOT (1') LAYERS, MECHANICALLY COMPACTING EACH LAYER TO 95% OF MAXIMUM DENSITY IN ROADWAYS AND 85% TO 90% IN ALL OTHER AREAS. MAXIMUM RELATIVE DENSITY SHALL BE DETERMINED PER AASHTO T-180. IN PLACE, DENSITY SHALL BE DETERMINED PER AASHTO T-191, T-205 OR T-238. ANY SUBSEQUENT SETTLEMENT OF THE TRENCH OR DITCH DURING THE GUARANTEE PERIOD SHALL BE CONSIDERED TO BE THE RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY CORRECTED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY, COUNTY OR THE OWNER.

**GRADING NOTES**

1. THIS PLAN APPROVAL IS NOT TO BE CONSTRUED AS FINAL APPROVAL OF SITE GRADING, EMBANKMENT OR STRUCTURAL FILL WORK; IT MERELY PROVIDES FOR INITIATION OF WORK AND IS SUBJECT TO CHANGE PENDING CITY APPROVAL OF THE ENTIRE CONSTRUCTION-DEVELOPMENT PLAN SET.
2. SPREADING OF MUD OR DEBRIS UPON ANY PUBLIC ROAD IS PROHIBITED. THE CITY MAY ORDER STOPPAGE OF WORK TO EFFECT CORRECTIVE ACTION, AT ANY TIME. MUD OR DEBRIS SHALL BE SWEEPED FROM PUBLIC ROAD.
3. EFFECTIVE EROSION CONTROL, DUST CONTROL, AND DRAINAGE CONTROL IS REQUIRED AT ALL TIMES. THE CITY MAY ORDER STOPPAGE OF WORK TO EFFECT CORRECTIVE ACTION, AT ANY TIME.
4. EMBANKMENTS OR STRUCTURAL FILLS FOR ROADWAY CONSTRUCTION OR FILLS TO BE CONSTRUCTED FROM EXCAVATED MATERIALS ACCEPTABLE TO THE SOILS ENGINEER SHALL BE BROUGHT TO GRADE IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE. ALL EMBANKMENTS, FILLS, AND BACKFILLS WITHIN 3 FT OF ESTABLISHED SUBGRADE SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY. BELOW THE 3 FT LIMIT, COMPACTION SHALL BE 90 PERCENT. MATERIALS WITHIN 1 FT BELOW ROADBED SUBGRADE OR STRUCTURE FOUNDATION ELEVATION SHALL BE 3-INCH MAXIMUM AND SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY. COMPACTION TESTING TO MEET AASHTO T-180.
5. STRUCTURAL FILLS SHALL COMPLY WITH CHAPTER 1803 OF THE INTERNATIONAL BUILDING CODE. CONSTRUCTION ON EXISTING SLOPES GREATER THAN 5:1 SHALL BE ACHIEVED BY BENCHING INTO TO THE EXISTING BANK A MINIMUM OF TEN FEET. IF THE BENCH EXPOSES SAND SOIL, AN UNDERDRAIN MUST BE PROVIDED BY PLACING FABRIC, EQUIVALENT TO EXXON GTF 12500 ALONG THE BOTTOM OF THE STARTING BENCH, THEN PLACING A SIX INCH LAYER OF 1 1/2" - 0" DRAIN ROCK, AND FINALLY COVERING THE DRAIN ROCK WITH NONWOVEN FILTER FABRIC. SUCCESSIVE BENCHES SHALL BE COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES. EACH 8 INCH LAYER SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT AASHTO T-180 DENSITY. THE FILL SLOPES SHALL NOT EXCEED 2:1 AT FINISHED GRADE. NO ROCK OR SIMILAR MATERIAL EXCEEDING A 12 INCH DIAMETER SHALL BE ALLOWED IN THE STRUCTURAL FILL.
6. THE GEOTECHNICAL ENGINEER (BRANCH ENGINEERING @ 541-746-0637) FOR STRUCTURAL FILL SHALL BE NOTIFIED BY THE CONTRACTOR 24 HOURS IN ADVANCE OF STARTING BENCHWORK TO DETERMINE THE NEED FOR THE UNDERDRAIN LAYER AND TO VERIFY EXISTING CONDITIONS.
7. THE CITY SHALL BE PROVIDED WITH A COPY OF THE GEOTECHNICAL ENGINEER'S REPORT/RECOMMENDATION CHANGES.
8. IF SPRING OR GROUND WATER ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE SOILS AND CIVIL ENGINEERS OF THE CONDITIONS FOUND AND COORDINATE HIS ACTIVITIES IN A MANNER THAT WILL ALLOW THE ENGINEERS TIME TO REVIEW THE SITUATION AND PREPARE A PLAN TO PROPERLY MITIGATE THE WATER ENCOUNTERED.
9. THE CONTRACTOR SHALL HAVE THE SOILS ENGINEER TAKE COMPACTION TESTS TO MEET AASHTO T-180. A MINIMUM OF THREE TESTS WILL BE REQUIRED FOR EACH 2 FEET OF FILL.

**SEEDING NOTES**

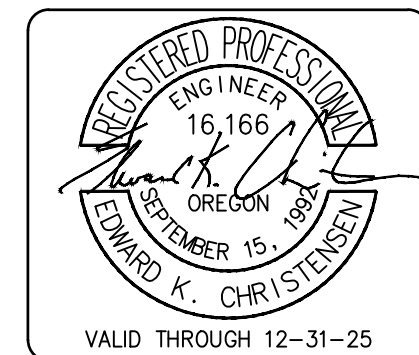
1. PERMANENT SEEDING APPLICATIONS MUST BE COMPLETED PRIOR TO ISSUING A CERTIFICATE OF COMPLETION.
2. ALL SEEDS APPLIED FOR TEMPORARY EROSION CONTROL MUST BE CERTIFIED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
3. TEMPORARY GRASS COVER MEASURES MUST BE FULLY ESTABLISHED BY NOVEMBER 1ST OR OTHER GROUND COVER MEASURES WILL HAVE TO BE IMPLEMENTED. IN ORDER TO ESTABLISH AN 80% HEALTHY STAND OF GRASS, ALL SEEDING APPLICATIONS MUST BE COMPLETED PRIOR TO SEPTEMBER 1ST OR THE SITE SHALL BE MULCHED THROUGH THE WINTER.
4. APPLY PERMANENT SEEDING WHEN NO FURTHER DISTURBANCES ARE PLANNED.
5. SEED SHOULD BE APPLIED IMMEDIATELY AFTER SEEDBED PREPARATION WHILE THE SOIL IS LOOSE AND MOIST.
6. APPLY SEED BEFORE APPLYING STRAW MULCH OR OTHER GROUND COVER APPLICATIONS.
7. HYDROMULCH SHALL BE APPLIED WITH GRASS SEED AT A RATE OF 2000 LB/ACRE. ON SLOPES STEEPER THAN 10%, HYDROSEED AND MULCH SHALL BE APPLIED WITH A BONDING AGENT (TACKIFIER). APPLICATION RATE AND METHODOLOGY TO BE IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS.
8. DRY, LOOSE, WEED-FREE STRAW USED AS MULCH SHALL BE APPLIED AT DOUBLE THE HYDROMULCH APPLICATION REQUIREMENT (4000 LB/ACRE). ANCHOR STRAW BY WORKING IN BY HAND OR WITH EQUIPMENT (ROLLERS. CLEAT TRACKS, ETC).
9. PERMANENT OR TEMPORARY IRRIGATION SHALL BE SUPPLIED ESPECIALLY IN ABNORMALLY HOT OR DRY WEATHER OR ON ADVERSE SITES. WATER APPLICATION RATES SHOULD BE CONTROLLED TO PROVIDE ADEQUATE MOISTURE WITHOUT CAUSING RUNOFF.
10. RECOMMENDED EROSION CONTROL GRASS SEED MIXES ARE AS FOLLOWS. SIMILAR MIXES DESIGNED TO ACHIEVE EROSION CONTROL MAY BE SUBSTITUTED IF APPROVED BY LOCAL JURISDICTION;
  - A. DWARF GRASS MIX. (LOW HEIGHT, LOW MAINTENANCE) DWARF PERENNIAL RYEGRASS, 80% BY WEIGHT CREEPING RED FESCUE, 20% BY WEIGHT APPLICATION RATE: 100 POUNDS MINIMUM PER ACRE
  - B. STANDARD HEIGHT GRASS MIX. ANNUAL RYEGRASS, 40% BY WEIGHT TURF-TYPE FESCUE, 60% BY WEIGHT APPLICATION RATE: 100 POUNDS MINIMUM PER ACRE

**EROSION CONTROL NOTES**

CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION/SEDIMENTATION CONTROL DURING CONSTRUCTION. THE MINIMUM EROSION/SEDIMENTATION CONTROL MEASURES SHALL BE AS FOLLOWS:

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
4. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
5. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
6. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT OF 0.5 INCHES OR GREATER.
7. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
8. STABILIZED GRAVEL CONSTRUCTION ENTRANCES SHALL INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. STORM DRAIN INLETS, BASINS AND AREA DRAINS SHALL BE PROTECTED UNTIL PAVEMENT SURFACES ARE COMPLETED AND/OR VEGETATION IS REESTABLISHED.
10. PAVEMENT SURFACES AND VEGETATION ARE TO BE PLACED AS RAPIDLY AS POSSIBLE.
11. SEEDING, MULCHING AND REVEGETATION SHALL BE PERFORMED AS SOON AS GRADING IS COMPLETED FOR EACH PHASE OF CONSTRUCTION.
12. STRAW BALES MAY BE NEEDED TO REDUCE VELOCITY OF RUNOFF IF SHEET FLOWS BECOME CHanneled. ADDITIONAL LAYERS OF SEDIMENT FENCE SHALL BE CONSTRUCTED NEAR THE OUTLET OF THESE AREAS.
13. TEMPORARY GRASSES & PERMANENT VEGETATIVE COVER SHOULD APPLIED TO:
  - A) GROUND SURFACES EXPOSED DURING WET SEASO (NOVEMBER 1 THROUGH APRIL 30).
  - B) AREAS WHICH WILL NOT BE SUBJECT TO HEAVY WEAR BY ON GOING CONSTRUCTION TRAFFIC.
  - C) EXPOSED GROUND SURFACES AT END OF CONSTRUCTION PERIOD (PERMANENT COVER MUST BE ESTABLISHED PRIOR TO REMOVAL OF ANY EROSION CONTROL MEASURES).
  - D) TEMPORARY OR PERMANENT STABILIZATION OF NEW OR DISTURBED DITCHES OR SWALES.
14. TEMPORARY GRASS COVER MEASURES SHOULD BE FULLY ESTABLISHED BY NOVEMBER 1 OR OTHER MEASURES WILL HAVE TO BE IMPLEMENTED UNTIL ADEQUATE GRASS STAND FOR CONTROLLING EROSION BY NOVEMBER 1, IT IS RECOMMENDED THAT SEEDING AND MULCHING OCCUR BY OCTOBER 15. HYDROMULCH SHOULD BE APPLIED WITH GRASS SEED AT RATE OF 2000 LB./ACRE. ON SLOPES STEEPER THAN 10 PERCENT, HYDROSEED AND MULCH SHALL BE APPLIED WITH A BONDING AGENT (TACKIFIER). APPLICATION RATE AND METHODOLOGY TO BE IN ACCORDANCE WITH SEED SUPPLIER RECOMMENDATIONS. OTHER WET WEATHER AS NEEDED, SHALL BE IMPLEMENTED AT THE DIRECTION OF THE ENGINEER.

NO.	DATE	REVISION



ENGINEERING - PLANNING  
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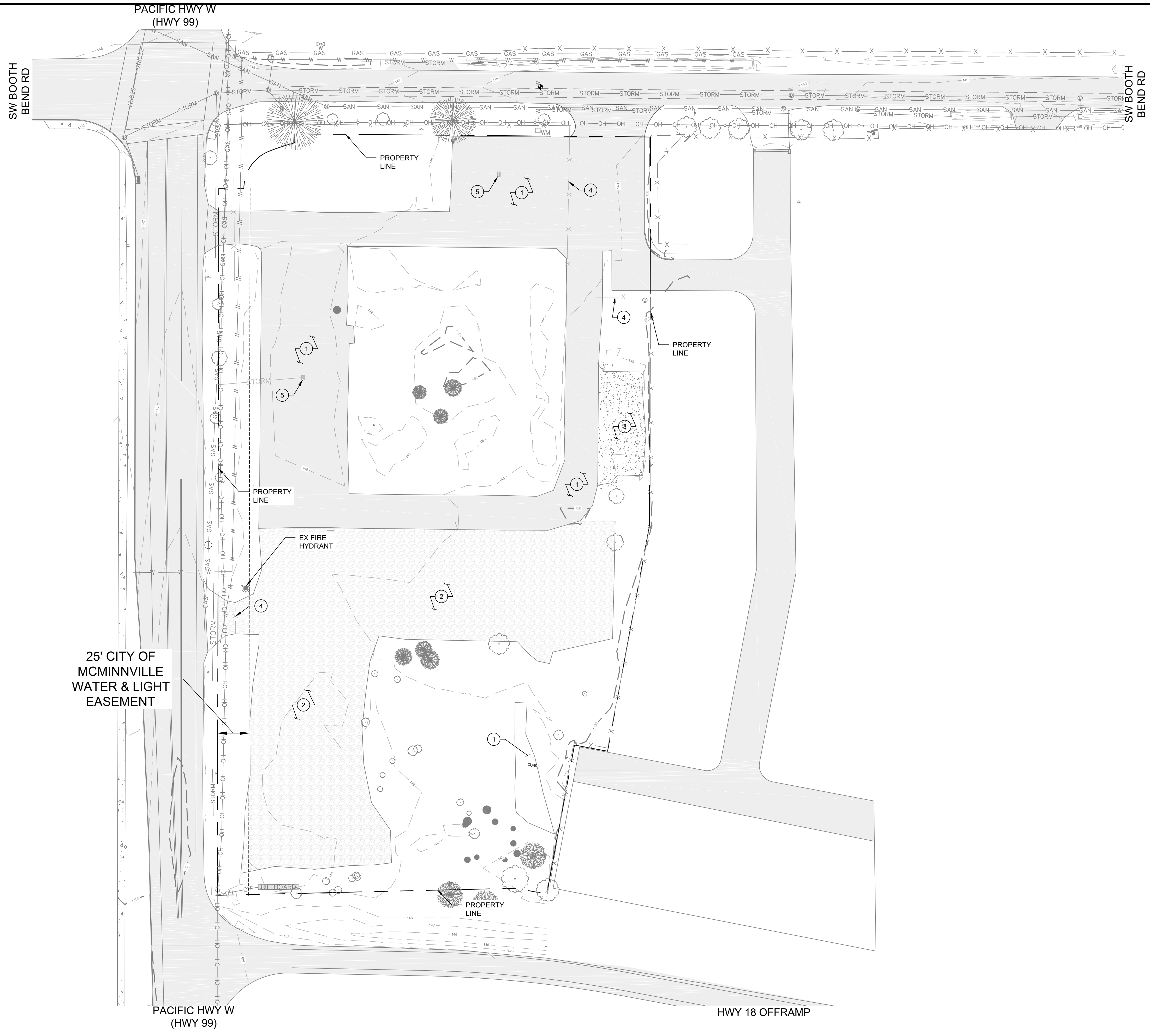
**GENERAL NOTES**

**TRACTOR SUPPLY  
IMPROVEMENT PLANS**  
CITY OF  
MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	NA HORIZONTAL NA VERTICAL
PROJECT NO:	----
SHEET	002

DATE PLOTTED: Jan 03, 2025 - 3:36pm  
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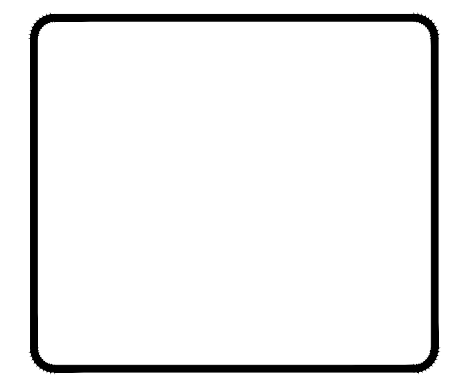
DATE PLOTTED: Jan 03, 2025 - 3:36pm  
 WPC: DRAWING FILE: P:\Project Data\24-132-01 Tractor Supply\DWG\Civil\Sheets\Onsite\24-132-01\_EC.dwg



**DEMOLITION KEYNOTES**

- 1 ALL EXISTING ONSITE PAVEMENT TO BE MILLED AND TILLED FOR USE ON FUTURE PARKING LOT PAVEMENT TO THE FULLEST EXTENT POSSIBLE
- 2 ALL EXISTING ON SITE GRAVEL TO BE SALVAGED FOR USE ON FUTURE PARKING LOT PAVEMENT TO THE FULLEST EXTENT POSSIBLE
- 3 CONCRETE TO BE REMOVED
- 4 FENCE TO BE REMOVED
- 5 EXISTING STORM LINE TO BE ABANDONED AND CATCH BASIN REMOVED

NO.	DATE	REVISION

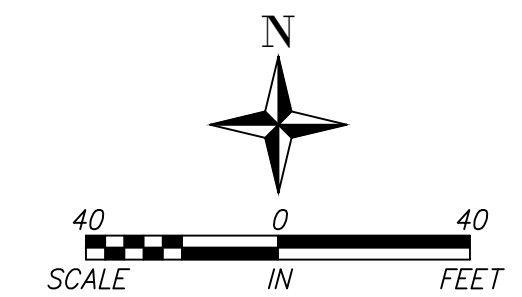


ENGINEERING SURVEYING PLANNING  
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**EXISTING  
 CONDITIONS**

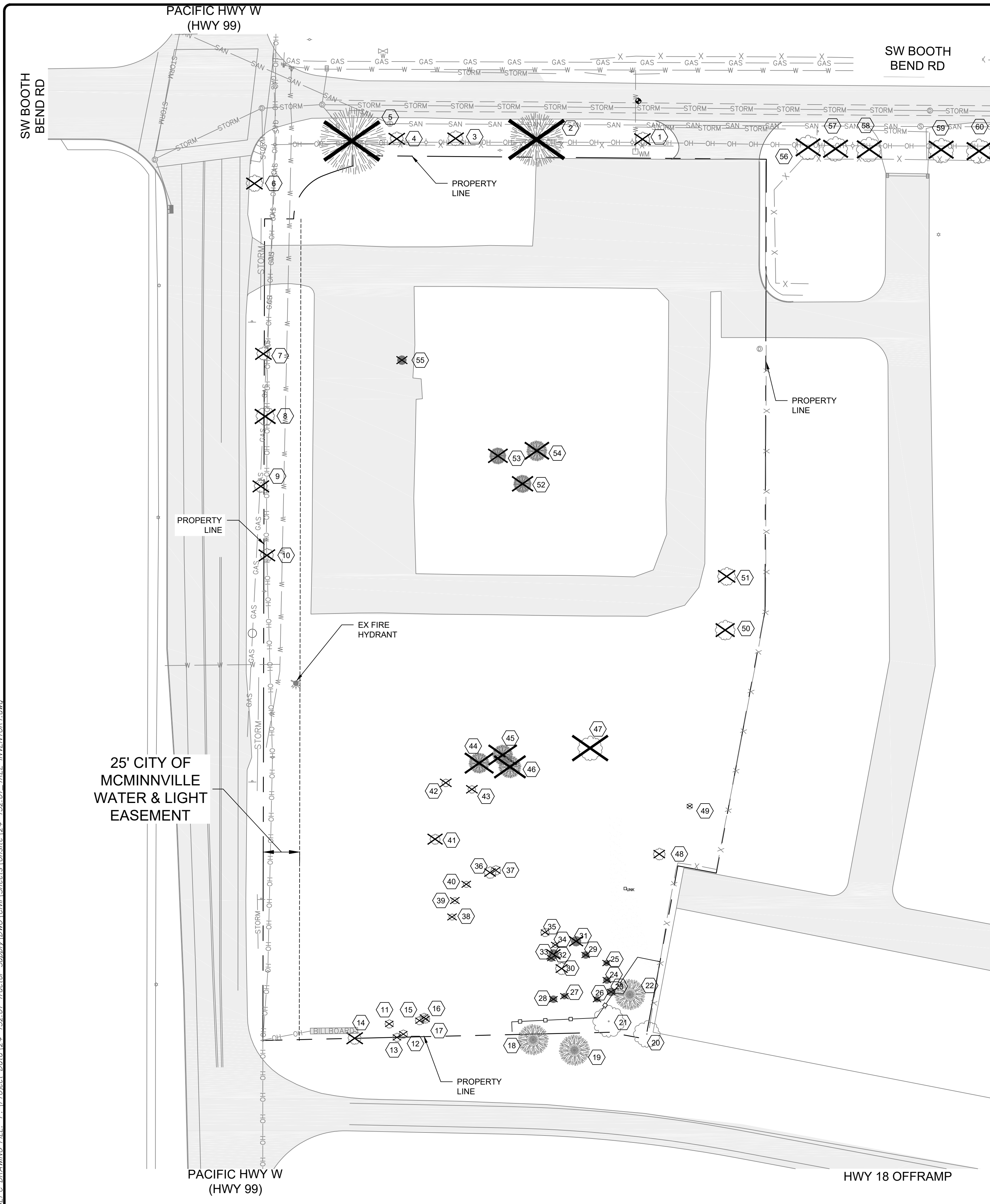
**TRACTOR SUPPLY  
 IMPROVEMENT PLANS**  
 CITY OF  
 MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO:	----
SHEET	<b>003</b>





DATE PLOTTED: Jan 03, 2025 - 3:37pm  
 WPCF\_DRAWING\_FILE: P:\Project Data\24-132-01 Tractor Supply\DWG\Civil\Sheets\Onsite\24-132-01\_TREE\_INVENTORY.dwg

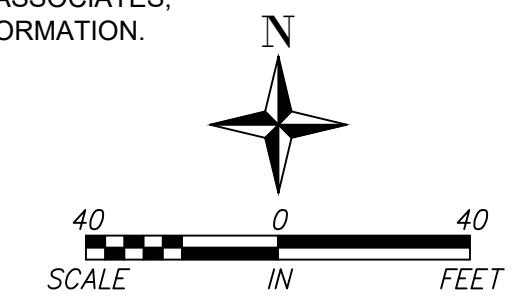


TREE ID	COMMON & SCIENTIFIC NAME	DBH	CONDITION HEALTH	CONDITION STRUCTURE	CROWN RADIUS	CONSTRUCTION IMPACT TOLERANCE	FIELD NOTES/ COMMENTS	EXEMPT	TO BE REMOVED
1	EUROPEAN-BIRCH (BETULA PENDULA)	6	DEAD	FAILED	0			X	X
2	GIANT-SEQUOIA (SEQUIADENDRON GIGANTEUM)	48	FAIR	VERY POOR	15	GOOD	TOPPED UNDER PRIMARY POWER LINES		X
3	BRADFORD-PEAR (PYRUS CALLERYANA)	6	FAIR	POOR	5	GOOD	TOPPED UNDER POWER LINES		X
4	BRADFORD-PEAR (PYRUS CALLERYANA)	6	FAIR	POOR	5	GOOD	TOPPED UNDER POWER LINES		X
5	GIANT-SEQUOIA (SEQUIADENDRON GIGANTEUM)	66	FAIR	VERY POOR	25	GOOD	UNDER POWER LINES (TOPPED)		X
6	NORWAY-MAPLE (ACER PLATANOIDES)	15	FAIR	VERY POOR	15	POOR	TOPPED UNDER POWER LINES		X
7	NORWAY-MAPLE (ACER PLATANOIDES)	11	FAIR	POOR	15	POOR	FLAKING BARK PRUNED ONE SIDED		X
8	NORWAY-MAPLE (ACER PLATANOIDES)	16	FAIR	FAIR	15	POOR			X
9	NORWAY-MAPLE (ACER PLATANOIDES)	12	FAIR	FAIR	15	POOR			X
10	NORWAY-MAPLE (ACER PLATANOIDES)	12	FAIR	FAIR	15	POOR			X
11	SWEET CHERRY (PRUNUS AVIUM)	6	FAIR	FAIR	8	GOOD	INVASIVE		X
12	SWEET CHERRY (PRUNUS AVIUM)	8	FAIR	FAIR	8	GOOD	INVASIVE		X
13	KWANZA-CHERRY (PRUNUS SERRULATA)	9	FAIR	FAIR	8	GOOD			X
14	KWANZA-CHERRY (PRUNUS SERRULATA)	11	FAIR	FAIR	8	GOOD			X
15	SWEET CHERRY (PRUNUS AVIUM)	6	GOOD	FAIR	8	GOOD	INVASIVE		X
16	SWEET CHERRY (PRUNUS AVIUM)	6	GOOD	FAIR	8	GOOD	INVASIVE		X
17	SWEET CHERRY (PRUNUS AVIUM)	6	GOOD	FAIR	8	GOOD	INVASIVE		X
18	SCOTS-PINE (PINUS SYLVESTRIS)	29	GOOD	FAIR	20	MODERATE			
19	SCOTS-PINE (PINUS SYLVESTRIS)	26	GOOD	FAIR	20	MODERATE			
20	BRADFORD-PEAR (PYRUS CALLERYANA)	26	FAIR	POOR	15	MODERATE	MULTISTEM WITH HISTORY OF FAILURES		
21	RED OAK (QUERCUS RUBRA)	29	GOOD	FAIR	25	GOOD	INCLUDED BARK LOWER STEMS		
22	CHINESE FIR (CUNNINGHAMIA LANCEOLATA)	28	GOOD	POOR	10	MODERATE	LARGE BARK INCLUSION LOWER TRUNK		
23	SCOTS-PINE (PINUS SYLVESTRIS)	7	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
24	SCOTS-PINE (PINUS SYLVESTRIS)	6	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
25	SCOTS-PINE (PINUS SYLVESTRIS)	5	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
26	SCOTS-PINE (PINUS SYLVESTRIS)	5	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
27	SCOTS-PINE (PINUS SYLVESTRIS)	5	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
28	SCOTS-PINE (PINUS SYLVESTRIS)	7	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
29	SCOTS-PINE (PINUS SYLVESTRIS)	7	GOOD	GOOD	5	MODERATE	IN DENSE CLUSTER OF TREES		X
30	EUROPEAN-BIRCH (BETULA PENDULA)	12	GOOD	FAIR	10	MODERATE	NUISANCE		X
31	SCOTS-PINE (PINUS SYLVESTRIS)	10	GOOD	POOR	10	MODERATE	MULTI STEM		X
32	SCOTS-PINE (PINUS SYLVESTRIS)	10	GOOD	POOR	10	MODERATE	MULTI STEM		X
33	SCOTS-PINE (PINUS SYLVESTRIS)	8	GOOD	FAIR	10				X
34	BLACK COTTONWOOD (POPULUS TRICHOCARPA)	5	GOOD	FAIR	5		VOLUNTEER		X
35	RED MAPLE (ACER RUBRUM)	8	POOR	FAIR	10				X
36	APPLE (MALUS SSP)	11	FAIR	POOR	8		BROKEN TOPS		X
37	APPLE (MALUS SSP)	10	FAIR	POOR	8		BROKEN TOPS		X
38	MOUNTAIN ASH (SORBUS AUCUPARIA)	7	VERY POOR	FAILED	4		DYING TREE		X
39	NORWAY-MAPLE (ACER PLATANOIDES)	6	FAIR	POOR	4		SUPPRESSED TREE INVASIVE		X
40	RED MAPLE 'ARMSTRONG' (ACER FREEMANNII)	7	GOOD	FAIR	7		SUPPRESSED TREE		X
41	BLACK CHERRY (PRUNUS SEROTINA)	10	GOOD	FAIR	15		DAMAGED TRUNK		X
42	EUROPEAN-BIRCH (BETULA PENDULA)	6	GOOD	GOOD	5		INVASIVE/NUISANCE		X
43	ENGLISH HOLLY (ILEX AQUIFOLIUM)	5	GOOD	GOOD	3		NUISANCE/ INVASIVE		X
44	BLACK PINE (PINUS NIGRA)	19	POOR	POOR	15		LARGE CANKER IN MAIN STEM, PITCH MOTH PRESENT		X
45	BLACK PINE (PINUS NIGRA)	19	POOR	POOR	15		THINNING CROWN		X
46	BLACK PINE (PINUS NIGRA)	23	POOR	POOR	15		THINNING CROWN		X
47	BLACK WALNUT (JUGLANS NIGRA)	26	FAIR	POOR	20		LARGE PREVIOUS STEM FAILURE, WOOD BORING INSECTS PRESENT		X
48	ENGLISH WALNUT (JUGLANS REGIA)	12	GOOD	GOOD	12				X
49	BRADFORD-PEAR (PYRUS CALLERYANA)	5	GOOD	FAIR	5		SEEDING INVASIVE		X
50	BLACK COTTONWOOD (POPULUS TRICHOCARPA)	18	GOOD	FAIR	20		VOLUNTEER TREE		X
51	CHINESE-ELM (ULMUS PARVIFOLIA)	16	GOOD	FAIR	15		INVASIVE		X
52	ARIZONA CYPRESS (HESPEROCYPARIZ ARIZONICA)	16	GOOD	FAIR	15				X
53	DUGLAS-FIR (PSEUDOTSUGA MENZIESII)	16	GOOD	GOOD	12		SHALLOW ROOT SYSTEM		X
54	SYCAMORE (PLANTANUS OCCIDENTALIS)	20	GOOD	GOOD	25				X
55	MONTEREY CYPRESS (CUPRESSUS MACROCARPA)	9	POOR	POOR	8		SUN SCALD WOOD BORING INSECT PRESENT		X
56	SWEET CHERRY (PRUNUS AVIUM)	10	POOR	POOR	12		INVASIVE ROOTS		X
57	SWEET CHERRY (PRUNUS AVIUM)	10	POOR	POOR	12		INVASIVE ROOTS		X
58	SWEET CHERRY (PRUNUS AVIUM)	10	POOR	POOR	12		INVASIVE ROOTS		X
59	SWEET CHERRY (PRUNUS AVIUM)	10	POOR	POOR	12		INVASIVE ROOTS		X
60	SWEET CHERRY (PRUNUS AVIUM)	10	POOR	POOR	12		INVASIVE ROOTS		X

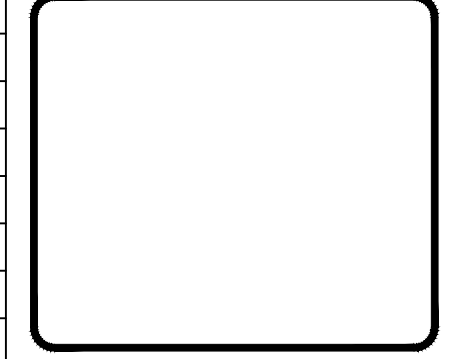
**TREE INVENTORY LEGEND**

- TREE TO BE REMOVED
- TREE TO REMAIN
- TREE INVENTORY NO.
- TREE PROTECTION FENCE

NOTE:  
 1. ORIGINAL TREE INVESTIGATION CONDUCTED BY TERAGAN & ASSOCIATES, INC. 10/21/2024. REFER TO INVESTIGATION FOR ADDITIONAL INFORMATION.



NO.	DATE	REVISION



ENGINEERING SURVEYING PLANNING  
 WELKIN  
 2506 SW PARKWAY AVE. SUITE G  
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 FAX: (503) 596-1987  
 ewk@welkinpc.com  
 www.welkinpc.com

**TREE PLAN**

**TRACTOR SUPPLY  
 IMPROVEMENT PLANS**

CITY OF  
 McMinnville

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO:	---
SHEET	003A

PACIFIC HWY W  
(HWY 99)

SW BOOTH  
BEND RD

SW BOOTH  
BEND RD

DEDICATION LINE

PROPERTY LINE

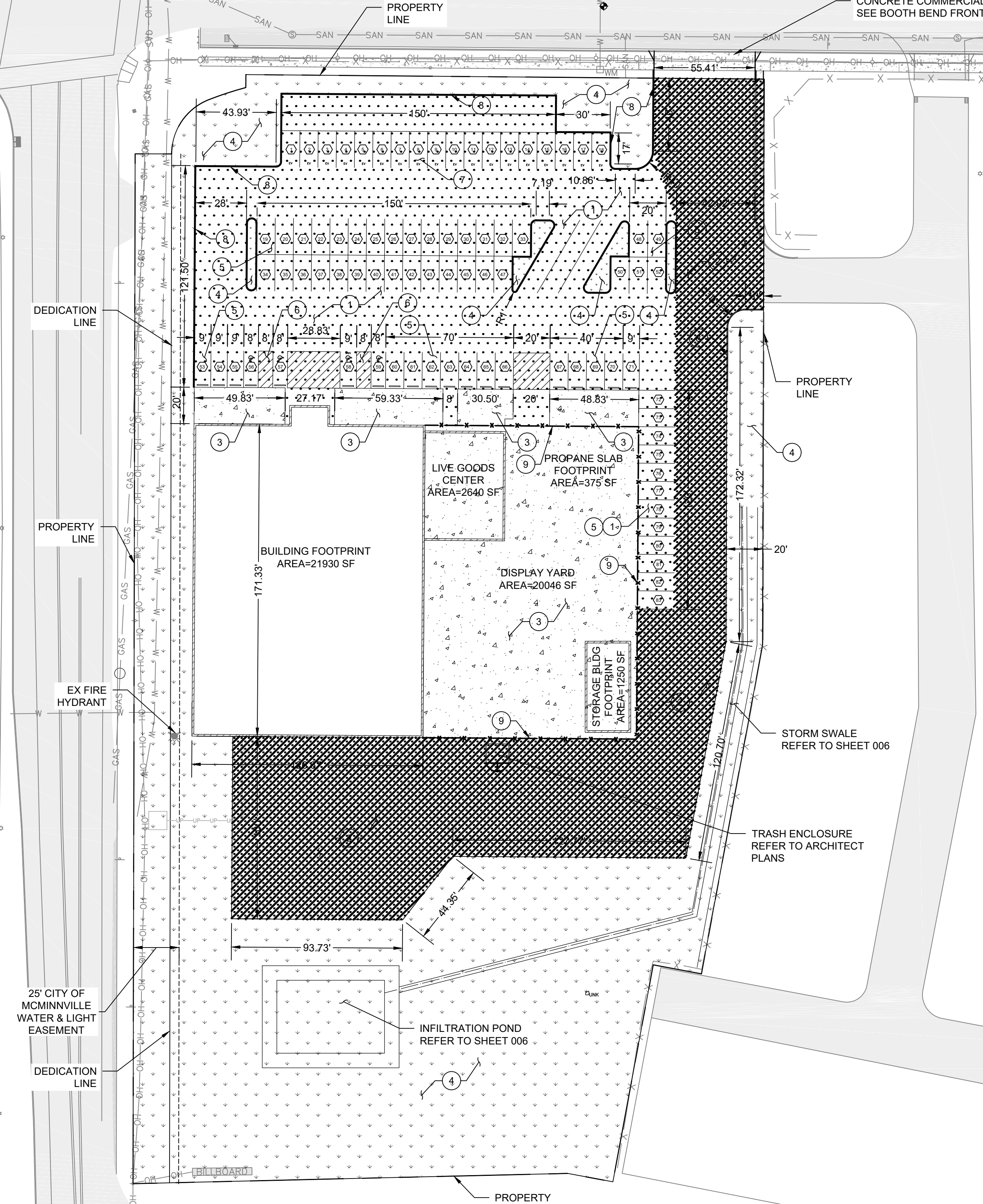
EX FIRE  
HYDRANT

25' CITY OF  
MCMINNVILLE  
WATER & LIGHT  
EASEMENT

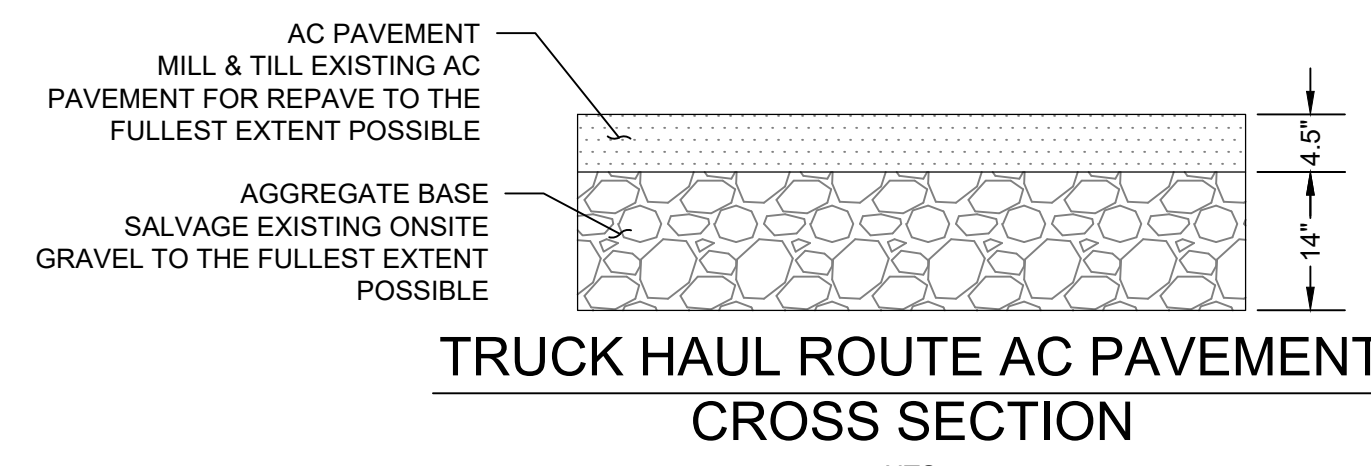
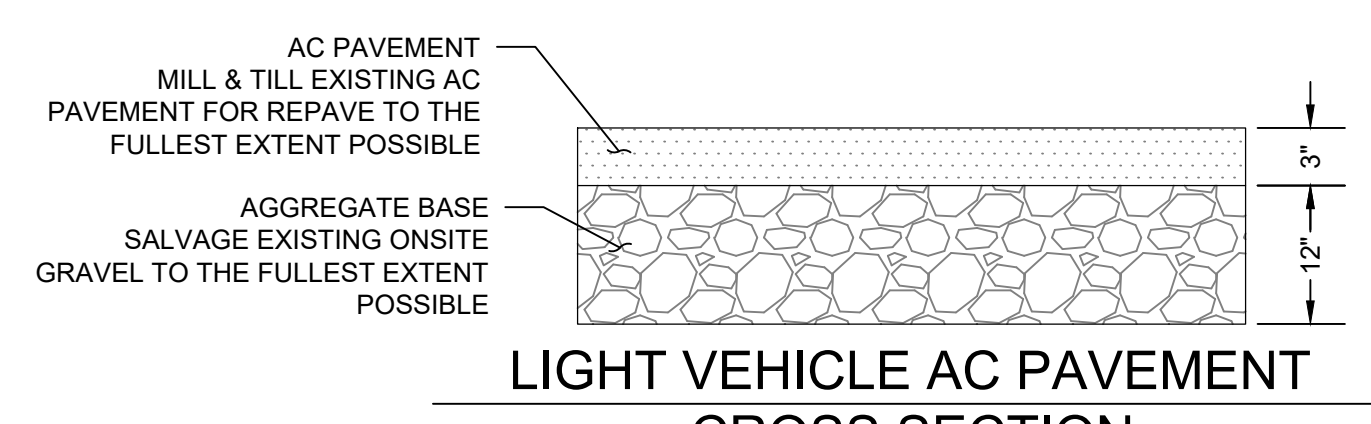
DEDICATION LINE

PACIFIC HWY W  
(HWY 99)

HWY 18 OFFRAMP



CONCRETE COMMERCIAL DRIVEWAY  
SEE BOOTH BEND FRONTAGE IMPROVEMENT PLAN FOR DETAILS



**SITE KEYNOTES**

- 1 LIGHT VEHICLE AC PAVEMENT, SEE PARKING LOT PAVEMENT SECTION THIS SHEET
- 2 HEAVY DUTY AC PAVEMENT, SEE PARKING LOT PAVEMENT SECTION THIS SHEET
- 3 CONCRETE PAD, REFER TO STRUCTURAL PLANS FOR CONCRETE CROSS SECTION AND DETAILS
- 4 PLANTER/LANDSCAPE AREA, REFER TO LANDSCAPE PLAN
- 5 PARKING STALL, SEE PARKING STALL STALL DETAIL THIS SHEET
- 6 ADA PARKING STALL, SEE PARKING STALL DETAIL THIS SHEET
- 7 EV PARKING STALL, SEE PARKING STALL DETAIL THIS SHEET
- 8 VERTICAL CURB, SEE NOTE 1 TO CONTRACTOR AND VERTICAL CURB DETAIL THIS SHEET
- 9 INSTALL CHAIN LINK FENCE AROUND DISPLAY YARD, REFER TO ARCHITECT PLANS

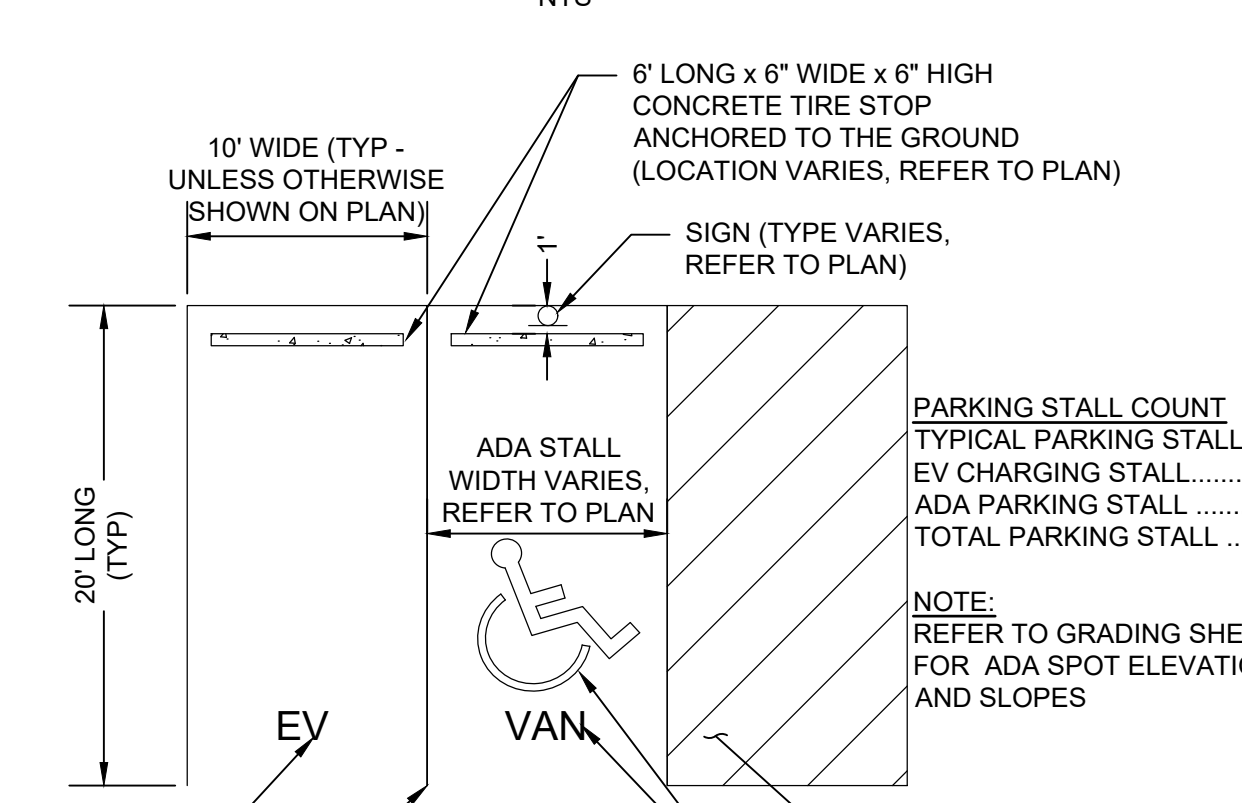
NOTE TO CONTRACTOR:  
1. UNLESS OTHERWISE CALLED OUT, ALL CURB RADII IS PROPOSED AS 3' (R=3').

**PROPOSED PAVEMENT LEGEND**

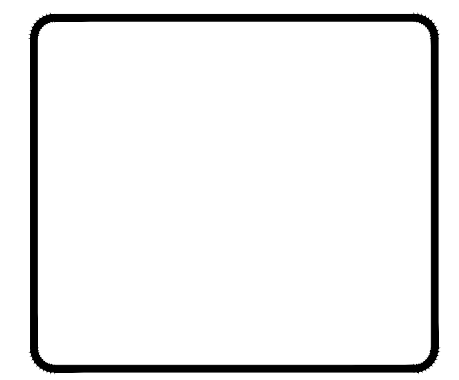
- LIGHT VEHICLE AC PAVEMENT
- HEAVY DUTY AC PAVEMENT
- CONCRETE
- LANDSCAPE

- NOTES:**
1. CONCRETE SHALL BE COMMERCIAL MIX WITH A 28-DAY COMPRESSIVE STRENGTH OF 3300PSI AND ALL REQUIREMENTS FROM ODOT SECTION 00440
  2. CONSTRUCT EXPANSION JOINTS AT 200' (MAX) SPACING, AT POINTS OF TANGENCY AND AT DRIVEWAY ENDS.
  3. EXPANSION JOINT MATERIAL SHALL BE PREFORMED FILLER NOT LESS THAN 1/2" WIDE AND SHALL MEET ALL REQUIREMENTS FROM ODOT SECTION 00759.
  4. CONTRACTION JOINTS SHALL HAVE:
    - 4.1 SPACING OF NO MORE THAN 15'
    - 4.2 DEPTH OF JOINT AT LEAST 1 1/2"
  5. BASE ROCK SHALL BE 3/4"-0", COMPACTED TO 95% OF MAX DENSITY PER AASHTO T-180, BASE ROCK SHALL BE TO SUBGRADE OF STREET STRUCTURES OR 4", WHICH EVER GREATER AND SHALL EXTEND 12" BEHIND CURB.

**VERTICAL CURB DETAIL**



NO.	DATE	REVISION



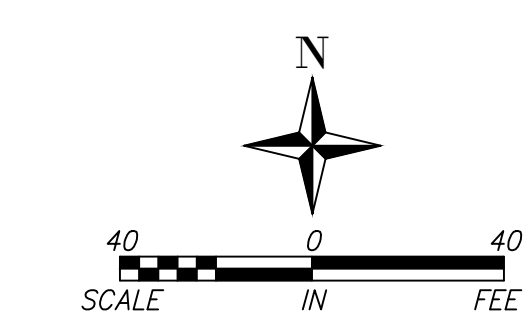
ENGINEERING SURVEYING PLANNING  
WELKIN SURVEYING & PLANNING  
2500 SW PARKWAY AVE. SUITE G  
WILSONVILLE, OR 97070  
TEL: (503) 596-1866  
FAX: (503) 596-1866  
www.welkinpc.com

**SITE PLAN**

**TRACTOR SUPPLY  
IMPROVEMENT PLANS**

CITY OF  
MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO.:	---
SHEET	004



DATE PLOTTED: Jan 03, 2025 - 3:37pm  
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PACIFIC HWY W  
(HWY 99)

SW BOOTH  
BEND RD

SW BOOTH  
BEND RD

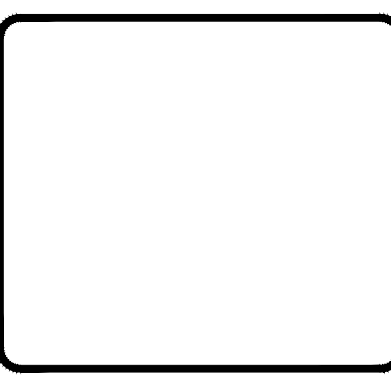
### GRADING KEYNOTES

- 1 FUTURE PROPANE TANK LOCATION, INSTALL FLAT 4" SLAB, REFER TO PLAN FOR SLAB ELEVATION
- 2 FUTURE STORAGE SHED, SLAB TO MAINTAIN SAME SLOPE AS DISPLAY YARD. SEE PLAN FOR ELEVATIONS
- 3 FUTURE LIVE GOODS CENTER, SLAB TO MAINTAIN SAME SLOPE AS DISPLAY YARD. SEE PLAN FOR ELEVATIONS

### CUT/FILL VOLUMES:

CUT: 2240 CY  
 FILL: 6600 CY  
 NET: 4360 CY (FILL)

NO.	DATE	REVISION



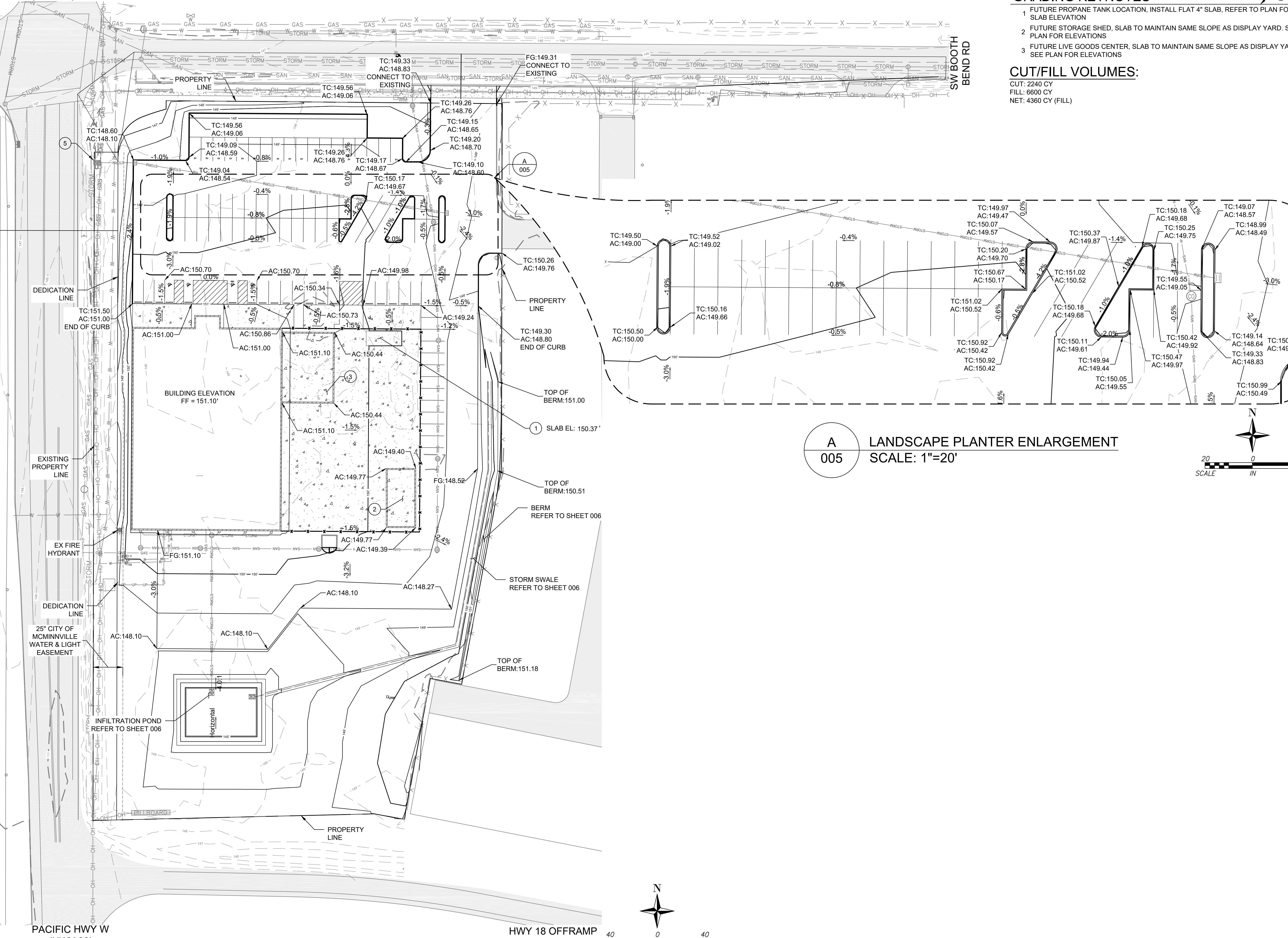
ENGINEERING SURVEYING PLANNING  
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 2800 SW PARKWAY AVE. SUITE G  
 WILSONVILLE, OR 97070  
 TEL: (503) 596-1986  
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## GRADING PLAN

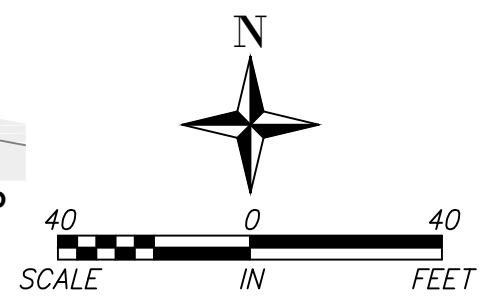
## TRACTOR SUPPLY IMPROVEMENT PLANS

CITY OF  
MCMINNVILLE

DESIGNED BY:	MFP
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO.:	---
SHEET	005



**A**  
**005** LANDSCAPE PLANTER ENLARGEMENT  
 SCALE: 1"=20'



DATE PLOTTED: Jan 03, 2025 - 3:38pm  
 WPC: DRAWING FILE: P:\Project Data\24-132-01 Tractor Supply\DWG\Civil\Sheets\Onsite\24-132-01\_G0.dwg

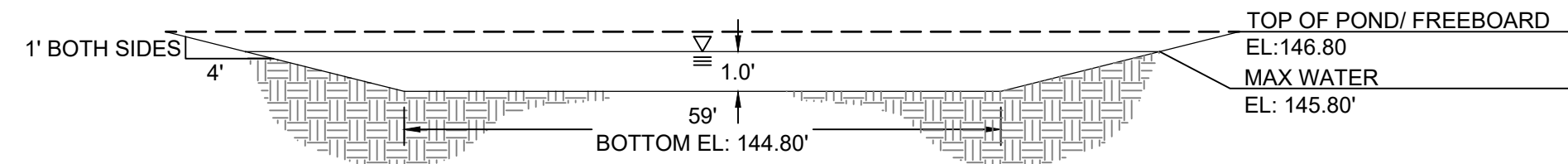
PACIFIC HWY W  
(HWY 99)

SW BOOTH  
BEND RD

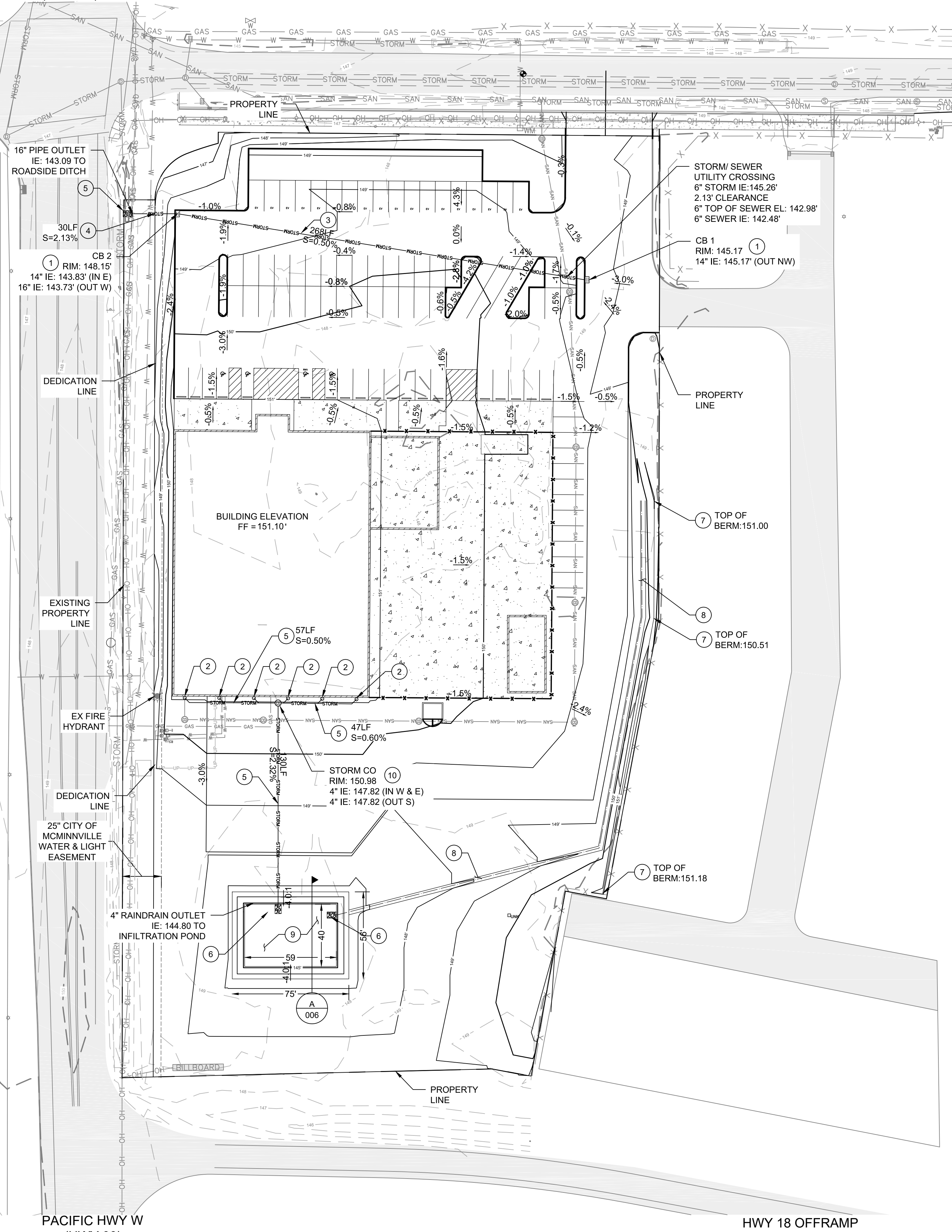
SW BOOTH  
BEND RD

### STORM KEYNOTES

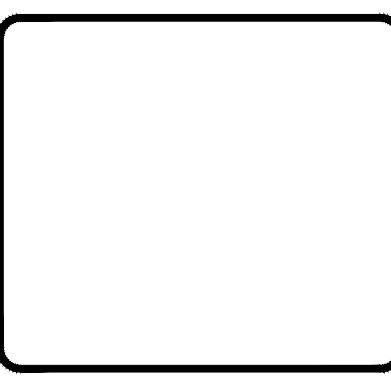
- 1 INSTALL PARKING LOT CATCH BASIN PER CITY OF MCMINNVILLE DWG NO. 27, SHEET 009
- 2 ROOF DOWNSPOUT, 3' (MIN) BELOW BUILDING ELEVATION, TYP 6
- 3 INSTALL 14" PVC STORM PIPE
- 4 INSTALL 16" PVC STORM PIPE
- 5 INSTALL 4" PVC RAIN DRAIN
- 6 INSTALL 4"x6' RIPRAP PAD WITH 6" CLEAN ROCK
- 7 INSTALL 3' WIDE VEGETATED SWALE WITH 3:1 (V:H) SIDE SLOPE, BOTTOM S=0.50% (MIN)
- 8 GRADE FOR 2' WIDEX1' TALL BERM, BERM TO BE CONSTRUCTED SUCH THAT OFFSITE STORM FLOWS DO NOT ENTER THE SITE
- 9 GRADE FOR INFILTRATION POND, SEE SECTION THIS SHEET
- 10 INSTALL STORM CLEANOUT STRUCTURE



**A**  
006  
INFILTRATION POND CROSS SECTION  
NTS



NO.	DATE	REVISION

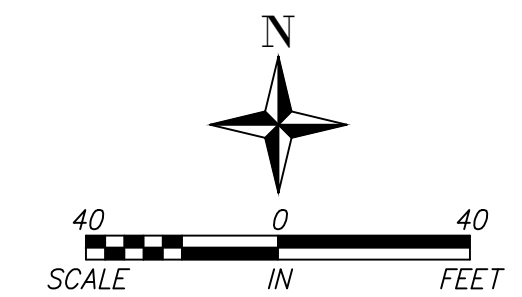


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 www.wvengr.com

**STORM PLAN**

**TRACTOR SUPPLY  
 IMPROVEMENT PLANS**  
 CITY OF  
 MCMINNVILLE

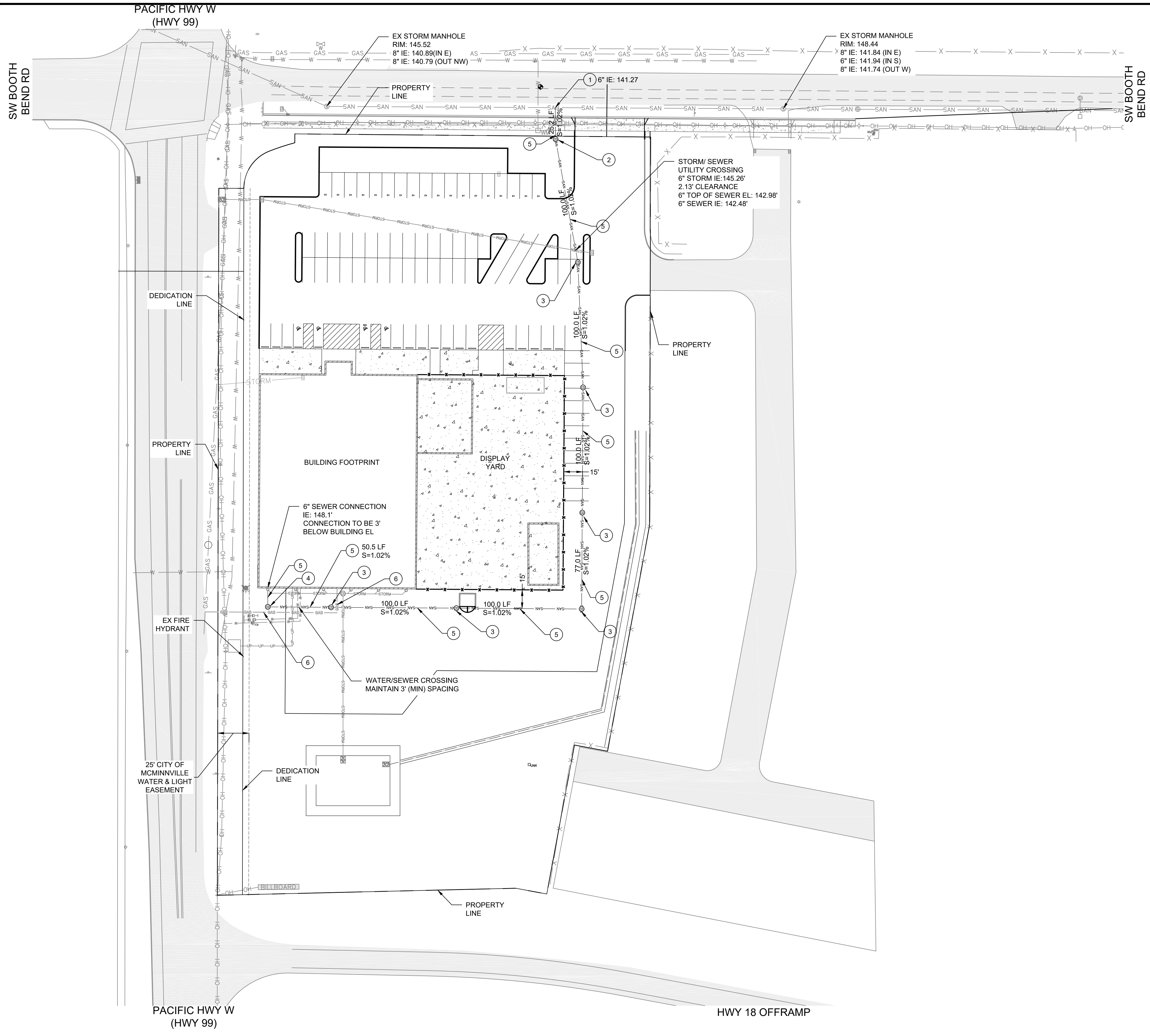
DESIGNED BY:	MFP
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO.:	---
SHEET	<b>006</b>



DATE PLOTTED: Jan 03, 2025 - 3:38pm  
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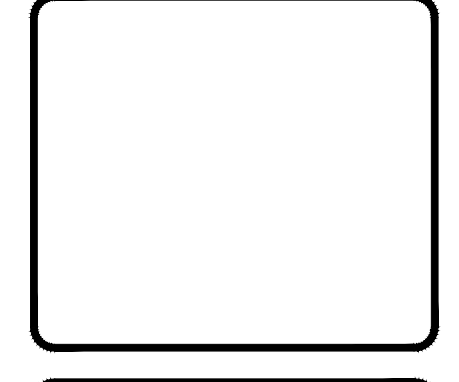


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- SEWER KEYNOTES**
- SANITARY SEWER CONNECTION VIA INSERTA-TEE CONNECTION PER CITY OF MCMINNVILLE DWG NO 24, SHEET 009
  - INSTALL SANITARY SEWER PROPERTY LINE CLEANOUT PER DETAIL PER CITY OF MCMINNVILLE DWG NO 22A, SHEET 009
  - INSTALL SANITARY SEWER CLEANOUT, CLEANOUTS SHALL BE PLACED 100' (MAX) APART, SHEET 009
  - INSTALL SANITARY SEWER BUILDING CLEANOUT PER PER CITY OF MCMINNVILLE DWG NO 22, SHEET 009
  - INSTALL 6" SANITARY SEWER LINE, REFER TO PLAN FOR LENGTH AND SLOPE
- GAS KEYNOTES**
- GAS SERVICE PLANS, INSTALLATION AND CONNECTION TO BE COMPLETED BY NW NATURAL GAS

NO.	DATE	REVISION

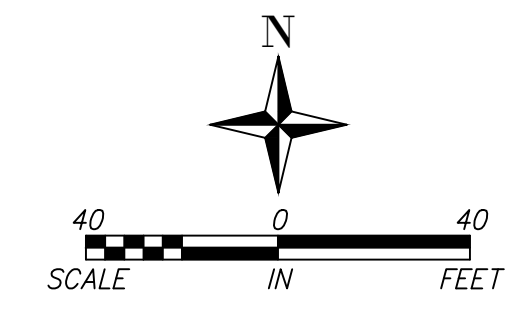


ENGINEERING PLANNING  
 SURVEYING  
**WE**  
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 epc@welkinc.com  
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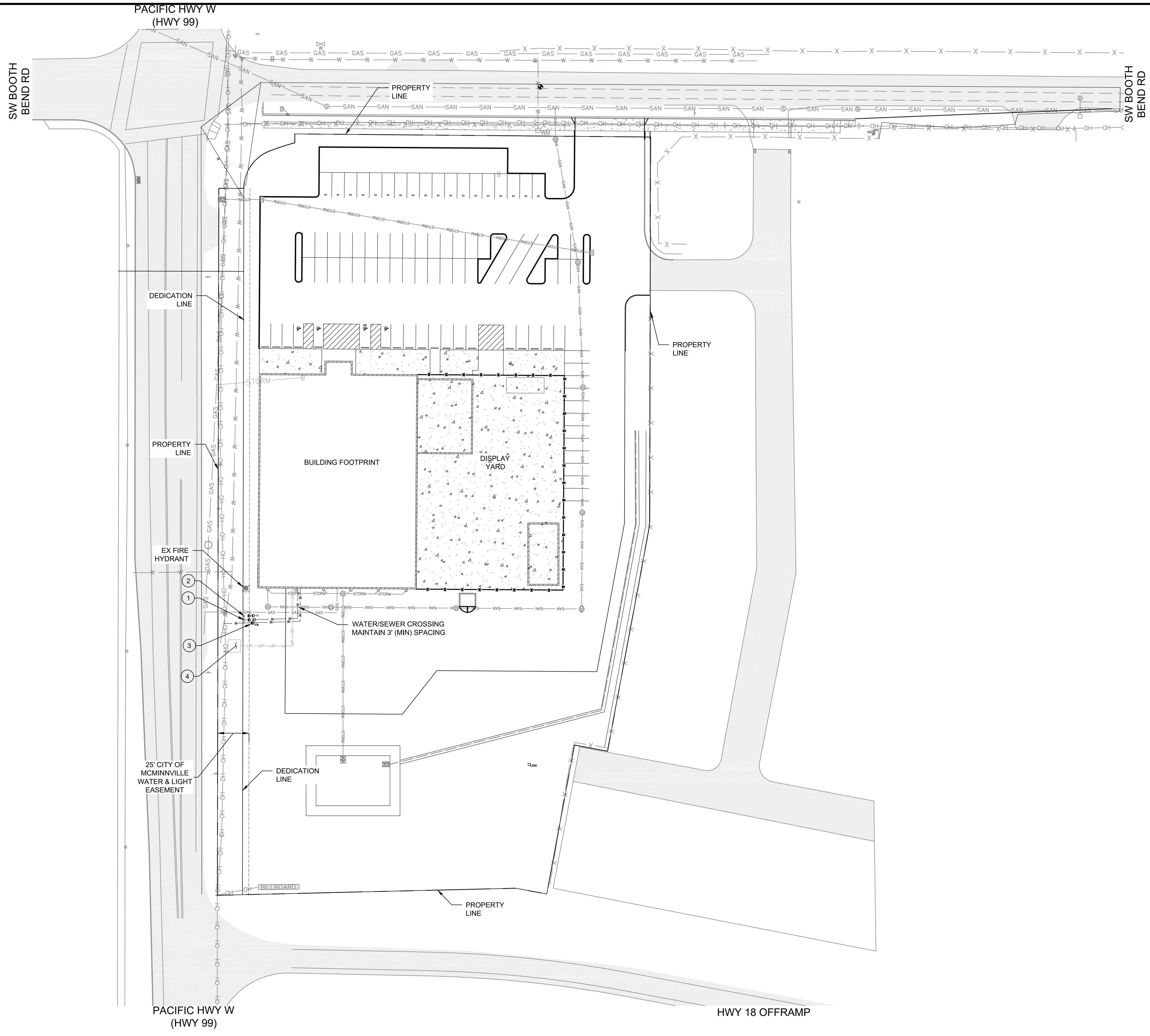
**SEWER & GAS PLAN**

**TRACTOR SUPPLY IMPROVEMENT PLANS**  
 CITY OF MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO:	---
SHEET	<b>007</b>



DATE PLOTTED: Jan 03, 2025 - 3:39pm  
 WPCF\_DRAWING\_FILE: P:\Project Data\24-132-01 Tractor Supply\DWG\Civil\Sheets\Onsite\24-132-01\_MTR.dwg



**WATER KEYNOTES**

1. INSTALL WATER METER BOX ASSEMBLY 1" SERVICE & DCVA FOR DOMESTIC WATER, SEE MCMINNVILLE WATER & LIGHT SPEC NO. WMB, SHEET 009, SEE NOTES ONE AND TWO TO CONTRACTOR THIS SHEET
2. INSTALL WATER METER BOX ASSEMBLY 1" SERVICE & DCVA FOR WATER IRRIGATION, SEE MCMINNVILLE WATER & LIGHT SPEC NO. WMB, SHEET 009, SEE NOTE TWO TO CONTRACTOR THIS SHEET. REFER TO LANDSCAPE PLANS FOR IRRIGATION LINE CONTINUATION.
3. INSTALL DCDA FOR FIRE SERVICE LINES PER MCMINNVILLE WATER & LIGHT SPEC NO. DCDA-1, DCDA-2 AND DCDA-2A, SHEET 010

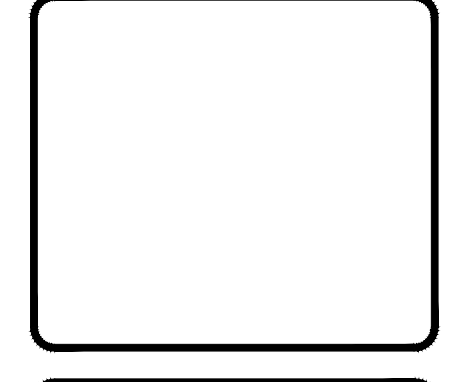
**POWER KEYNOTES**

1. PAD MOUNTED TRANSFORMER WITH 6" OC BARRIER POSTS SEE MCMINNVILLE WATER AND LIGHT SPEC NO. USJBG, SHEET 010. SEE NOTES 3 AND 4 TO CONTRACTOR

**NOTE TO CONTRACTOR**

1. ENSURE WATER METER CLEARANCE HYDRANT PER MCMINNVILLE WATER & LIGHT SPEC NO. WMCLEAR2
2. REFER TO MCMINNVILLE WATER & LIGHT SPEC NO. GS-S FOR METER INSTALLATION
3. PAD CLEARANCES SHALL BE IN CONFORMANCE WITH MCMINNVILLE WATER & LIGHT SPEC NO. PTC
4. TRENCH AND CONDUIT TO BE INSTALLED PER MCMINNVILLE WATER & LIGHT SPEC NO. UCT

NO.	DATE	REVISION

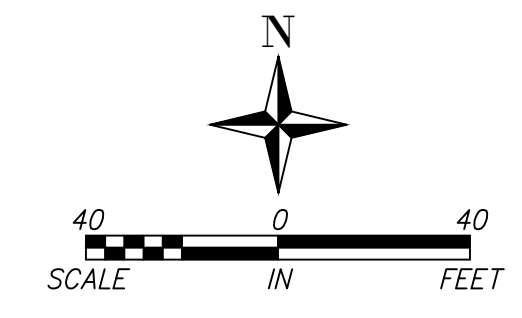


ENGINEERING PLANNING  
 SURVEYING  
 2500 SW PARKWAY AVE. SUITE G  
 WILSONVILLE, OR 97070  
 TEL: (503) 596-1866  
 fax: (503) 596-1866  
 www.WelkinPC.com

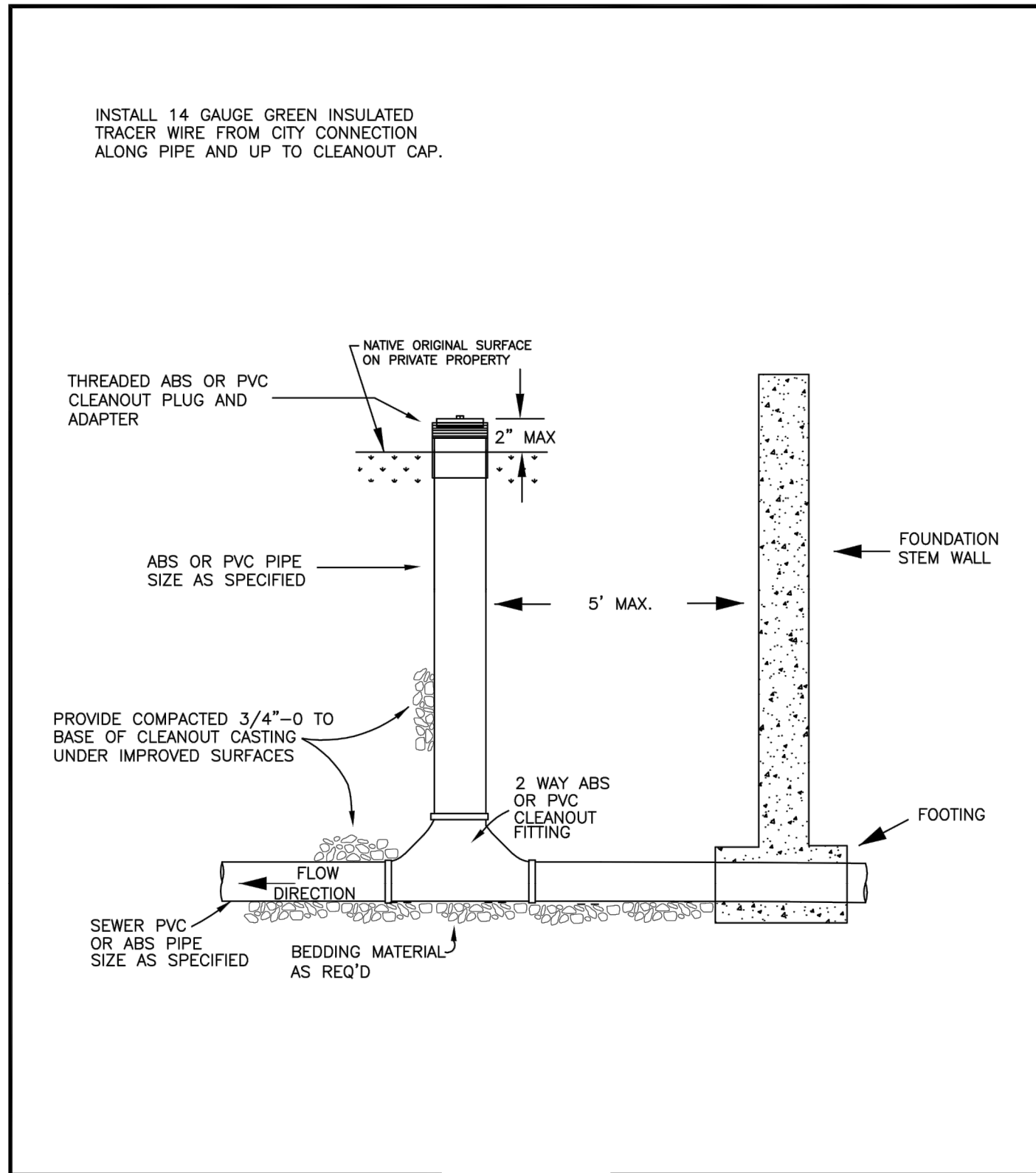
**WATER AND POWER PLAN**

**TRACTOR SUPPLY IMPROVEMENT PLANS**  
 CITY OF MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	1"=40' HORIZONTAL NA VERTICAL
PROJECT NO:	----
SHEET	<b>008</b>



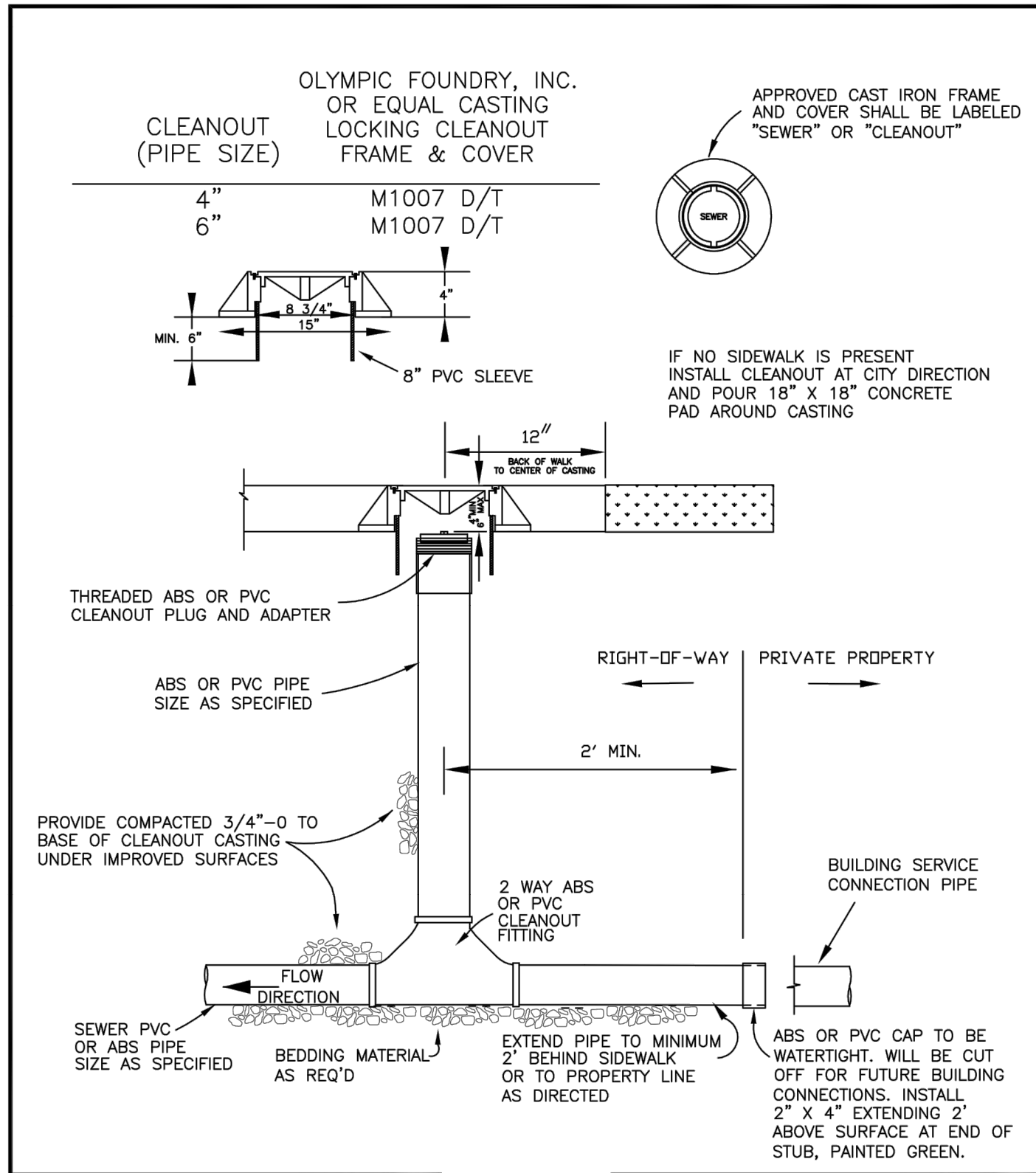




**City of McMinnville**

**DETAIL FOR BUILDING CLEANOUT**

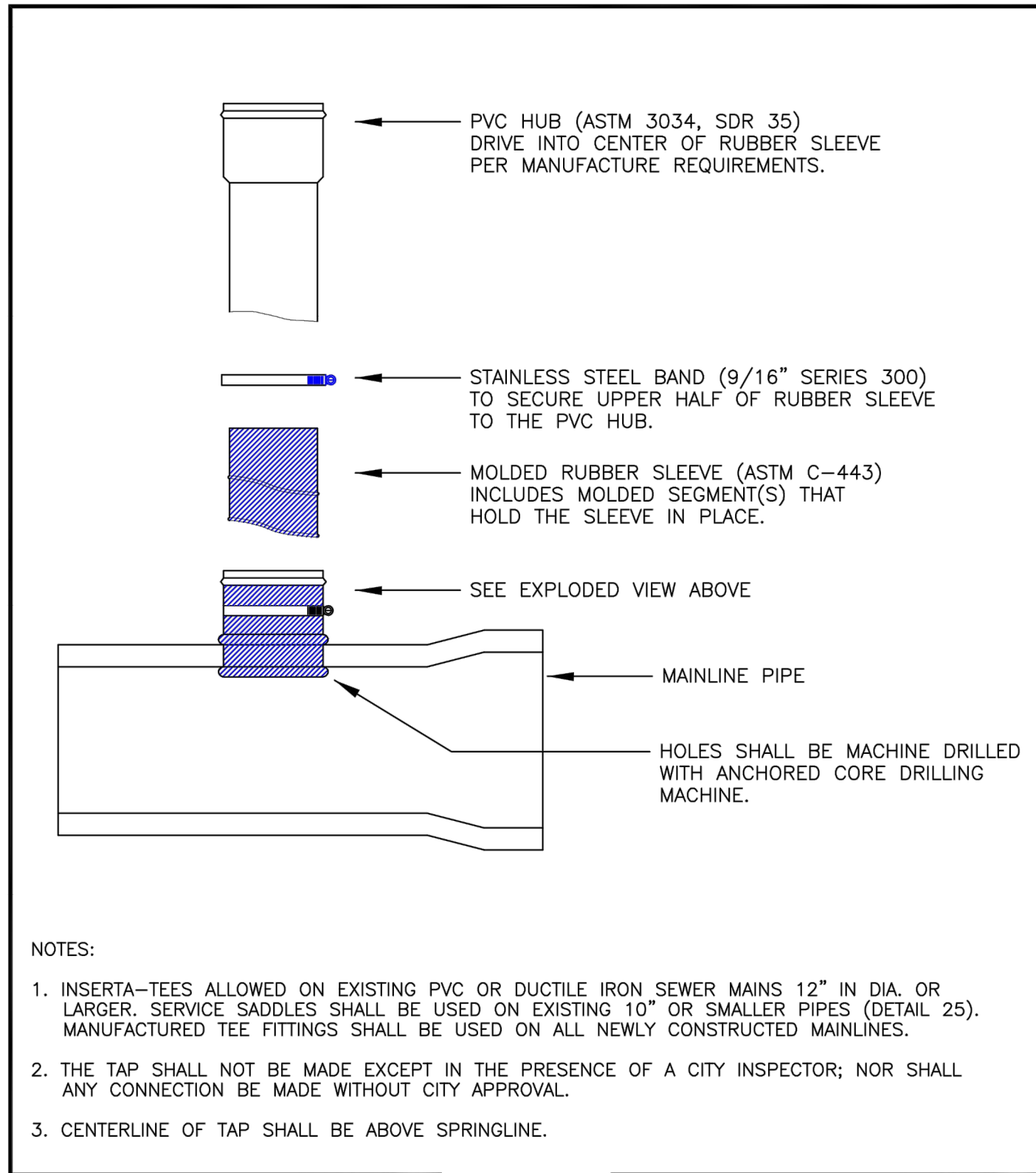
DATE: MAY 2023 DRAWING NO: **22**



**City of McMinnville**

**DETAIL FOR PROPERTY LINE CLEANOUT**

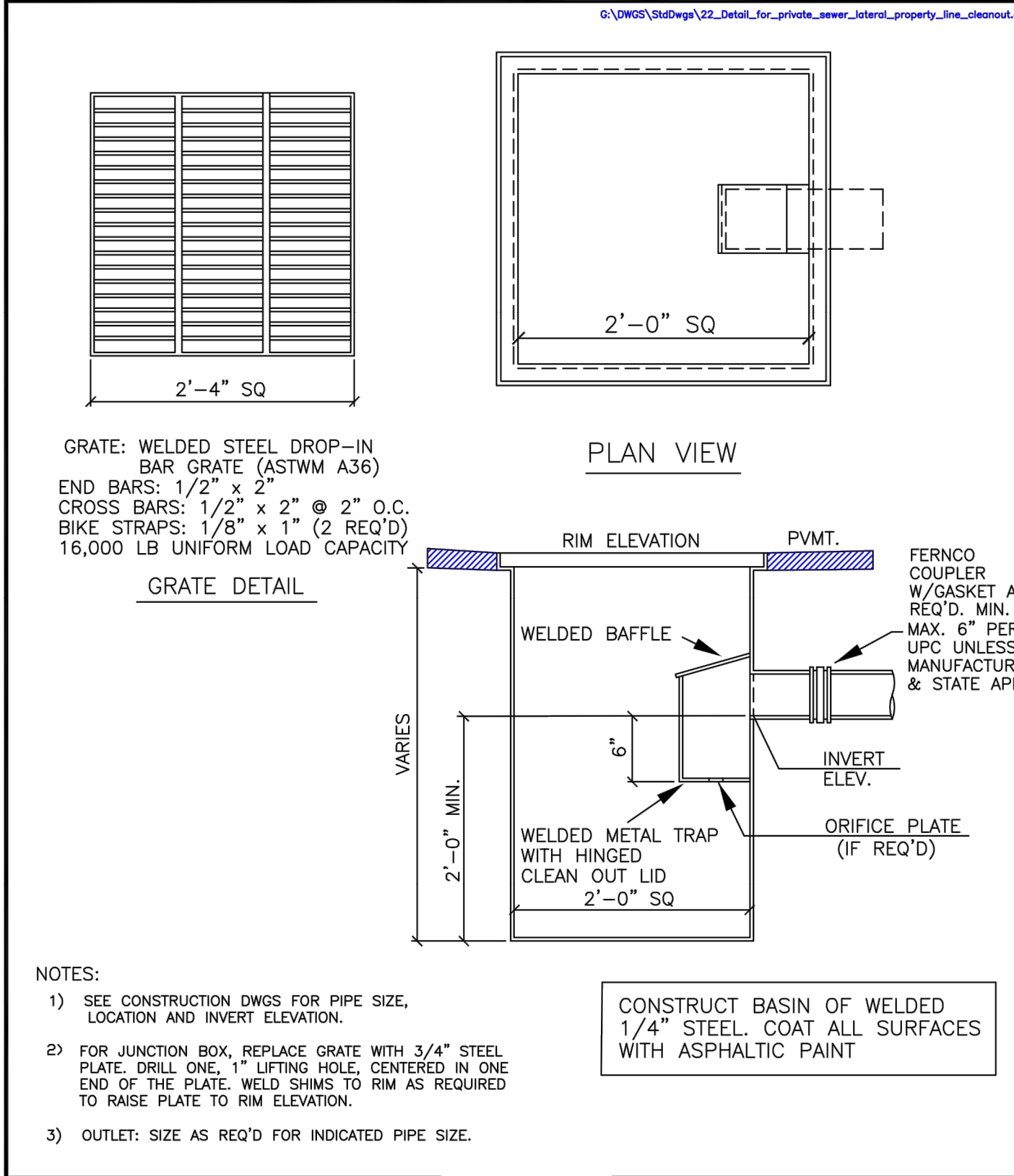
DATE: AUG 2023 DRAWING NO: **22a**



**City of McMinnville**

**DETAIL FOR INSERTA-TEE CONNECTION TO EXISTING SEWER**

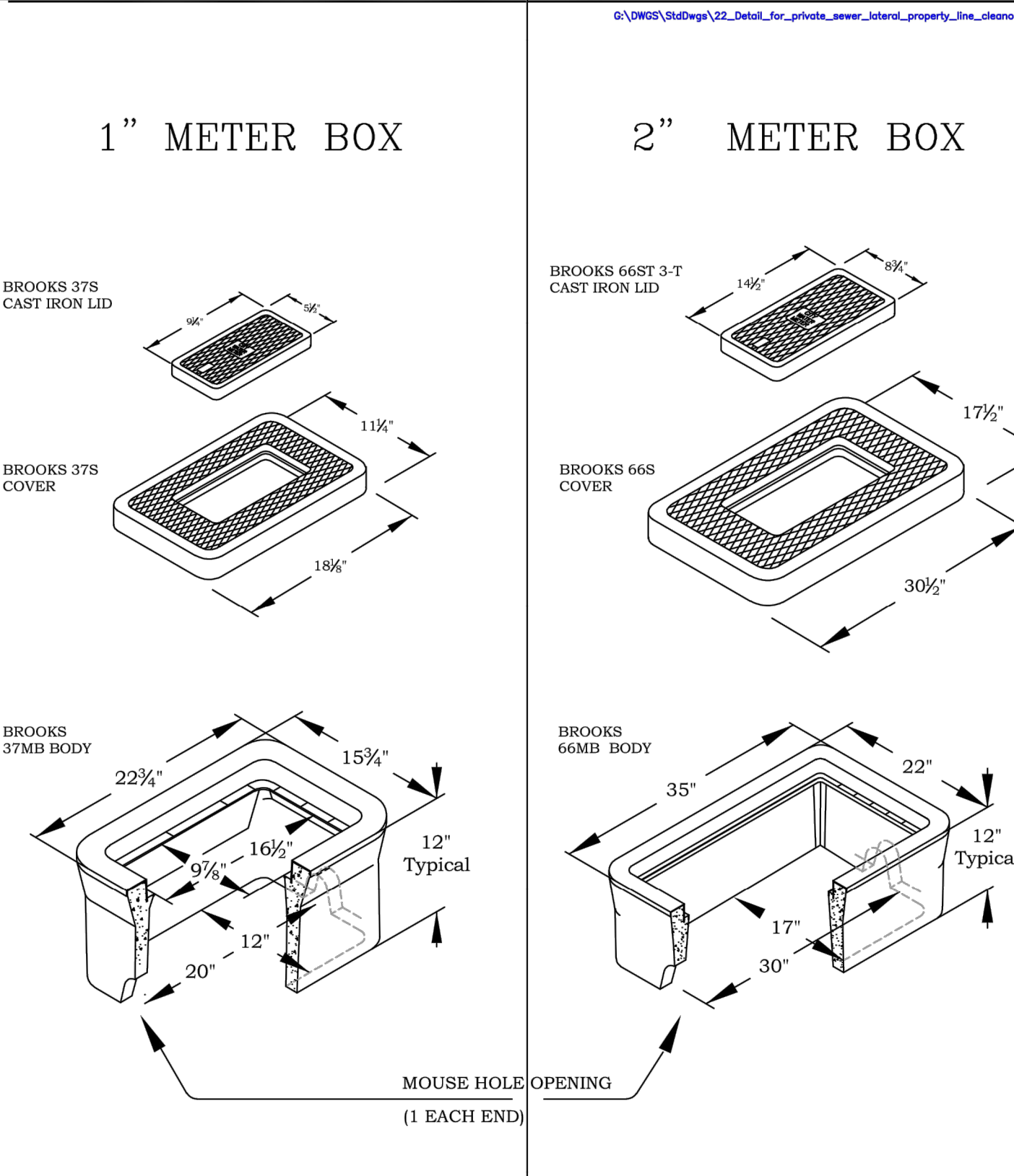
DATE: AUGUST 2022 DRAWING NO: **24**



**City of McMinnville**

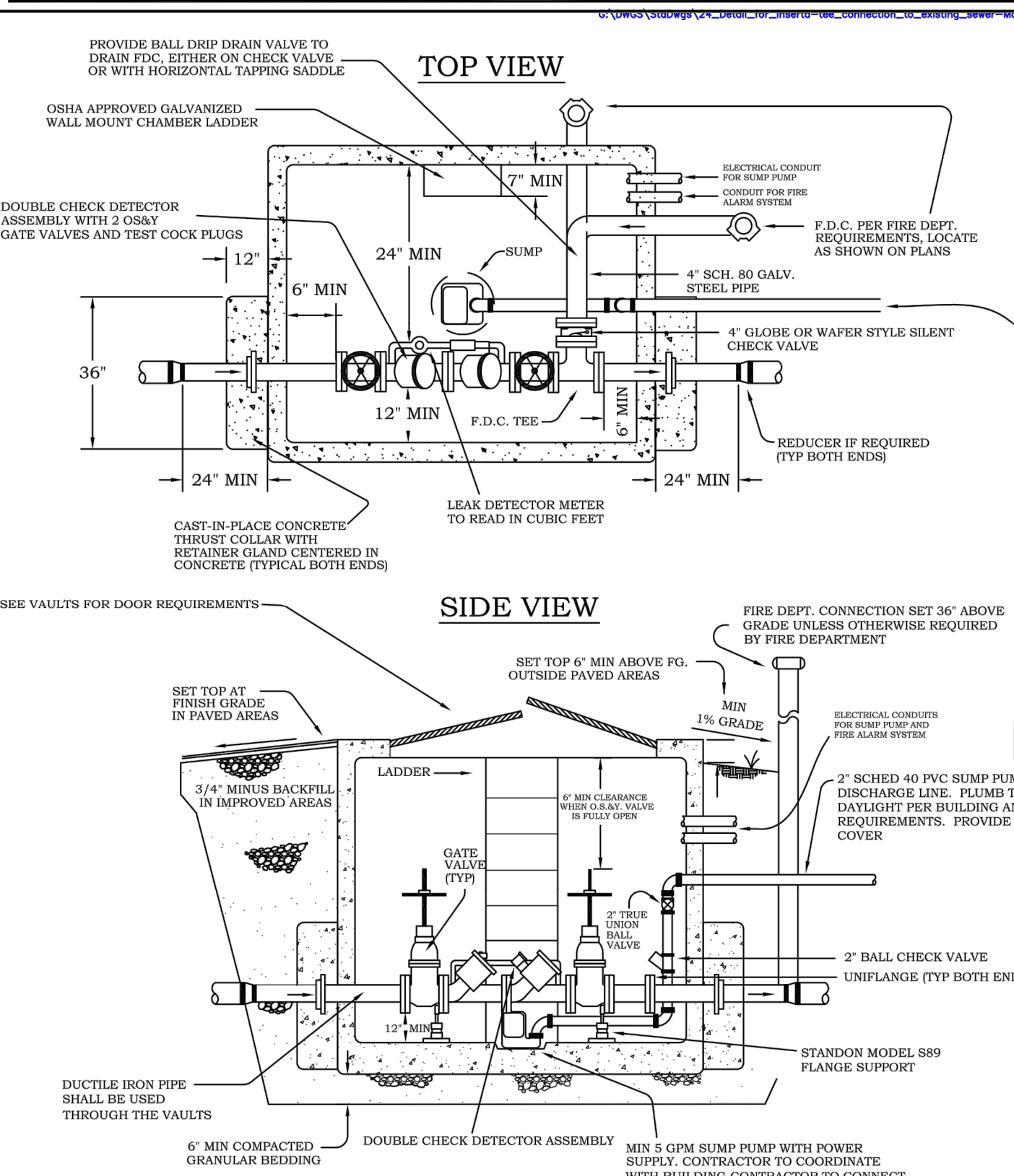
**DETAIL FOR PARKING LOT CATCH BASIN (LYNCH STYLE)**

DATE: AUGUST 2022 DRAWING NO: **27**



**City of McMinnville**

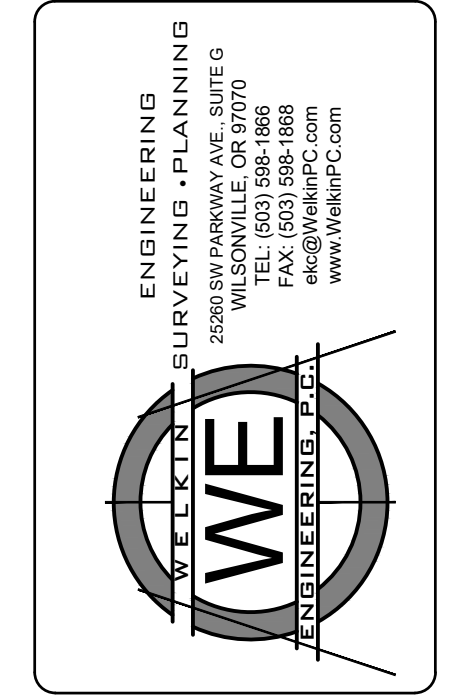
**WATER METER BOX ASSEMBLY 1\"/>**



**City of McMinnville**

**DOUBLE CHECK DETECTOR ASSEMBLY 2.5\"/>**

NO.	DATE	REVISION



**CONSTRUCTION DETAILS**

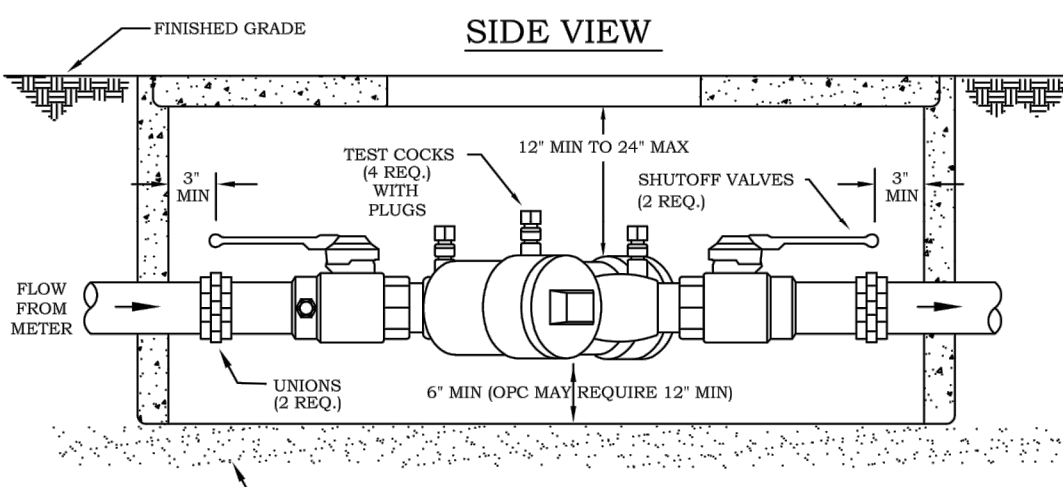
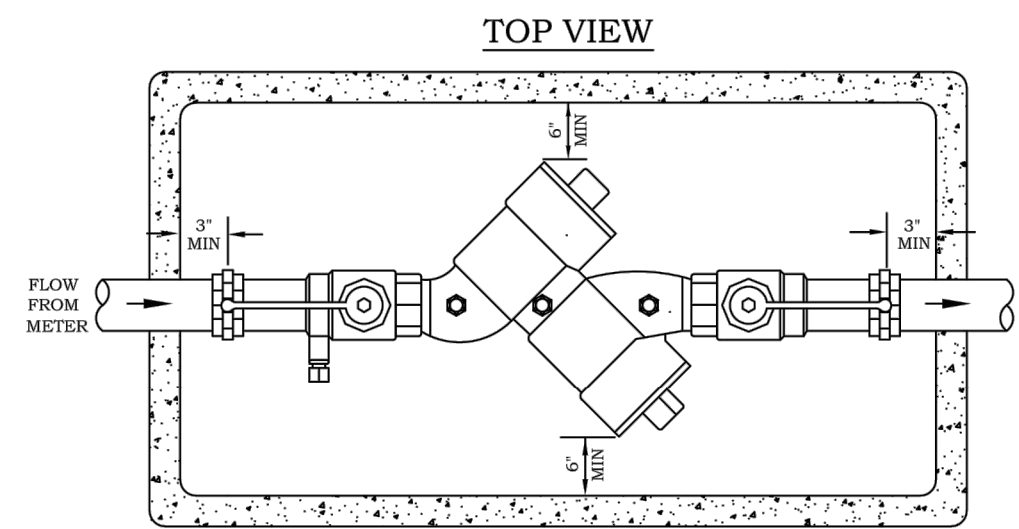
**TRACTOR SUPPLY IMPROVEMENT PLANS**

CITY OF MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	NA HORIZONTAL NA VERTICAL
PROJECT NO.:	---
SHEET	<b>009</b>

DATE PLOTTED: Jan 03, 2025 - 3:39pm  
WFPC DRAWING FILE: C:\Project Data\24-132-01-Tractor\_Supply\DWG\Civil\Sheets\Onsite\24-132-01-DTL5.dwg





- NOTES:**
- Double Check Valve Assembly:
    - shall be on the State of Oregon list of approved assemblies.
    - shall include factory supplied shut-off valves.
    - shall be installed in a location approved by MW&L.
    - may be installed vertically, provided the assembly is specifically listed for that orientation in the OHA list of approved assemblies.
  - All clearances apply to in-building and vault installations.
  - Assemblies installed below ground level shall have watertight, threaded plugs or caps installed on the cocks. The assembly shall not be subject to continuous immersion.
  - Typical assembly enclosure is a irrigation control box, or fabricated permanent enclosure.
  - For testing and maintenance purposes, the Assembly shall not be installed more than 5' above the ground or floor level, unless approved by MW&L and accompanied by a permanent OSHA-approved platform.
  - Shall be protected from freezing when necessary.

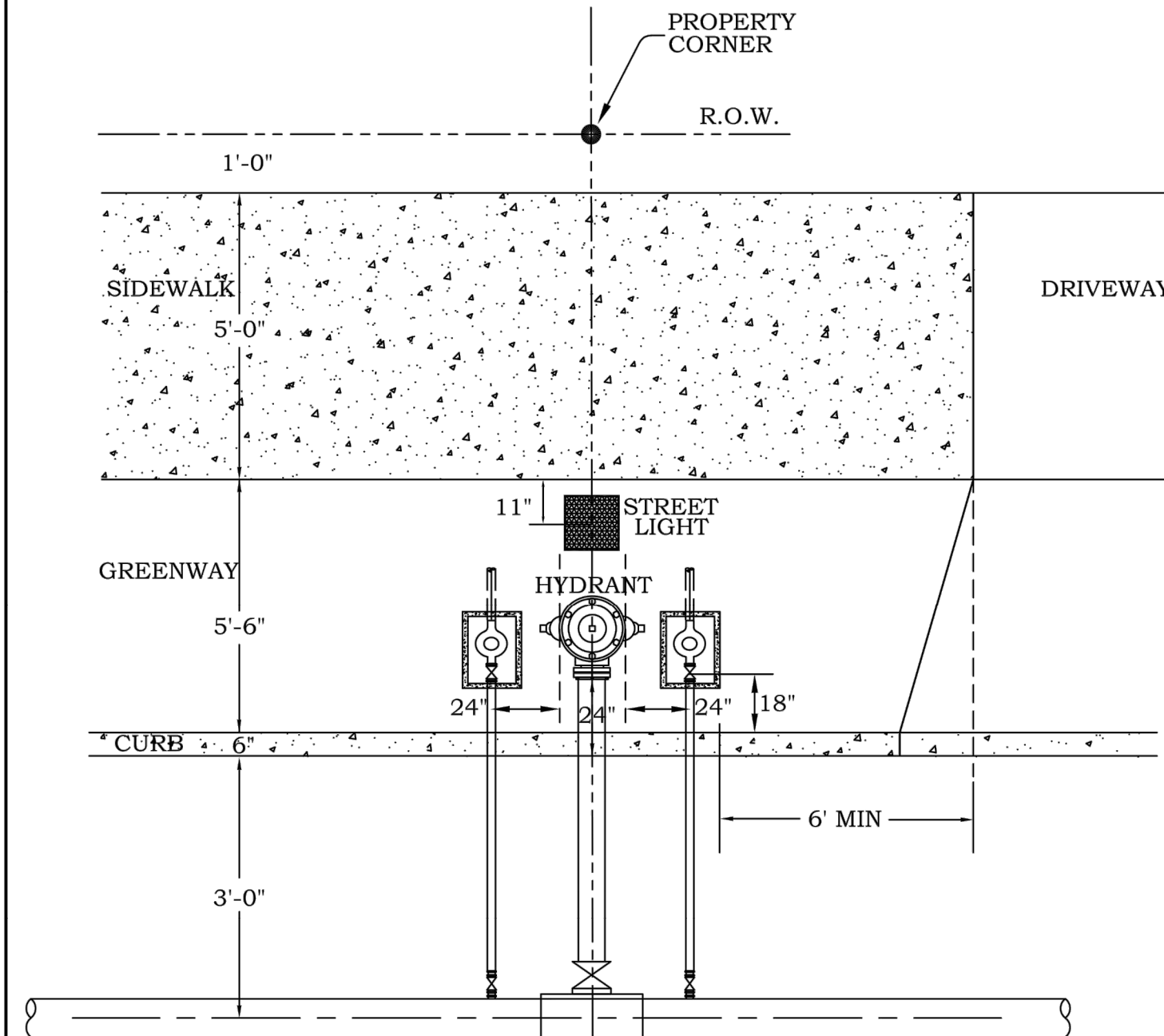
Permanent water service will not be granted until an initial Backflow Test Report is received by MW&L. Annual testing of assembly is required.

NOT TO SCALE

**NOTES:**

- Double Check Detector Assembly:
  - is required on fire service lines;
  - shall be on the State of Oregon list of approved assemblies and shall include factory supplied shut-off valves;
  - shall be installed in a location approved by MW&L, near MW&L's point of service;
  - may be installed vertically, provided the assembly is specifically listed for that orientation in the State of Oregon list of approved assemblies.
- Detector meter to measure in cubic feet.
- Detector meter supplied as part of the assembly.
- Assemblies installed below ground level shall have watertight, threaded plugs or caps installed on test cocks. The assembly shall not be subject to continuous immersion.
- All clearances apply to in-building, and vault installations.
- Box shall be placed upon compacted 3/4" minus gravel.
- Contact the McMinnville Fire Department to determine if FDC is required:
  - When fire hydrants are located downstream of the DCDA the FDC shall be plumbed directly to the fire sprinkler riser, above all control valves. DCDA's that serve fire protection systems shall be electronically supervised, not chained.
- Shall be protected from freezing when necessary.

Permanent water service will not be granted until an initial Backflow Test Report is received by MW&L. Annual testing of assembly is required.



SEE WMB, WMS-1 & WMS-2 FOR MORE DETAILS

NOT TO SCALE



**DOUBLE CHECK VALVE ASSEMBLY 2" AND SMALLER**

DATE	REVISION	DATE	12/9/14	APPROVED	WSC	SPEC NO.	DCVA-2
		DRAWN	SLW				



**DOUBLE CHECK DETECTOR ASSEMBLY 2"**

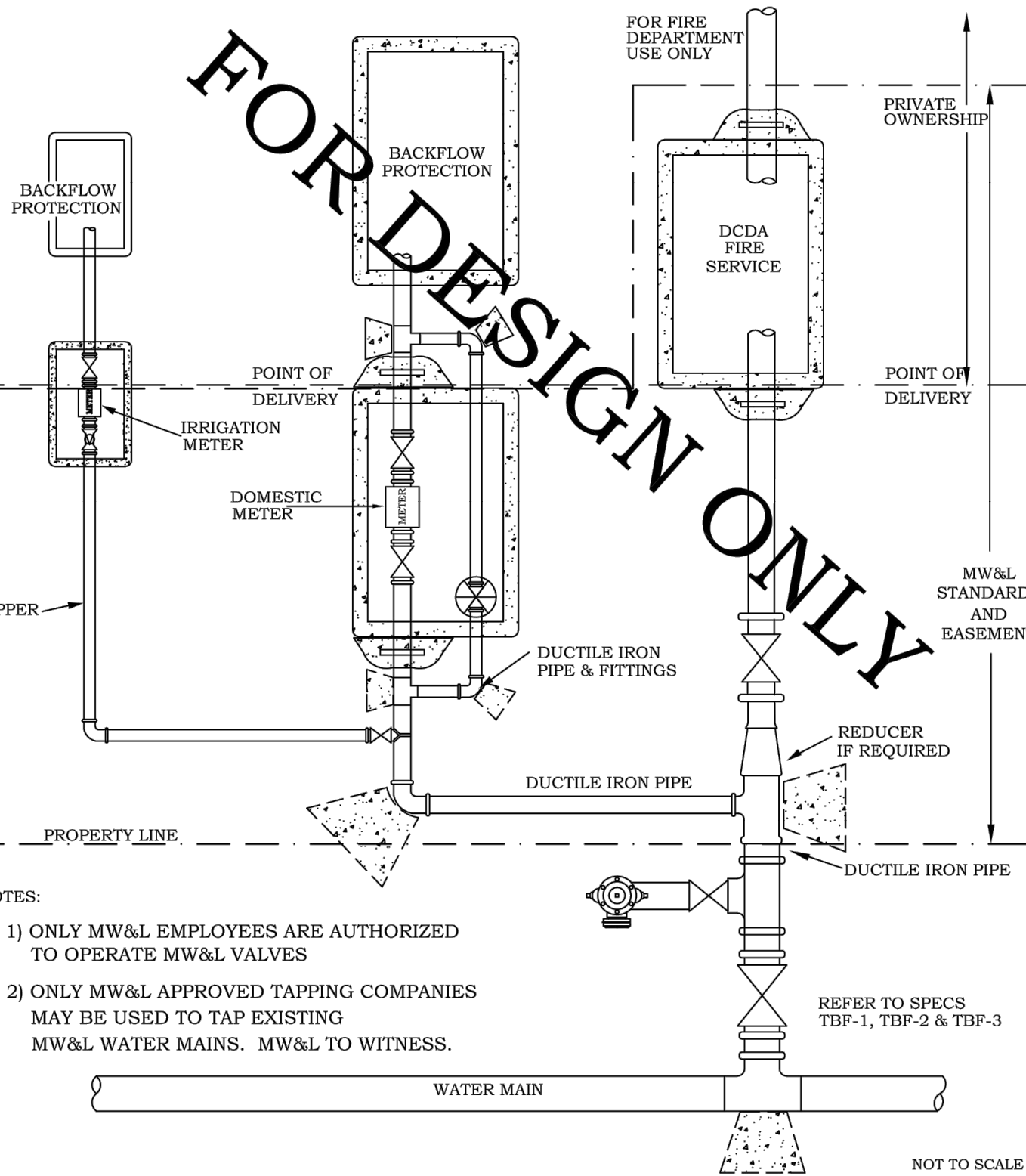
(REQUIRED ON FIRE SERVICE LINES)

DATE	REVISION	DATE	09/20/16	APPROVED	WSC	SHEET NO.	2 OF 2
		DRAWN	SLW			SPEC NO.	DCDA-2A



**WATER METER CLEARANCE HYDRANT OR STREET LIGHT**

DATE	REVISION	DATE	07/09/18	APPROVED	WSC	SPEC NO.	WMCLEAR2
		DRAWN	SLW				



- NOTES:**
- ONLY MW&L EMPLOYEES ARE AUTHORIZED TO OPERATE MW&L VALVES
  - ONLY MW&L APPROVED TAPPING COMPANIES MAY BE USED TO TAP EXISTING MW&L WATER MAINS. MW&L TO WITNESS.

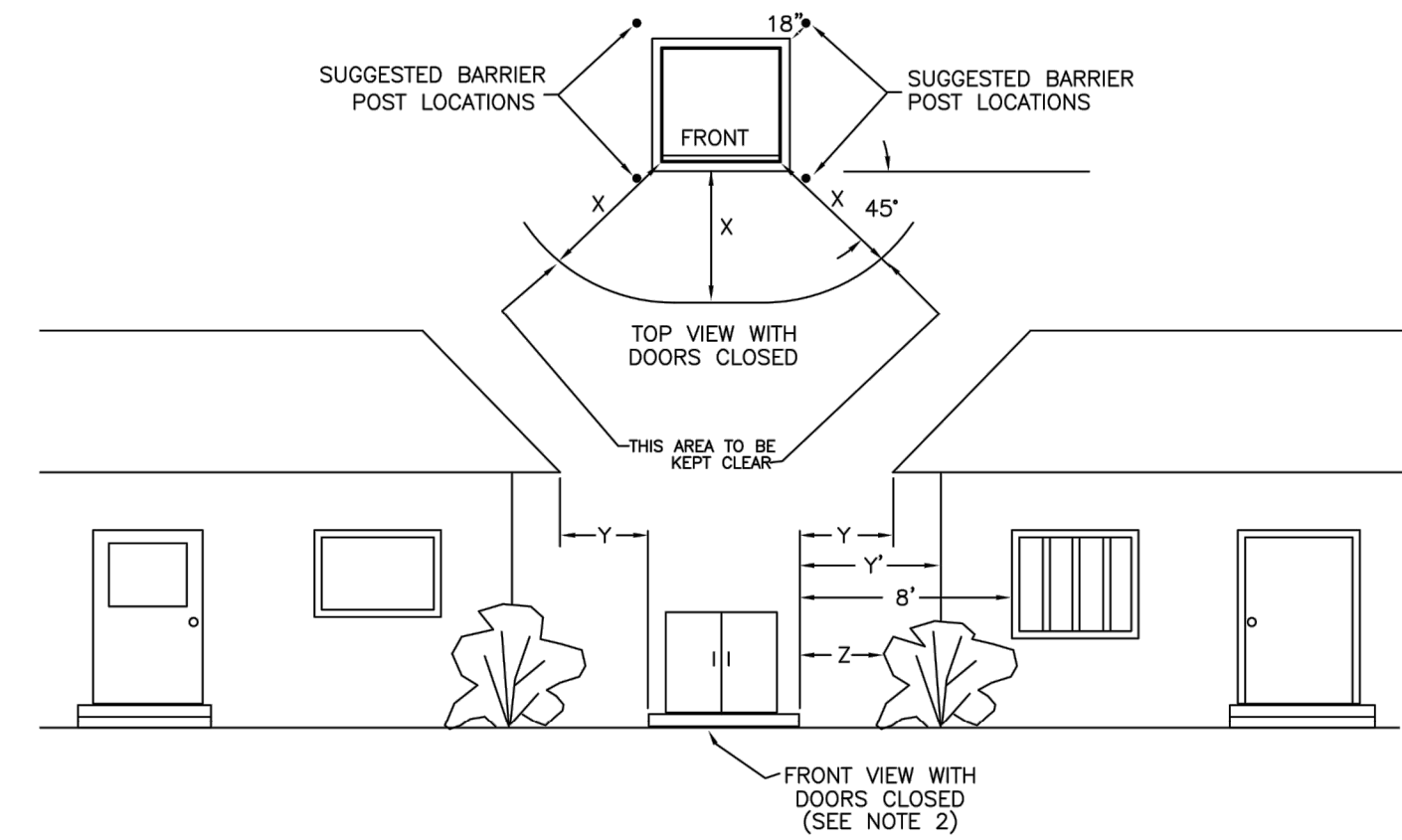
REFER TO SPECS TBF-1, TBF-2 & TBF-3

NOT TO SCALE



**GENERAL SERVICE SEPARATE FIRE & DOMESTIC VAULT FOR DESIGN**

DATE	REVISION	DATE	12/8/14	APPROVED	WSC	SPEC NO.	GS-S
		DRAWN	SLW				



**MINIMUM DISTANCE REQUIRED**

- X = 10' CLEAR AREA IN FRONT OF UNIT TO ALLOW USE OF HOT STICKS (SEE NOTE 2)
- Y = 8' IF STRUCTURE IS OF COMBUSTIBLE MATERIAL
- Y' = 2' TO NON-COMBUSTIBLE BUILDING SURFACES HAVING NO OPENINGS CLOSER THAN 8'
- Z = 3' TO LANDSCAPE/VEGETATION ON BACK AND SIDE

**NOTES:**

- FRONT OF PAD-MOUNTED TRANSFORMER TO BE LOCATED AWAY FROM BUILDING WALLS OR OTHER BARRIERS TO ALLOW FOR SAFE WORKING PRACTICES. IF FRONT OF TRANSFORMER MUST FACE WALL, ALLOW "X" DIMENSION FOR WORKING AREA
- CONSULT UTILITY FOR ADDITIONAL CLEARANCES THAT MAY BE REQUIRED TO BUILDING DOORS, WINDOWS, FIRE ESCAPES AND AIR VENTS, ETC.
- WHERE PAD-MOUNTED TRANSFORMERS OR OTHER EQUIPMENT IS INSTALLED IN A LOCATION WHERE IT MIGHT BE STRUCK BY A MOTORIZED VEHICLE THE CUSTOMER IS TO INSTALL AND MAINTAIN UTILITY APPROVED BARRIER POSTS TO PROTECT THE EQUIPMENT.

**BARRIER POSTS**

PLACE SIX-INCH STEEL CONCRETE-FILLED POSTS A MAXIMUM OF SIX FEET APART ON ALL SIDES EXPOSED TO VEHICLES. SET THREE FEET DEEP IN CONCRETE AND PROJECT FOUR FEET ABOVE GRADE.



**PAD-MOUNTED EQUIPMENT CLEARANCES**

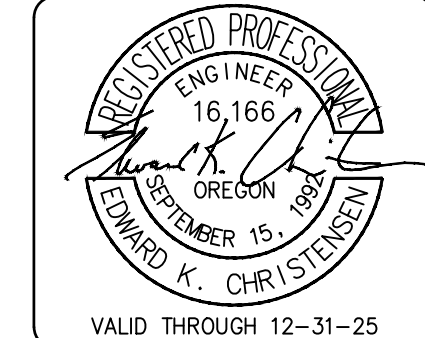
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7/13/2012	REVISED TO UPDATE CURRENT STANDARD	JCD						
			DRAWN	JDW				



**JOINT USE DITCH REQUIREMENTS NO TRANSFORMER PAD "CURB SIDE SIDEWALK"**

DATE	REVISION	APPROVED	DATE	2/10/99	APPROVED	DJE	SPEC NO.	USJBC
7/13/2012	REVISED TO UPDATE CURRENT STANDARD	JCD						
			DRAWN	JDW				

NO.	DATE	REVISION



ENGINEERING PLANNING SURVEYING  
 2520 SW PARKWAY AVE. SUITE G  
 WILSONVILLE, OR 97070  
 TEL: (503) 596-1866  
 ekc@wvlpnc.com  
 www.wvlpnc.com

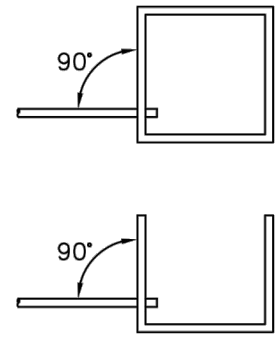
**CONSTRUCTION DETAILS**

**TRACTOR SUPPLY IMPROVEMENT PLANS**  
 CITY OF MCMINNVILLE

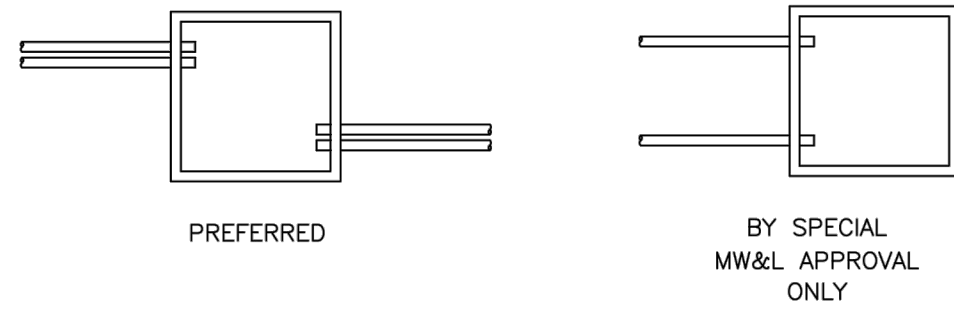
DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	NA HORIZONTAL NA VERTICAL
PROJECT NO.:	---
<b>SHEET 010</b>	

DATE PLOTTED: Jan 03, 2025 - 3:39pm  
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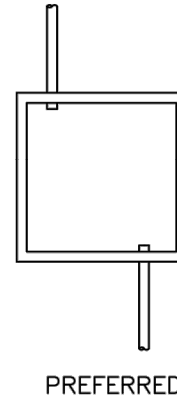
1. CONDUITS SHALL ENTER VAULTS AS PERPENDICULAR TO VAULT WALLS AS POSSIBLE.



2. WHENEVER POSSIBLE MULTIPLE CONDUITS SHALL ENTER VAULT FROM ONE END OF A PARTICULAR SIDE.

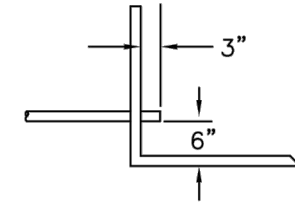


3. AVOID ENTERING VAULTS FROM ADJACENT CORNERS, BUT IF NECESSARY ALLOW A 6" STAGGER BETWEEN CONDUIT ENTRANCES. WHENEVER POSSIBLE ENTERING THE VAULT AT OPPOSITE CORNERS IS PREFERRED.



SHEET: 1 OF 2

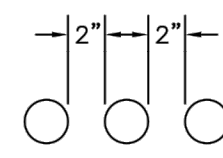
4. CONDUITS SHALL NOT EXTEND INTO VAULT MORE THAN 3", CONDUITS SHALL BE 4" ABOVE BOTTOM OF VAULT WITH A MINIMUM OF 36" OF COVER.



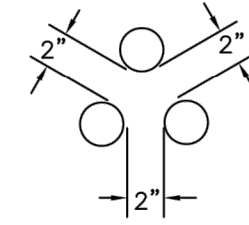
5. ALL ENTRY HOLES, AROUND CONDUITS, IN THE VAULT SHALL BE GROUNDED TO A SMOOTH FINISH TO PREVENT BACKFILL MIGRATION INTO VAULT CAVITY.

6. VAULTS SHALL BE CLEARED OF ALL FOREIGN MATERIAL.

7. MULTIPLE CONDUITS SHALL MAINTAIN AT LEAST A TWO INCH SEPARATION WHEN ENTERING VAULTS.



HORIZONTAL



TRIANGLE

SHEET: 2 of 2



VAULT CONDUIT INSTALLATION NOTES AND DETAILS

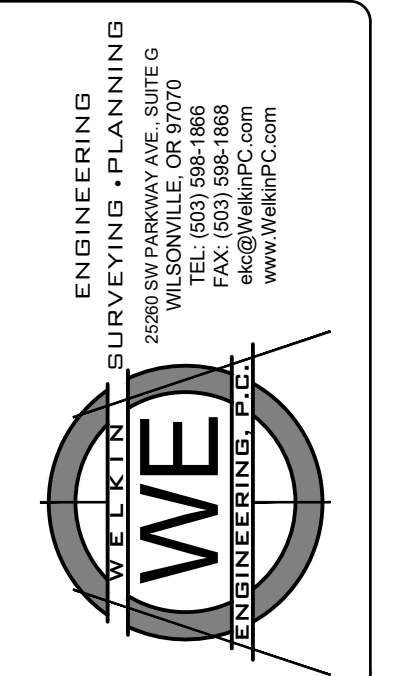
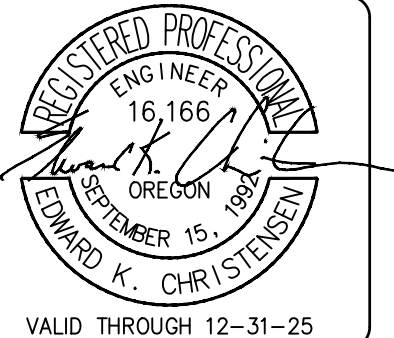
DATE	REVISION	APPROVED
7/13/2012	REVISED TO UPDATE CURRENT STANDARD	JCD
DATE	2/10/99	
DRAWN	JDW	APPROVED DJE
SPEC NO. VCD1		



VAULT CONDUIT INSTALLATION NOTES AND DETAILS

DATE	REVISION	APPROVED
7/13/2012	REVISED TO UPDATE CURRENT STANDARD	JCD
DATE	2/10/99	
DRAWN	JDW	APPROVED DJE
SPEC NO. VCD2		

NO.	DATE	REVISION



CONSTRUCTION DETAILS

TRACTOR SUPPLY IMPROVEMENT PLANS  
CITY OF MCMINNVILLE

DESIGNED BY:	EKC
DRAWN BY:	MFP
CHECKED BY:	EKC
DATE:	1/3/2025
SCALE:	NA HORIZONTAL NA VERTICAL
PROJECT NO:	----
SHEET	011

DATE PLOTTED: Jan 03, 2025 - 3:39pm  
WEPC DRAWING FILE: P:\Project Data\24-132-01 Tractor Supply\DWG\Civil\Sheets\Onsite\24-132-01\_DTLS.dwg



# TRACTOR SUPPLY CO.

900 SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON

## DRAWINGS FOR:

ATWATER GROUP  
162 WEST GRAND AVENUE #300  
CHICAGO, ILLINOIS 60654

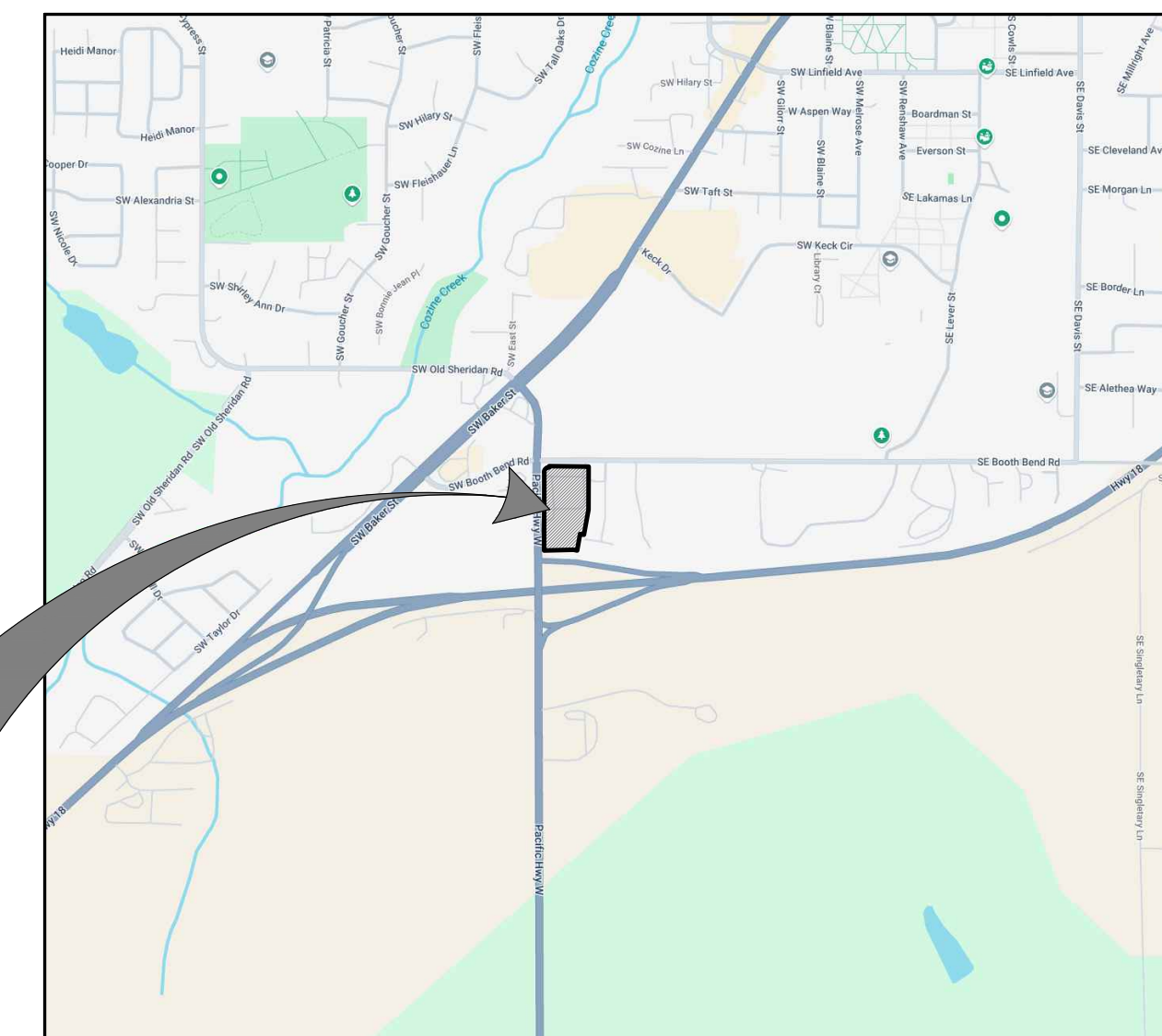
## LANDSCAPE ARCHITECT:

LAURUS DESIGNS, LLC  
LAURA ANTONSON, RLA, ASLA  
1012 PINE STREET  
SILVERTON, OREGON 97381  
503 . 784 . 6494  
LAURA@LAURUSDESIGNS.COM

## SHEET INDEX:

- LO.0 COVER SHEET
  
- L1.1 PLANTING PLAN AND SCHEDULE
- L1.2 PLANTING PLAN AND SCHEDULE
- L1.3 PLANTING NOTES AND DETAILS
- L1.4 PLANTING DETAILS
  
- L2.1 IRRIGATION PLAN AND SCHEDULE
- L2.2 IRRIGATION PLAN AND NOTES
- L2.3 IRRIGATION DETAILS

## VICINITY MAP:



PROJECT SITE

MAP COURTESY OF GOOGLE



Laurus Designs, LLC



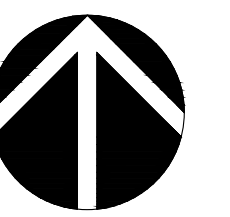
1012 Pine Street  
Silverton, Oregon 97381  
503.784.6494  
laurusdesigns.com

TRACTOR SUPPLY CO.

900 SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON



COVER SHEET



DECEMBER 16TH, 2024

### REVISIONS

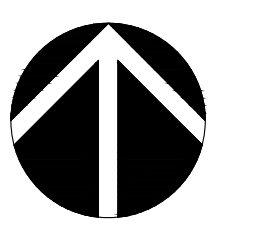
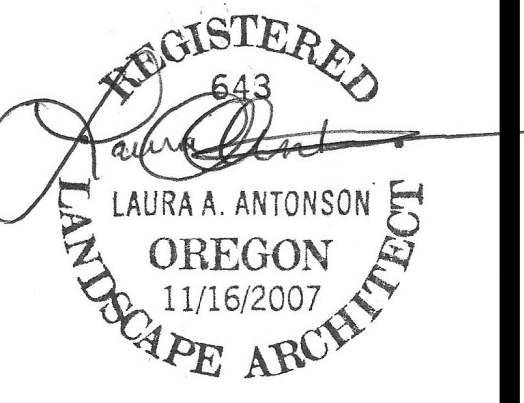
#	DATE	NOTES	INITIALS
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LO.0

SHEET 1 OF 8

PROJECT #: 1699C





REVISIONS		
#	DATE	NOTES

- GENERAL NOTES:**
1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
  2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
  3. SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND STORMWATER.
  4. STREET TREES SEE SEPARATE PUBLIC IMPROVEMENT LANDSCAPE PACKAGES.
  5. GENERAL PLANT SCHEDULE SEE THIS SHEET. STREET TREE AND ROW PLANT SCHEDULES SEE SHEET L1.2.
  6. STORMWATER REQUIREMENTS, SCHEDULE, AND NOTES SEE SHEET L1.2.
  7. PLANTING NOTES AND DETAILS SEE SHEET L1.3 AND L1.4.
  8. IRRIGATION PLAN SEE SHEET L2.1 AND L2.2.

- LEGEND:**
- EXISTING DECIDUOUS TREE TO REMAIN, SEE ARBORIST'S TREE PRESERVATION PLAN
  - EXISTING CONIFER TREE TO REMAIN, SEE ARBORIST'S TREE PRESERVATION PLAN
  - LANDSCAPE BOULDERS, 1'-3' DIA.
  - 2"-6" ROUND ROCK, GRAY, 6" DEPTH

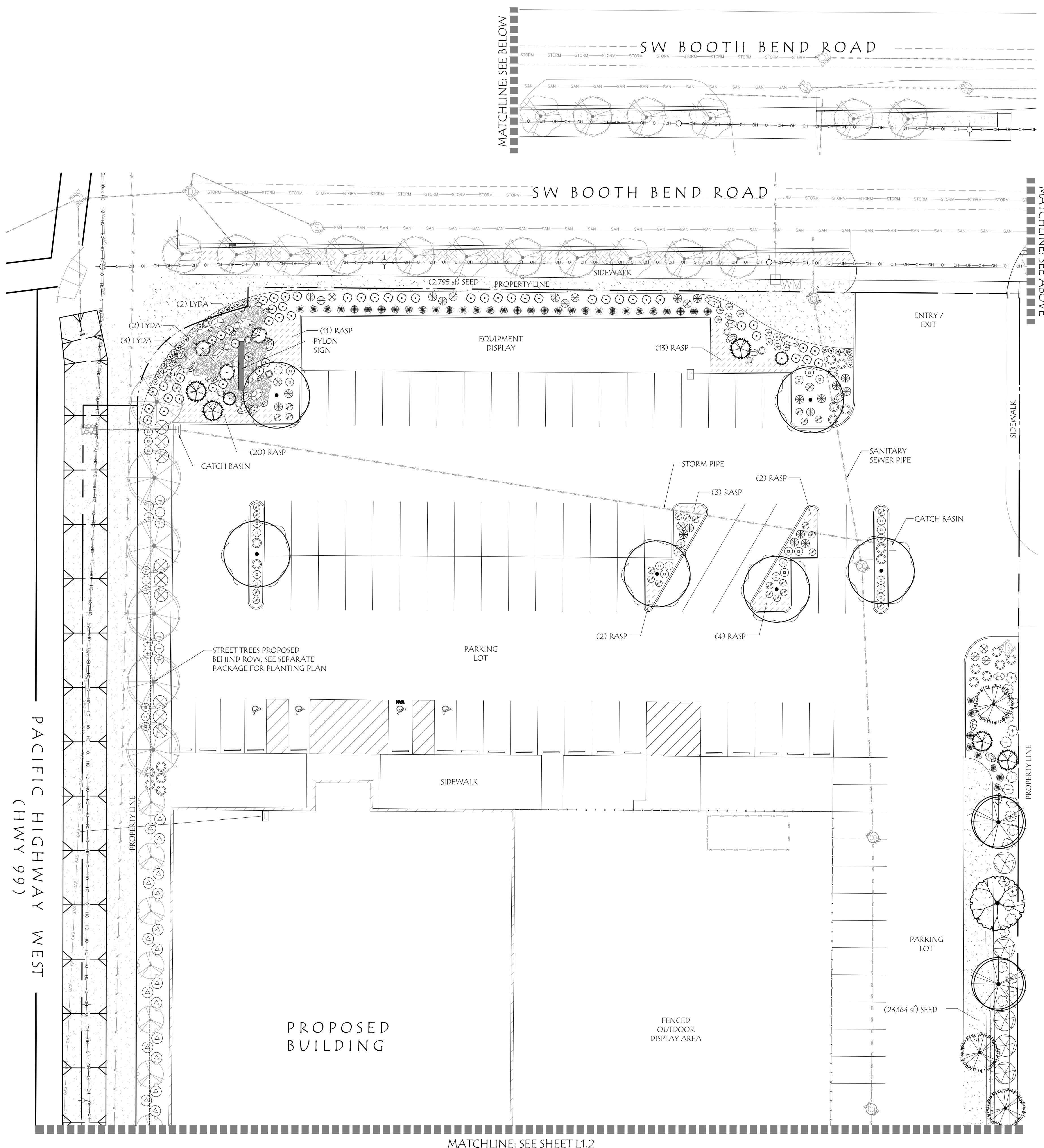
**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H X W)	NOTES
	3	CALOCEDRUS DECURRENS / INCENSE CEDAR	MIN. 6' HT., B&B	50' X 15'	NATIVE
	5	CHAMAECYPARIS NOOTKATENSIS 'GLAUCA PENDULA' / BLUE WEeping NOOTKA CYPRESS	MIN. 6' HT., B&B	30' X 10'	NATIVE CULTIVAR
	5	CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO JAPANESE CEDAR	MIN. 6' HT., B&B	35' X 25'	
	5	NYSSA SYLVATICA 'WILDFIRE' / WILDFIRE TUPELO	2" CAL., B&B	45' X 30'	
	2	PICEA GLAUCA 'PENDULA' / WEeping WHITE SPRUCE	2" CAL., B&B	25' X 8'	
	7	QUERCUS GARRYANA / OREGON WHITE OAK	2" CAL., B&B	75' X 50'	NATIVE
	3	RHAMNUS PURSHIANA / CASCARA	2" CAL., B&B	30' X 20'	NATIVE
	3	THUJA PLICATA / WESTERN RED CEDAR	MIN. 6' HT., B&B	50' X 25'	NATIVE
	6	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE ZELKOVA	2" CAL., B&B	50' X 40'	85' X 75'

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H X W)	NOTES
	26	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / KALEIDOSCOPE GLOSSY ABELIA	2 GAL.	2.5' X 3'	
	10	ABELIA X GRANDIFLORA 'SHERWOODII' / SHERWOOD GLOSSY ABELIA	2 GAL.	3.5' X 3.5'	
	3	ABIES AMABILIS 'SPREADING STAR' / PACIFIC SILVER FIR	5 GAL.	2.5' X 5'	
	35	ILEX CRENATA 'SOFT TOUCH' / SOFT TOUCH JAPANESE HOLLY	2 GAL.	3' X 3'	
	44	MAHONIA AQUIFOLIUM / OREGON GRAPE	3 GAL.	4' X 4'	NATIVE
	14	MYRICA CALIFORNICA / PACIFIC WAX MYRTLE	5 GAL.	18' X 10'	NATIVE
	10	NANDINA DOMESTICA 'ATROPURPUREA NANA' / DWARF NANDINA	2 GAL.	2' X 2'	
	55	PRUNUS LAUROCERASUS 'MOUNT VERNON' / MOUNT VERNON LAUREL	2 GAL.	2' X 5'	
	51	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / OTTO LUYKEN ENGLISH LAUREL	3 GAL.	3' X 5'	
	27	RHAPHIOLEPIS UMBELLATA 'SNOW WHITE' / YEDDA HAWTHORN	3 GAL.	5' X 5'	
	7	RIBES SANGUINEUM / RED FLOWERING CURRANT	3 GAL.	8' X 4'	NATIVE
	31	ROSA KNOCKOUT 'RADRAZZ' / RADRAZZ KNOCKOUT ROSE	2 GAL.	3' X 3'	
	21	SPIRAEA X BUMALDA 'MAGIC CARPET' / MAGIC CARPET SPIREA	2 GAL.	3' X 3'	

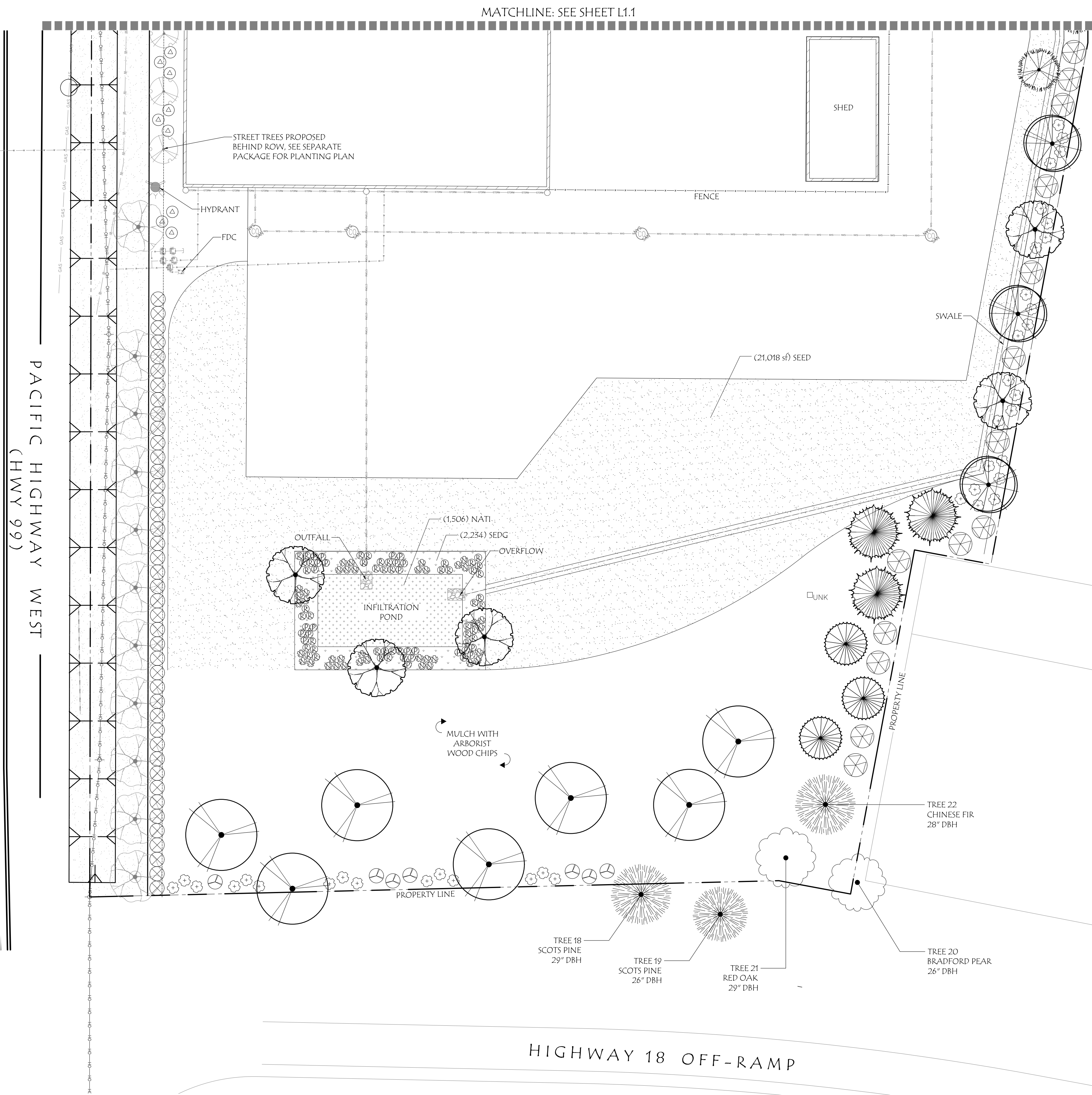
GRASSES / PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H X W)
	39	BOUTELLOVA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL.	3' X 3'
	14	PENNISSETUM ALOPECUROIDES 'HAMELN' / HAMELN FOUNTAIN GRASS	1 GAL.	2.5' X 2.5'
	26	RUDBECKIA HIRTA / BLACK-EYED SUSAN	1 GAL.	2' X 2'

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	MATURE SIZE (H X W)
	7	GENISTA LYDIA 'SELECT' / BANGLE LYDIA BROOM	1 GAL.	36" O.C.	1.5' X 3'
	53	RUBUS PENTALOBUS 'EMERALD CARPET' / CREEPING RASPBERRY	1 GAL.	48" O.C.	1.5' X 4'
	23,767 SF	PRO TIME 769 R&R ECO-TURF MIX WITH MICROCOVER	SEED	APPLY AT RATE OF 5-7LBS PER 1,000 SF	



MATCHLINE: SEE SHEET L1.2





**LEGEND:**

- EXISTING DECIDUOUS TREE TO REMAIN, SEE ARBORIST'S TREE PRESERVATION PLAN
- EXISTING CONIFER TREE TO REMAIN, SEE ARBORIST'S TREE PRESERVATION PLAN
- LANDSCAPE BOULDERS, 1'-3" DIA.
- 2"-6" ROUND ROCK, GRAY, 6" DEPTH

**INFILTRATION PLANTING REQUIREMENTS**

FACILITY NUMBER	FACILITY SF	SHRUBS	HERBACEOUS PLANTS
1	2,658 SF	106	2,658

PLANTING BASED ON CLEAN WATER SERVICES LIDA MANUAL REQUIREMENTS PER 100 SF:  
 115 HERBACEOUS PLANTS @ 1' O.C. -OR-  
 100 HERBACEOUS PLANTS @ 1' O.C. AND 4 SHRUBS

**INFILTRATION PLANT SCHEDULE**

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ZONE	
	42	CORNUS SERICEA 'KELSEY' / KELSEY'S DWARF RED TWIG DOGWOOD	1 GAL.	A/B	
	26	PHILADELPHUS LEWISII / WILD MOCK ORANGE	1 GAL.	A/B	
	38	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	1 GAL.	A/B	
GROUND COVERS					
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	ZONE	SPACING
	488	CAMASSIA QUAMASH / COMMON CAMAS	1/2 GAL.	A	1' O.C.
	488	CAREX OBNUPTA / SLOUGH SEDGE			
	488	JUNCUS ENSIFOLIUS / DAGGER-LEAF RUSH			
	403	DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS	1/2 GAL.	A/B	1' O.C.
	403	IRIS DOUGLASIANA / DOUGLAS IRIS			
	403	SYMPHYOTRICHUM SUBSPICATUM / DOUGLAS ASTER			

**STORMWATER FACILITY PLANTING NOTES:**

- THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED.
- IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION.
- SEE CITY OF MCMINNVILLE STORMWATER MANUAL AND CLEAN WATER SERVICES LIDA MANUAL FOR MORE INFORMATION.
- CONTAINER STOCK MAY BE PLANTED YEAR ROUND IF CONDITIONS PERMIT. PLANT AFTER 48 HOURS OF DRY WEATHER TO AVOID SOIL COMPACTION. USE JUTE OR COIR MATTING TO PREVENT EROSION IF NEEDED.
- PLANT MATERIALS SHALL BE FREE OF DISEASE, INJURY, AND INSECT INFESTATION. UNHEALTHY OR DAMAGED PLANTS SHALL BE REPLACED BY LANDSCAPE CONTRACTOR.
- SEE CIVIL PLANS FOR GRADING, EROSION CONTROL AND SITE PREPARATION.
- MULCH: DO NOT USE MULCH IN ZONE A AND OTHER FREQUENTLY INUNDATED AREAS.
- FACILITY TO BE IRRIGATED WITH IRRIGATION SYSTEM FOR A MINIMUM OF 2 YEARS. SEE IRRIGATION PLAN. PLANTS TO RECEIVE A MINIMUM OF 1" OF WATER PER WEEK FROM JUNE 15TH TO OCTOBER 15TH THE FIRST YEAR AND BE MONITORED TO MAINTAIN HEALTHY CONDITIONS. WATER AMOUNTS MAY BE REDUCED THE SECOND YEAR FROM JUNE 15TH TO OCTOBER 15TH, BUT MAINTAIN WEEKLY WATERING AND ADDITIONAL WATERING MAY BE NEEDED BASED ON MONITORING.
- MAINTENANCE AND MONITORING TO TAKE PLACE ANNUALLY. TAG PLANTS WITH A RUST PROOF LABEL TO FACILITATE MONITORING. REPLACE DEAD OR DYING PLANT MATERIAL AS NEEDED.

**HIGHWAY 99 ROW PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H X W)	NOTES
	9	FAGUS SYLVATICA 'FASTIGIATA' / FASTIGIATE EUROPEAN BEECH	2" CAL, B&B	45' X 15'	SMALL STREET TREE
	6	NYSSA SYLVATICA 'WILDFIRE' / WILDFIRE TUPELO	2" CAL, B&B	45' X 30'	MEDIUM STREET TREE
	11	PARROTIA PERSICA / PERSIAN PARROTIA	2" CAL, B&B	3' X 20'	SMALL STREET TREE ADJACENT TO LOW OVERHEAD LINES

SEED MIX	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	+/- 15,962 SF	PRO TIME 769 / R&R ECO-TURF MIX WITH MICROCLOVER	SEED	SEED AT RATE OF 5-7LBS PER 1,000 SF

**BOOTH BEND ROW PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (H X W)	NOTES
	12	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA' / TUSCARORA CRAPE MYRTLE	2" CAL, B&B	20' X 20'	SMALL STREET TREE BENEATH OVERHEAD LINES
	5	TILIA CORDATA 'HALKA' / SUMMER SPRITE' LITTLELEAF LINDEN	2" CAL, B&B	20' X 15'	SMALL STREET TREE BENEATH OVERHEAD LINES

GROUND COVER	QTY	BOTANICAL / COMMON NAME	SIZE	NOTES
	48	GENISTA LYDIA 'SELECT' / BANGLE' LYDIA BROOM	1 GAL.	36" O.C.
	30	RUBUS PENTALOBUS 'EMERALD CARPET' / CREEPING RASPBERRY	1 GAL.	48" O.C.

**GENERAL NOTES:**

- VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
- SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND STORMWATER.
- STREET TREES SEE SEPARATE PUBLIC IMPROVEMENT LANDSCAPE PACKAGES.
- GENERAL PLANT SCHEDULE SEE SHEET L1.1. STREET TREE AND ROW IMPROVEMENTS PLANT SCHEDULES SEE THIS SHEET.
- STORMWATER REQUIREMENTS, SCHEDULE, AND NOTES SEE THIS SHEET.
- PLANTING NOTES AND DETAILS SEE SHEET L1.3 AND L1.4.
- IRRIGATION PLAN SEE SHEET L2.1 AND L2.2.

Laurus Designs, LLC

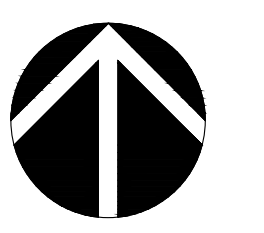
1012 Pine Street  
 Silverton, Oregon 97381  
 503.784.6494  
 laurusdesigns.com

TRACTOR SUPPLY CO.

900 SW BOOTH BEND ROAD  
 MCMINNVILLE, OREGON

REGISTERED  
 643  
  
 LAURA A. ANTONSON  
 OREGON  
 11/16/2007  
 LANDSCAPE ARCHITECT

PLANTING PLAN AND SCHEDULE



SCALE: 1" = 20' - 0"  
 0' 10' 20' 40'  
 SCALE

DECEMBER 16TH, 2024

**REVISIONS**

#	DATE	NOTES	INITIALS
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L1.2  
 SHEET 3 OF 8



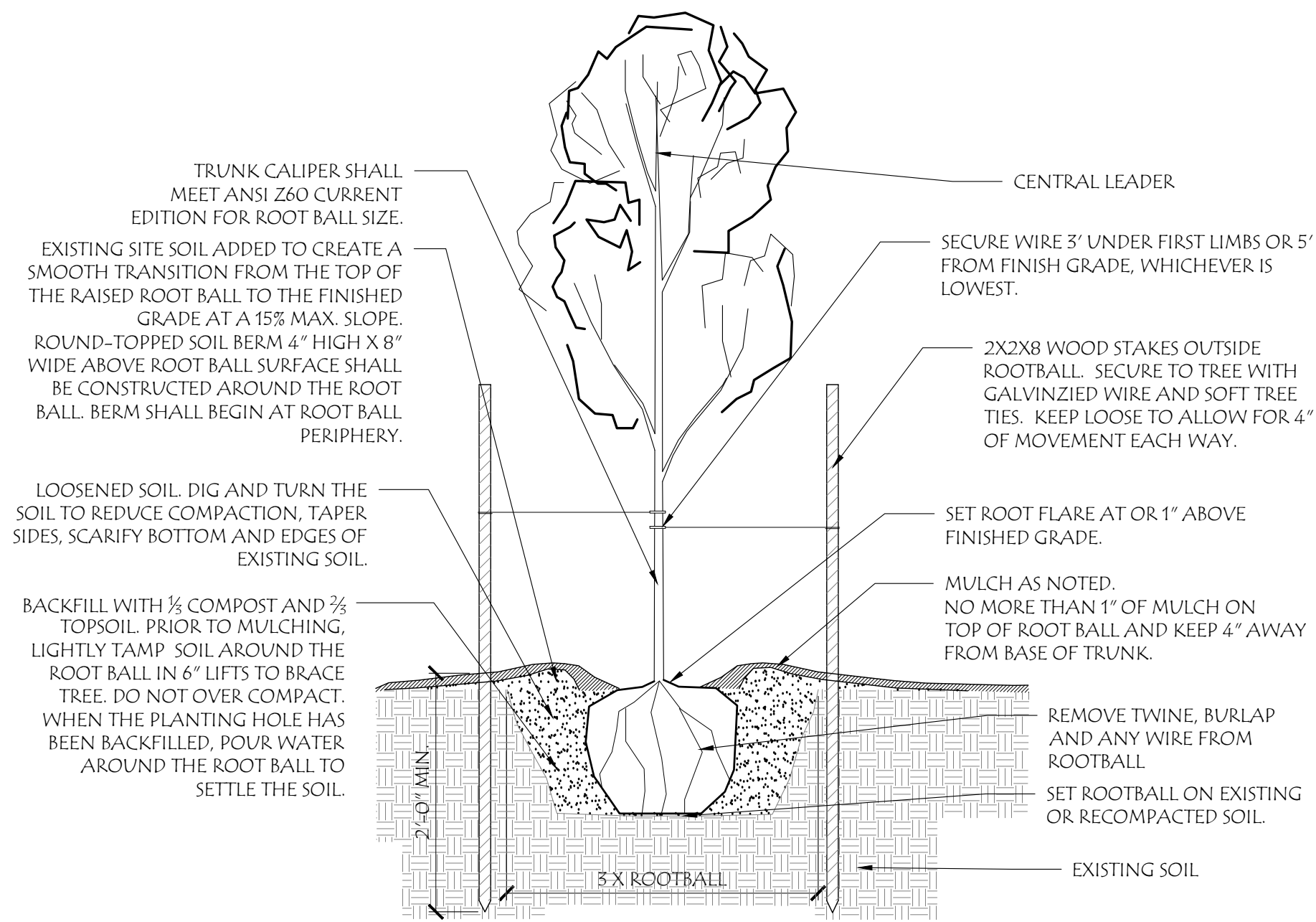


GENERAL NOTES:

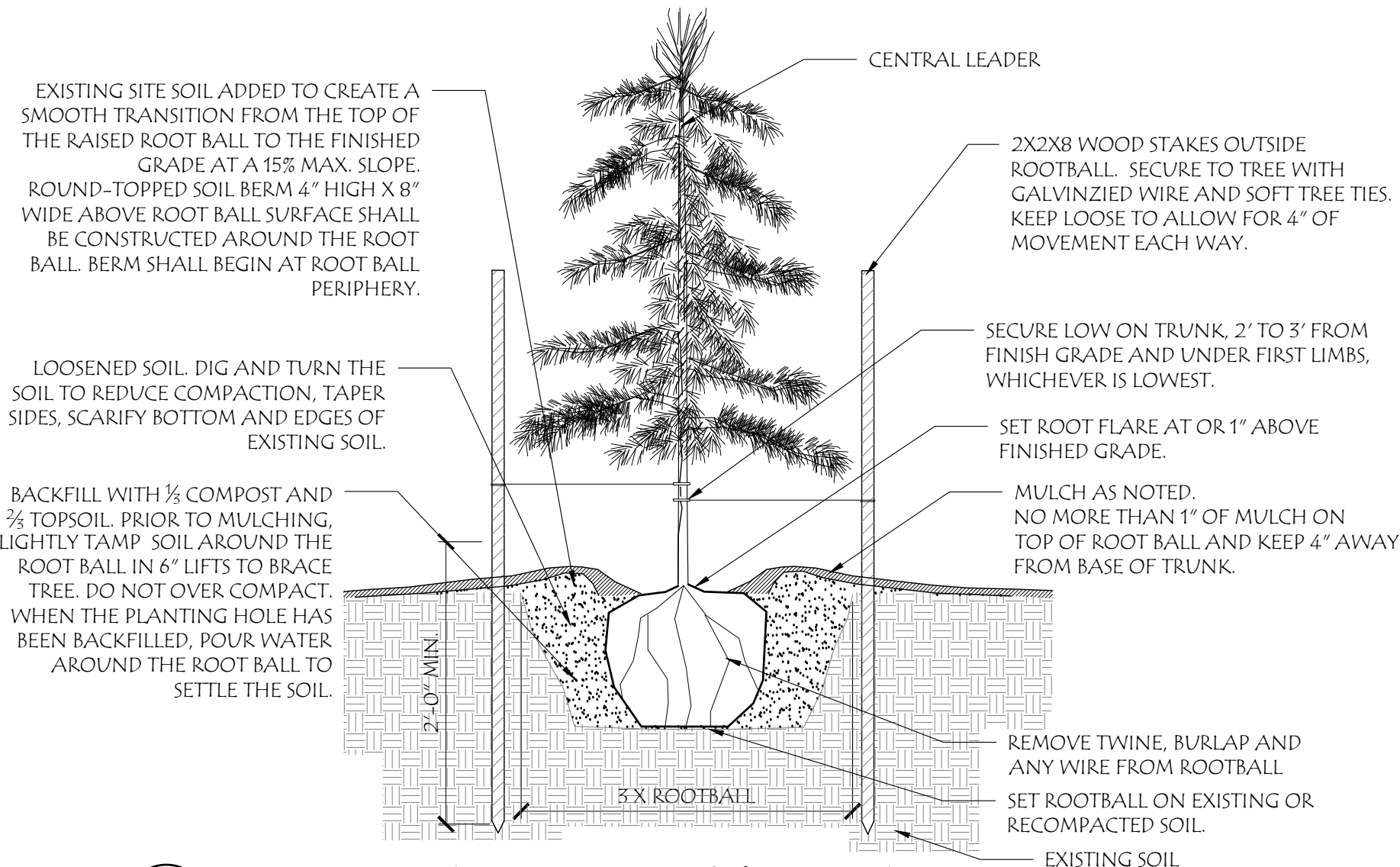
1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
3. SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND STORMWATER.
4. STREET TREES SEE SEPARATE PUBLIC IMPROVEMENT LANDSCAPE PACKAGES.
5. PLANT SCHEDULE SEE SHEET L1.1.
6. STORMWATER REQUIREMENTS, SCHEDULE, AND NOTES SEE THIS SHEET.
7. PLANTING PLAN SEE SHEETS L1.1 AND L1.2.

GENERAL PLANTING NOTES:

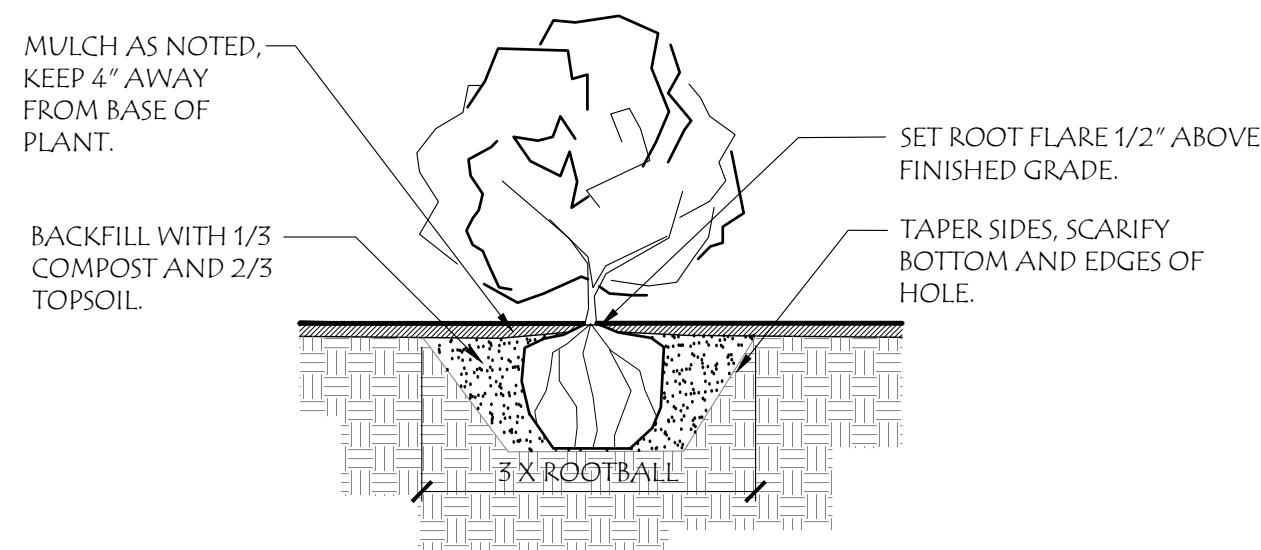
1. THE LANDSCAPE CONTRACTOR IS TO THOROUGHLY REVIEW THE SITE. IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS THE LANDSCAPE ARCHITECT IS TO BE IMMEDIATELY NOTIFIED.
2. IF THE LANDSCAPE CONTRACTOR STARTS WORK BEFORE SITE CONDITIONS ARE READY, THEY WILL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS RELATING TO THE CONDITION.
3. PLANT MATERIALS SHALL BE FREE OF DISEASE, INJURY, AND INSECT INFESTATION. UNHEALTHY OR DAMAGED PLANTS SHALL BE REPLACED BY LANDSCAPE CONTRACTOR. ALL PLANT MATERIAL SHALL FOLLOW THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLICATIONS INCLUDING ANSI A500 AND ANSI Z60.
4. PLANTER BEDS: ALL PLANTER BEDS SHALL HAVE A MINIMUM DEPTH OF 8" WORKABLE TOPSOIL, COMPACTED AT A MAXIMUM OF 85% STANDARD PROCTOR MAXIMUM DRY DENSITY. TOPSOIL SHALL BE OVER ROCK-FREE SUBGRADE. SUBGRADE TO BE RIPPED AND TILLED TO 6" DEPTH AND REMOVE ALL DEBRIS 2" OR LARGER. SMALL PLANTER AREAS MAY REQUIRE REMOVAL OF COMPACTED SOIL, ROCK, GRAVEL TO AT LEAST 18" DEEP. LOOSEN AND AMEND SOIL BEFORE REPLACING IN 6" LIFTS TO FINISH GRADE.
5. LAWN BEDS: ALL LAWN BEDS SHALL HAVE A MINIMUM DEPTH OF 3" WORKABLE TOPSOIL WITH 1" CLEAN, MATURE COMPOST. THOROUGHLY MIX AND TILL 2" INTO SUBGRADE FOR A TOTAL DEPTH OF 6" UNCOMPACTED, WORKABLE SOIL.
6. TOPSOIL MIX: AMEND EXISTING SOIL IN-SITU OR STOCK PILE SOIL ON SITE. IMPORT TOPSOIL ONLY AS NECESSARY. CONDUCT A SOIL SAMPLE FOR EACH TYPE OF PLANTER AREA. SEND SAMPLES TO AN INDEPENDENT LABORATORY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE AND SPECIALIZING IN AGRONOMIC SOIL ANALYSIS FOR TESTING AND AMENDMENT RECOMMENDATIONS.
7. SOIL AMENDMENTS: ADD A MINIMUM OF 3" CLEAN, MATURE COMPOST TO TOPSOIL FOR PLANTER AREAS AND 1" CLEAN, MATURE COMPOST FOR LAWN BEDS. TILL IN. FOR ALL BEDS. FOR BIDDING PURPOSES, ASSUME GENERAL SOIL AMENDMENTS AS FOLLOWS PER 1000' SF AT 6" LIFTS UNTIL SOIL ANALYSIS RECOMMENDATION IS COMPLETE, SEE ABOVE FOR COMPOST:
  - 25 LBS GYPSUM
  - 75 LBS LIME
  - 8 LBS SUPERPHOSPHATE
  - 3 LBS AMMONIUM NITRATE
  - 4 OZS ZINC SULFATE
  - 8 OZS MANGANESE SULFATE
8. MYCORRHIZAL FUNGI INOCULATE: USE A COMBINED ENDO AND ECTO MYCORRHIZAL FUNGI INOCULATE SUCH AS BIO-ORGANICS OR EQUAL AT A RATE OF:
  - 2" CAL. B&B TREE: 3 TEASPOONS
  - 5 GALLON: 2 TEASPOONS
  - 1-3 GALLON PLANT: 1 TEASPOON
  - 4" POT: 1/4 TEASPOON
  - SEED/TURF: 1 LB PER 2000 SF
 DO NOT USE ON RHODODENDRON/AZALEA, HUCKLEBERRY, SEDGE, RUSH, HEATH.
9. PLANTING: VERIFY SOIL IS APPROPRIATELY DRY FOR DIGGING. SEE DETAILS THIS SHEET FOR HOLE DEPTH, WIDTH AND BACKFILL. DEEP WATER IMMEDIATELY AFTER PLANTING.
10. MOUND PLANTING BED AREAS 3% FOR POSITIVE DRAINAGE AND AESTHETICS. SLOPE AWAY FROM BUILDINGS.
11. MULCH: SPREAD 2" MAX. DEPTH AGED FIR MULCH IN ALL PLANTER BEDS AND OPEN LANDSCAPE AREAS. KEEP MULCH AWAY FROM PLANT BASE.
12. FERTILIZER: DO NOT USE ADDITIONAL FERTILIZERS ON NEWLY PLANTED TREES FOR FIRST YEAR.
13. TREES: TREE STAKES TO BE REMOVED AFTER 6 MONTHS.
14. LAWN: PROVIDE 48" DIAMETER LAWN CUT-OUTS AROUND ALL TREES. MULCH CUT-OUTS, KEEP MULCH AT LEAST 4" AWAY FROM BASE OF TREE. KEEP LAWN 12" FROM FENCES AND BUILDINGS. MULCH AREAS AT FENCE AND BUILDING.
15. SEED: HYDROSEED IN SPRING AFTER MARCH 15TH OR FALL BEFORE OCTOBER 15TH. SEEDED AREAS WITHOUT IRRIGATION, SEED ONCE RAIN BEGINS IN FALL OR BEFORE RAIN ENDS IN SPRING, BUT SOIL TEMPS WILL ALLOW FOR GERMINATION.
16. PLANT QUANTITIES SHOWN ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS. IF THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES AND SYMBOLS SHOWN, USE THE LARGER OF THE TWO AMOUNTS. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES.
17. NOTIFY LANDSCAPE ARCHITECT OF SUBSTITUTIONS.
18. PLANTS TO BE UNDER WARRANTY FOR A MINIMUM OF 12 MONTHS STARTING FROM FULL COMPLETION.



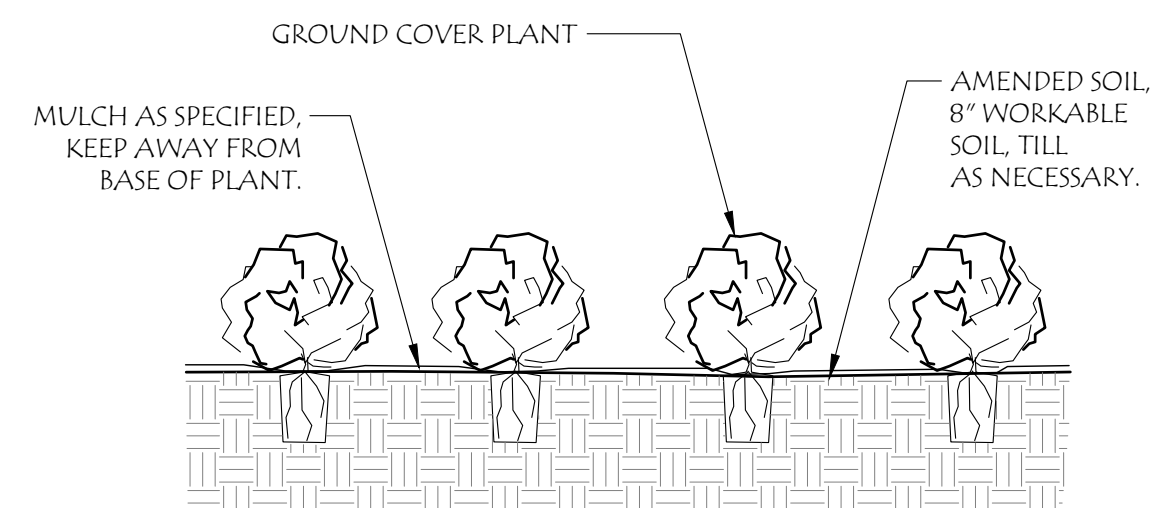
1 TREE PLANTING AT 1 1/2" CALIPER OR GREATER DETAIL  
SCALE: NTS



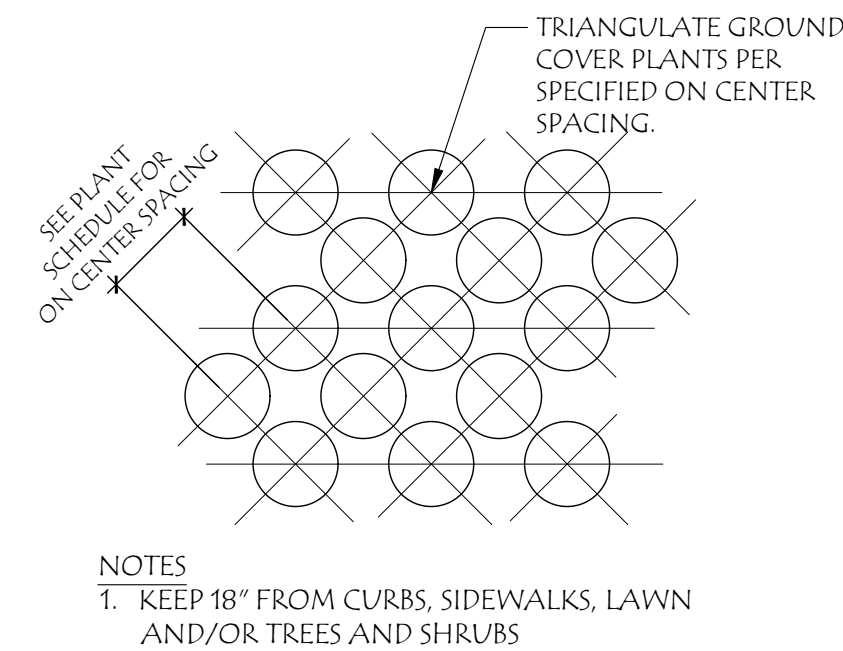
2 CONIFER PLANTING OVER 6' HT. DETAIL  
SCALE: NTS



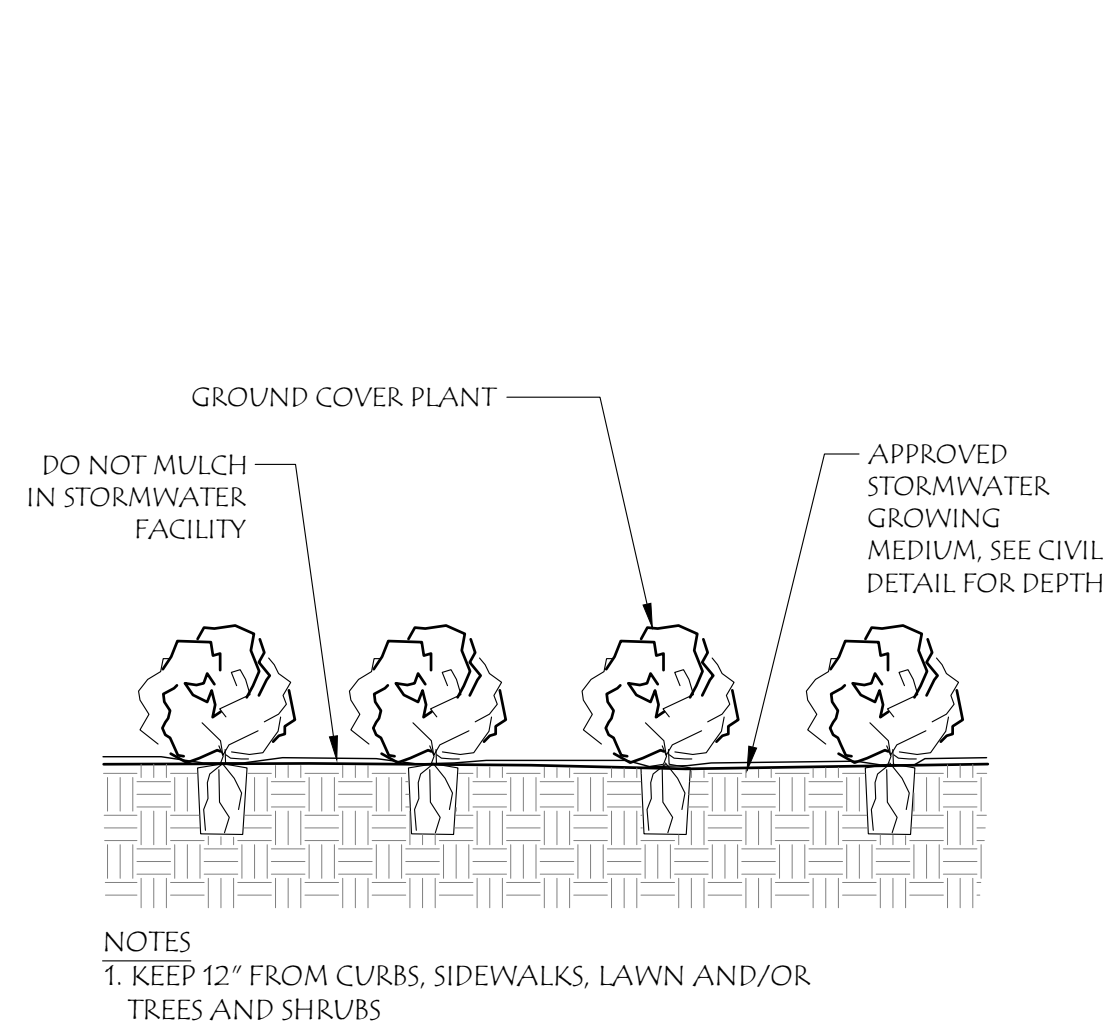
3 SHRUB AND GROUND COVER PLANTING DETAIL  
SCALE: NTS



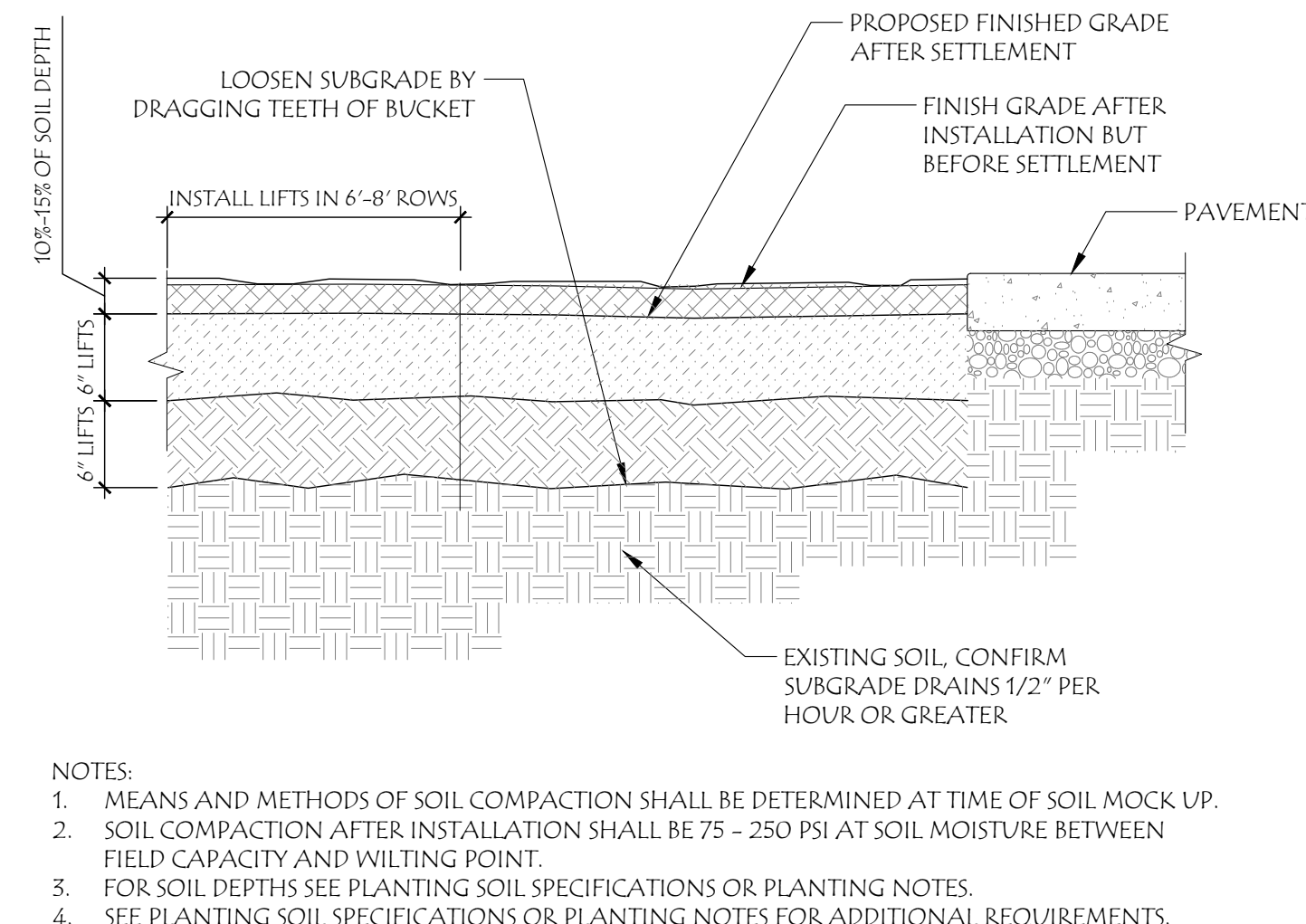
4 4" POT / PLUG PLANTING DETAIL  
SCALE: NTS



5 GROUND COVER SPACING DETAIL  
SCALE: NTS



6 STORMWATER CONTAINER PLANTS  
SCALE: NTS

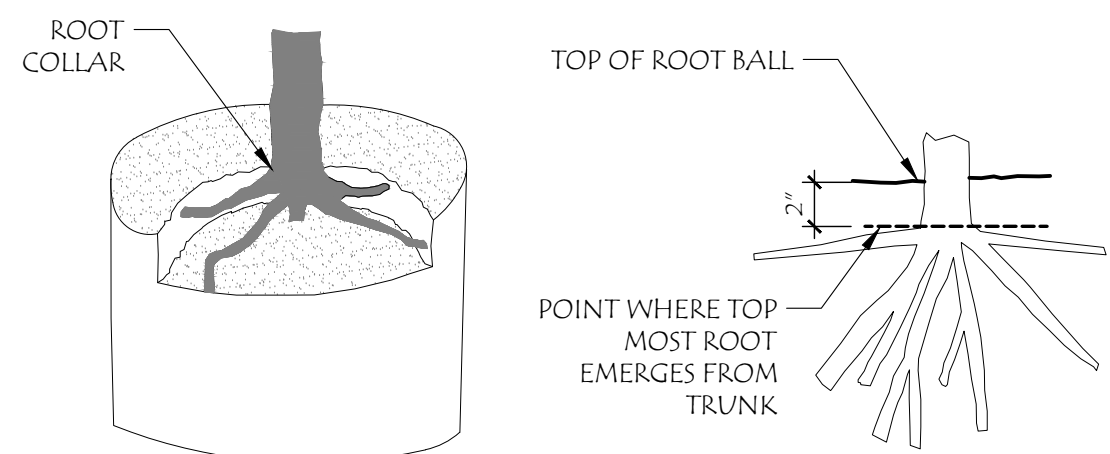


7 MODIFIED EXISTING SOIL WITH AMENDMENTS  
SCALE: NTS

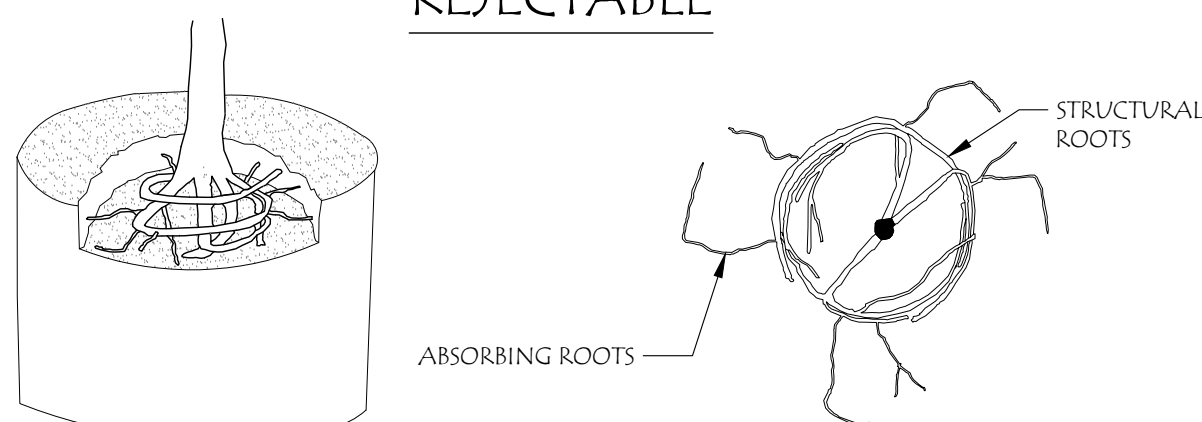


**ACCEPTABLE**

**REJECTABLE**

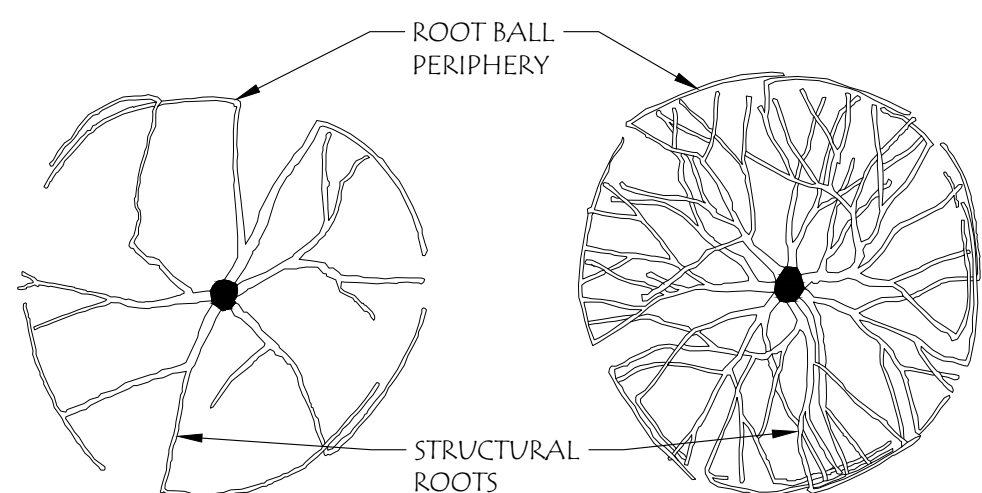


THE POINT WHERE TOP-MOST ROOT(S) EMERGES FROM THE TRUNK (ROOT COLLAR) SHOULD BE WITHIN THE TOP 2" OF SUBSTRATE. THE ROOT COLLAR AND THE ROOT BALL INTERIOR SHOULD BE FREE OF DEFECTS INCLUDING CIRCLING, KINKED, ASCENDING, AND STEM GIRDLING ROOTS. STRUCTURAL ROOTS SHALL REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL.

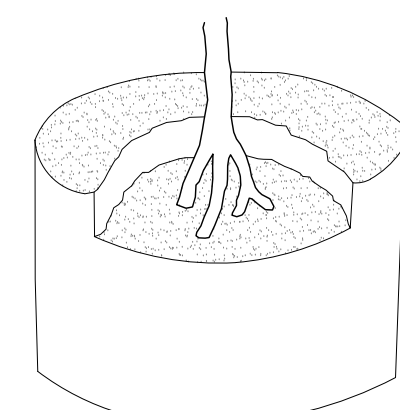


STRUCTURAL ROOTS CIRCLE INTERIOR OF ROOT BALL. NO STRUCTURAL ROOTS ARE HORIZONTAL AND REACH THE ROOT BALL PERIPHERY NEAR THE TOP OF THE ROOT BALL.

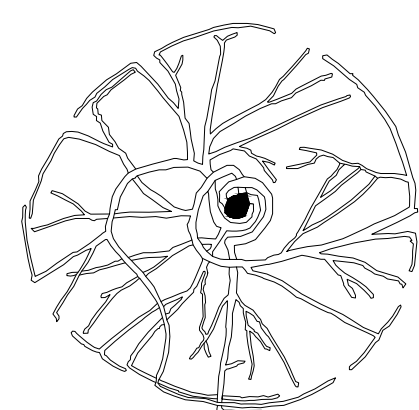
ONLY ABSORBING ROOTS REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL. STRUCTURAL ROOTS MOSTLY WRAP OR ARE DEFLECTED ON THE ROOT BALL INTERIOR.



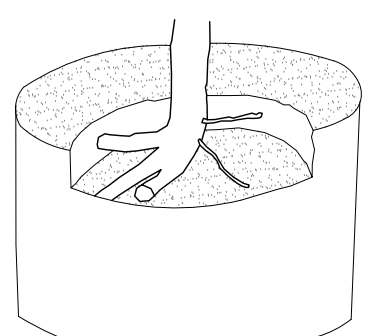
ROOTS RADIATE FROM TRUNK AND REACH SIDE OF ROOT BALL WITHOUT DEFLECTING DOWN OR AROUND.



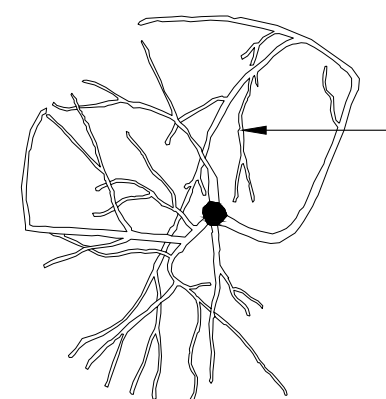
STRUCTURAL ROOTS DESCEND INTO ROOT BALL INTERIOR. NO STRUCTURAL ROOTS ARE HORIZONTAL AND REACH THE ROOT BALL PERIPHERY NEAR THE TOP OF THE ROOT BALL.



STRUCTURAL ROOTS CIRCLE AND DO NOT RADIATE FROM THE TRUNK.



STRUCTURAL ROOTS PRIMARILY GROW TO ONE SIDE.

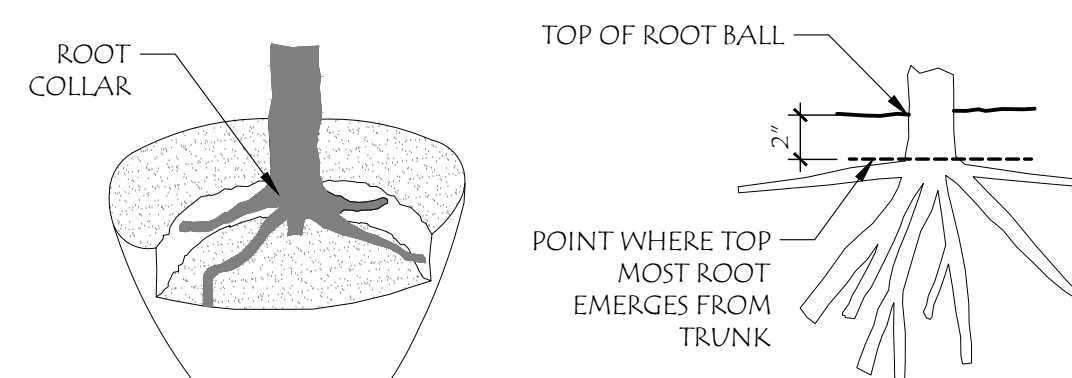


STRUCTURAL ROOT GROWING TANGENT (PARALLEL) TO TRUNK.

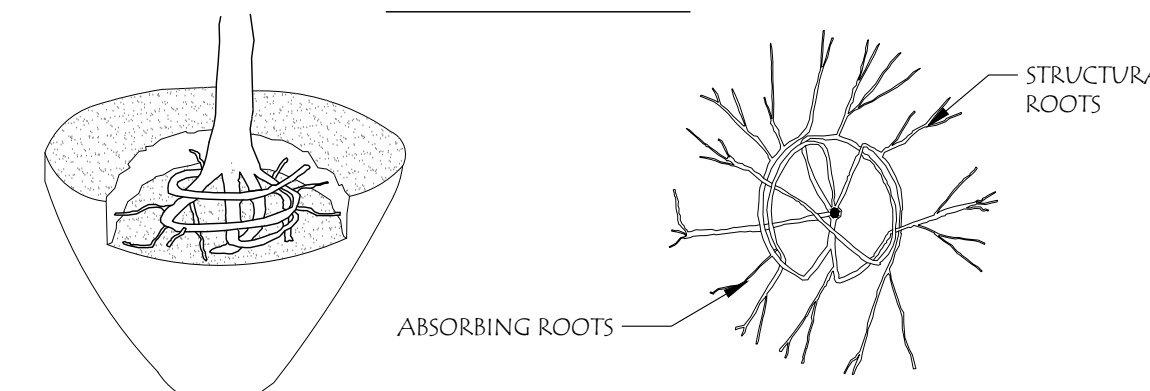
NOTES:  
1- OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SUBSTRATE MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL TO BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED. DO NOT COVER ROOT FLARE.  
2- SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.

**ACCEPTABLE**

**REJECTABLE**

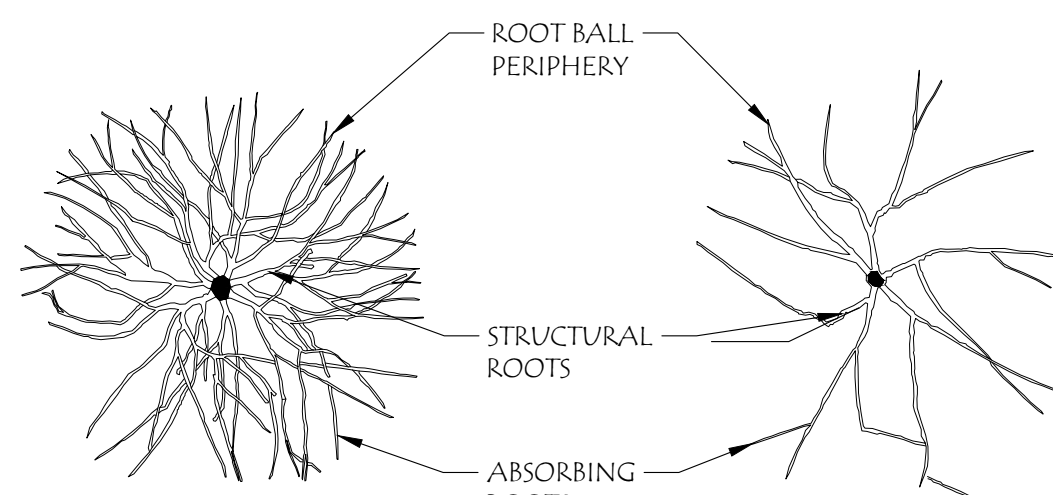


THE POINT WHERE TOP-MOST ROOT(S) EMERGES FROM THE TRUNK (ROOT COLLAR) SHOULD BE WITHIN THE TOP 2" OF SUBSTRATE. THE ROOT COLLAR AND THE ROOT BALL INTERIOR SHOULD BE FREE OF DEFECTS INCLUDING CIRCLING, KINKED, ASCENDING, AND STEM GIRDLING ROOTS. STRUCTURAL ROOTS SHALL REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL.

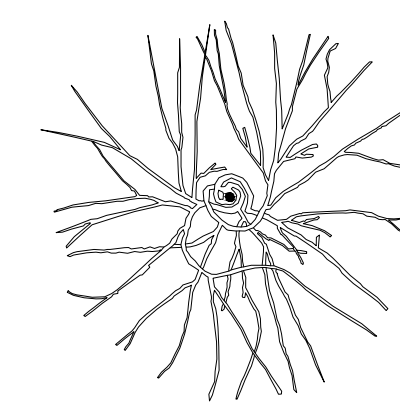


STRUCTURAL ROOTS CIRCLE INTERIOR OF ROOT BALL. NO STRUCTURAL ROOTS ARE HORIZONTAL AND REACH THE ROOT BALL PERIPHERY NEAR THE TOP OF THE ROOT BALL.

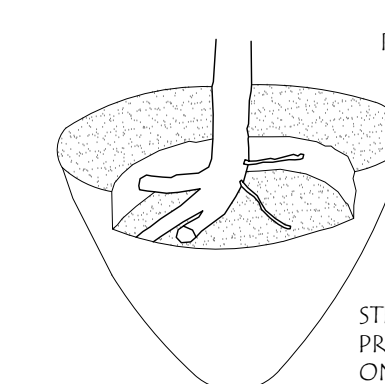
ONLY ABSORBING ROOTS REACH THE PERIPHERY NEAR THE TOP OF THE ROOT BALL. STRUCTURAL ROOTS MOSTLY WRAP OR ARE DEFLECTED ON THE ROOT BALL INTERIOR.



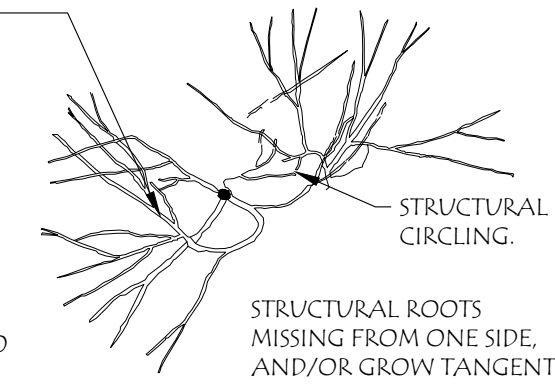
STRUCTURAL ROOTS DESCEND INTO ROOT BALL INTERIOR. NO STRUCTURAL ROOTS ARE HORIZONTAL AND REACH THE ROOT BALL PERIPHERY NEAR THE TOP OF THE ROOT BALL.



STRUCTURAL ROOTS CIRCLE AND DO NOT RADIATE FROM THE TRUNK.



STRUCTURAL ROOT GROWING TANGENT (PARALLEL) TO TRUNK.



STRUCTURAL ROOTS MISSING FROM ONE SIDE, AND/OR GROW TANGENT TO TRUNK.

NOTES:  
1- OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SOIL MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER THE OBSERVATIONS HAVE BEEN COMPLETED. DO NOT COVER ROOT FLARE.

**1 ROOT OBSERVATIONS: BALLED AND BURLAPPED**

SCALE: NTS

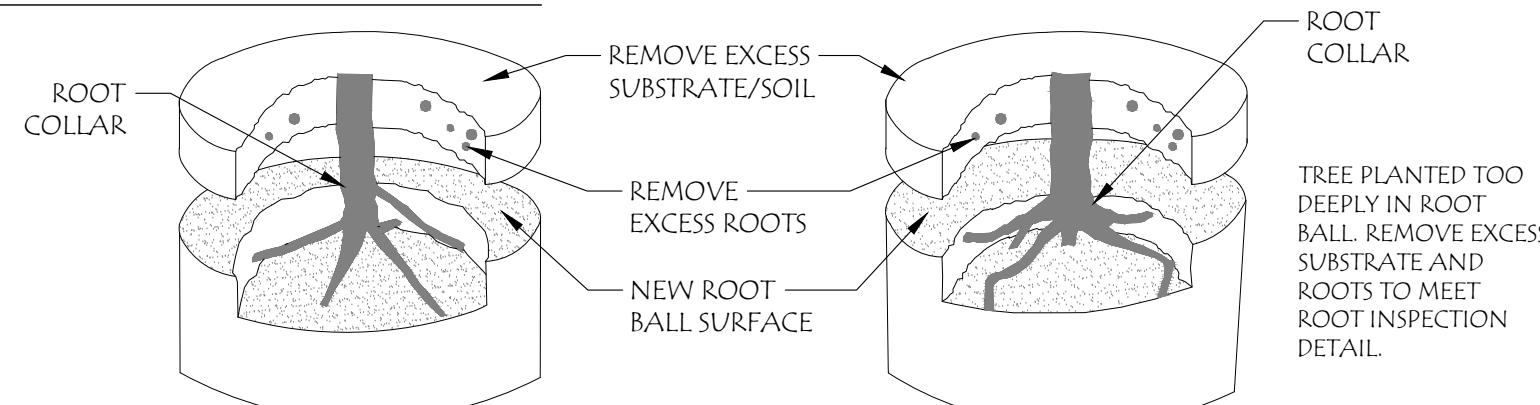
URBAN TREE FOUNDATION™ 2014 OPEN SOURCE TREE 101016

**2 ROOT OBSERVATIONS: CONTAINER**

SCALE: NTS

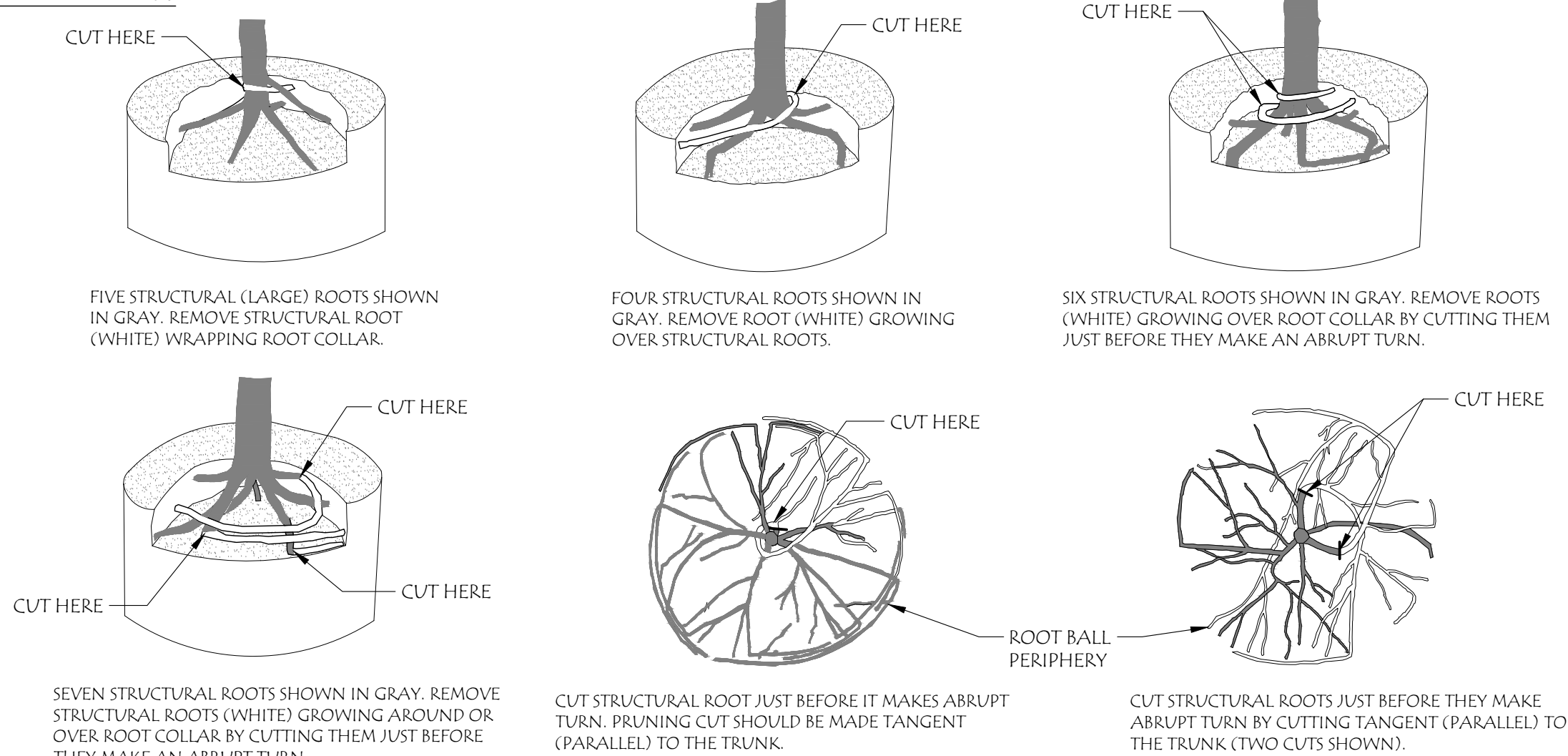
URBAN TREE FOUNDATION™ 2014 OPEN SOURCE TREE 101016

**STEP 1: REMOVE SUBSTRATE OVER ROOT COLLAR**



TREE PLANTED TOO DEEPLY IN ROOT BALL. REMOVE EXCESS SUBSTRATE AND ROOTS TO MEET ROOT INSPECTION DETAIL.

**STEP 2: REMOVE DEFECTS**



FIVE STRUCTURAL (LARGE) ROOTS SHOWN IN GRAY. REMOVE STRUCTURAL ROOT (WHITE) WRAPPING ROOT COLLAR.

FOUR STRUCTURAL ROOTS SHOWN IN GRAY. REMOVE ROOT (WHITE) GROWING OVER STRUCTURAL ROOTS.

SIX STRUCTURAL ROOTS SHOWN IN GRAY. REMOVE ROOTS (WHITE) GROWING OVER ROOT COLLAR BY CUTTING THEM JUST BEFORE THEY MAKE AN ABRUPT TURN.

SEVEN STRUCTURAL ROOTS SHOWN IN GRAY. REMOVE STRUCTURAL ROOTS (WHITE) GROWING AROUND OR OVER ROOT COLLAR BY CUTTING THEM JUST BEFORE THEY MAKE AN ABRUPT TURN.

CUT STRUCTURAL ROOT JUST BEFORE IT MAKES ABRUPT TURN. PRUNING CUT SHOULD BE MADE TANGENT (PARALLEL) TO THE TRUNK.

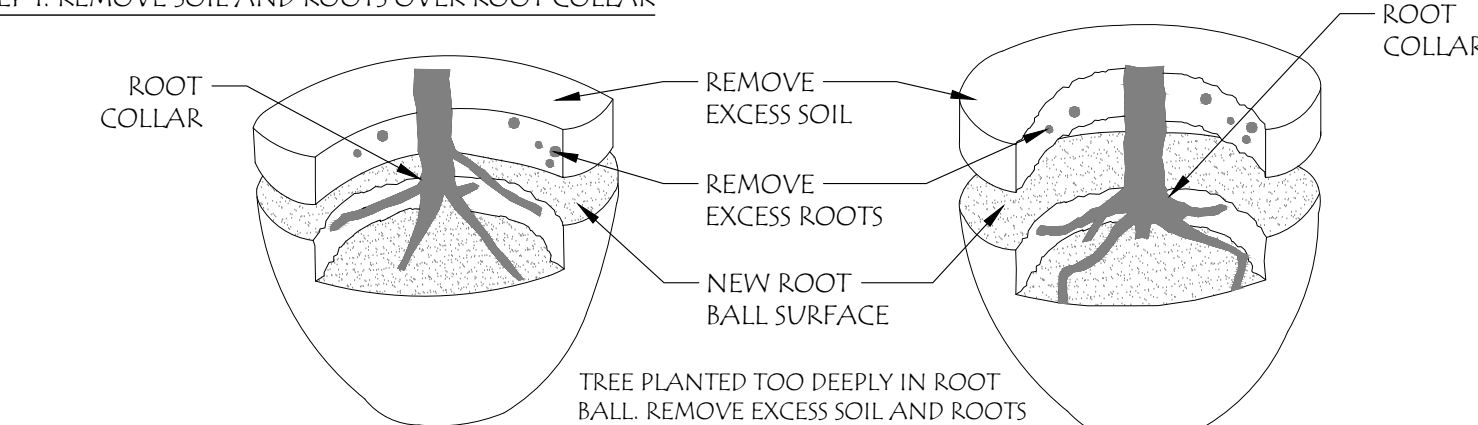
CUT STRUCTURAL ROOTS JUST BEFORE THEY MAKE ABRUPT TURN BY CUTTING TANGENT (PARALLEL) TO THE TRUNK (TWO CUTS SHOWN).

NOTES:  
1- ALL TREES SHOWN ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.  
2- FIRST STEP 1, THEN STEP 2. ROOTS AND SOIL MAY BE REMOVED DURING THE CORRECTION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER CORRECTION HAS BEEN COMPLETED. DO NOT COVER ROOT FLARE.  
3- TREES SHALL MEET ROOT OBSERVATIONS DETAIL FOLLOWING CORRECTION.  
4- SMALL ROOTS (1/4" OR LESS) ON THE PERIPHERY OF THE ROOT BALL ARE COMMON WITH CONTAINER PLANT PRODUCTION. THESE SMALL ROOTS ARE NOT DEFINED AS "DEFECTS" AND CAN BE ADDRESSED AT THE TIME OF INSTALLATION.

**3 ROOT CORRECTION: CONTAINER**

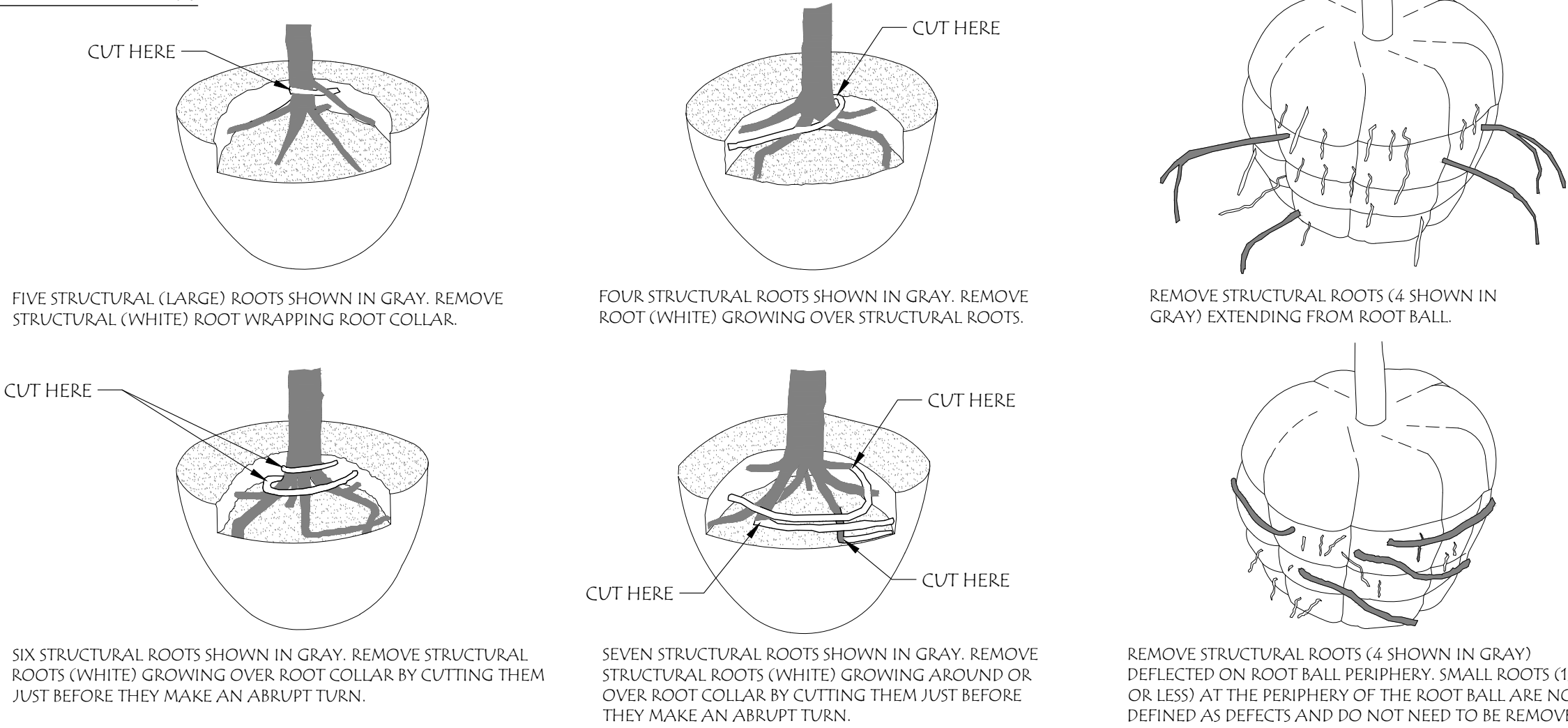
SCALE: NTS

**STEP 1: REMOVE SOIL AND ROOTS OVER ROOT COLLAR**



TREE PLANTED TOO DEEPLY IN ROOT BALL. REMOVE EXCESS SOIL AND ROOTS TO MEET ROOT INSPECTION DETAIL.

**STEP 2: REMOVE DEFECTS**



FIVE STRUCTURAL (LARGE) ROOTS SHOWN IN GRAY. REMOVE STRUCTURAL (WHITE) ROOT WRAPPING ROOT COLLAR.

FOUR STRUCTURAL ROOTS SHOWN IN GRAY. REMOVE ROOT (WHITE) GROWING OVER STRUCTURAL ROOTS.

REMOVE STRUCTURAL ROOTS (4 SHOWN IN GRAY) EXTENDING FROM ROOT BALL.

SIX STRUCTURAL ROOTS SHOWN IN GRAY. REMOVE STRUCTURAL ROOTS (WHITE) GROWING OVER ROOT COLLAR BY CUTTING THEM JUST BEFORE THEY MAKE AN ABRUPT TURN.

SEVEN STRUCTURAL ROOTS SHOWN IN GRAY. REMOVE STRUCTURAL ROOTS (WHITE) GROWING AROUND OR OVER ROOT COLLAR BY CUTTING THEM JUST BEFORE THEY MAKE AN ABRUPT TURN.

REMOVE STRUCTURAL ROOTS (4 SHOWN IN GRAY) DEFLECTED ON ROOT BALL PERIPHERY. SMALL ROOTS (1/4" OR LESS) AT THE PERIPHERY OF THE ROOT BALL ARE NOT DEFINED AS DEFECTS AND DO NOT NEED TO BE REMOVED.

NOTES:  
1- ALL TREES SHOWN ARE REJECTABLE UNLESS THEY UNDERGO RECOMMENDED CORRECTION.  
2- FIRST STEP 1, THEN STEP 2. ADJUST HOLE DEPTH TO ALLOW FOR THE REMOVAL OF EXCESS SOIL AND ROOTS OVER THE ROOT COLLAR.  
3- ROOTS AND SOIL MAY BE REMOVED DURING THE CORRECTION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER THE CORRECTION HAS BEEN COMPLETED. DO NOT COVER ROOT FLARE.  
4- TREES SHALL PASS ROOT OBSERVATIONS DETAIL FOLLOWING CORRECTION.

**4 ROOT CORRECTION: BALLED & BURLAPPED**

SCALE: NTS

**GENERAL NOTES:**

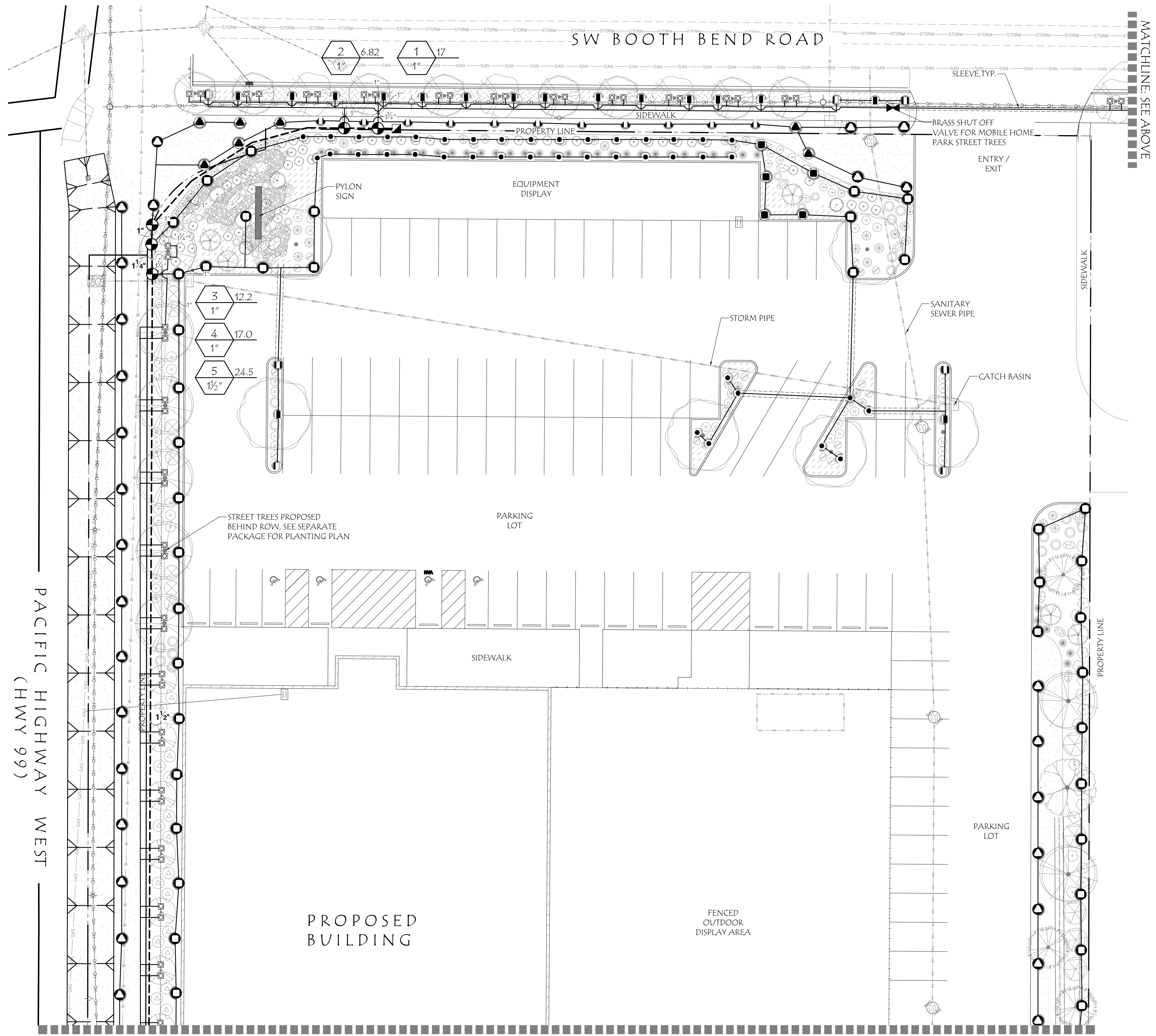
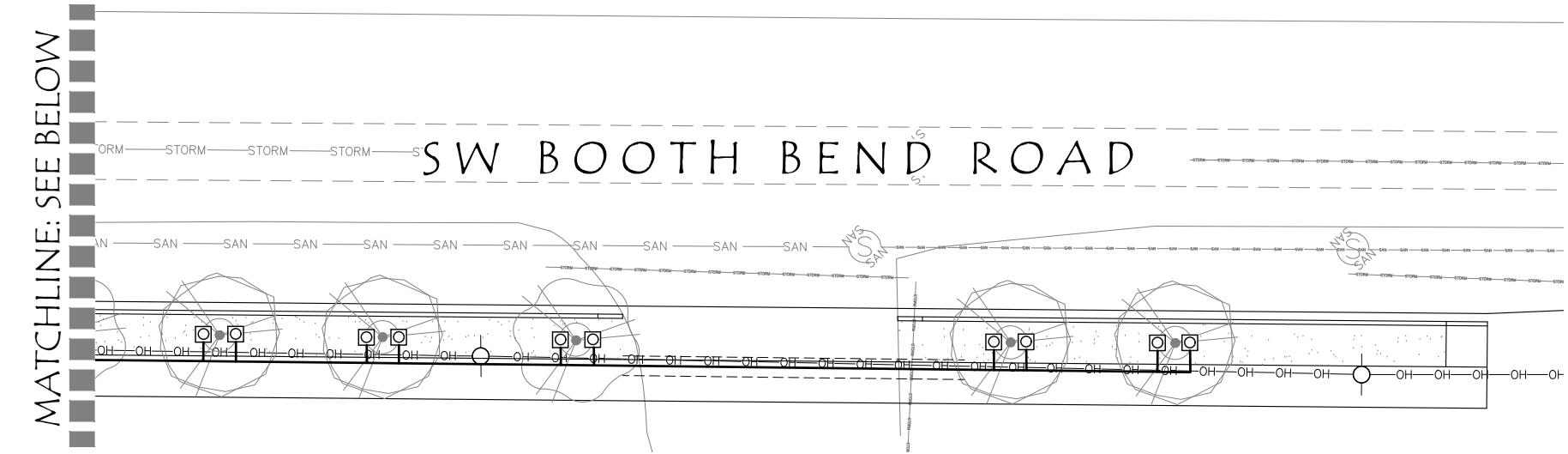
1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. PLANTING PLAN SEE SHEETS L1.1 AND L1.2.



**REVISIONS**

# DATE NOTES INITIALS





**LEGEND:**

- EXISTING DECIDUOUS TREE TO REMAIN, SEE ARBORIST'S TREE PRESERVATION PLAN
- EXISTING CONIFER TREE TO REMAIN, SEE ARBORIST'S TREE PRESERVATION PLAN
- LANDSCAPE BOULDERS, 1'-3" DIA.
- 2"-6" ROUND ROCK, GRAY, 6" DEPTH
- VALVE CALLOUT**
  - Valve Number
  - Valve Flow
  - Valve Size

**GENERAL NOTES:**

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
3. SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND STORMWATER.
4. STREET TREES SEE SEPARATE PUBLIC IMPROVEMENT LANDSCAPE PACKAGES.
5. IRRIGATION SCHEDULE SEE THIS SHEET.
6. IRRIGATION POINT OF CONNECTION, NOTES, AND VALVE SCHEDULE SEE SHEET L2.2.
7. IRRIGATION DETAILS SEE SHEET L2.3.
8. PLANTING PLAN SEE SHEET L1.1 AND L1.2.

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY*	PSI
	HUNTER MP STRIP PROS-04-PRS40-CV-F TURF ROTATOR, 4IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	11	40
	HUNTER MP1000 PROS-04-PRS40-CV-F TURF ROTATOR, 4IN. POP-UP WITH CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	7	40
	HUNTER MP2000 PROS-04-PRS40-CV-F TURF ROTATOR, 4IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	50	40
	HUNTER MP STRIP PROS-06-PRS40-CV-F SHRUB ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP ON PRS40 BODY.	30	40
	HUNTER MP1000 PROS-06-PRS40-CV-F SHRUB ROTATOR, 6IN. POP-UP WITH CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC ON PRS40 BODY.	6	40
	HUNTER MP2000 PROS-06-PRS40-CV-F SHRUB ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	13	40
	HUNTER MP2000 PROS-06-PRS40-CV-F SHRUB ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC ON PRS40 BODY.	64	40
	HUNTER MP800SR PROS-06-PRS40-CV-F SHRUB ROTATOR, 6IN. POP-UP WITH CHECK VALVE, FLOGUARD, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)	40	40
	HUNTER RZWS-SLEEVE-18-CV 18IN. LONG RZWS WITH FILTER FABRIC SLEEVE, .25 GPM OR .50 GPM BUBBLER OPTIONS, CHECK VALVE, 1/2IN. SWING JOINT FOR CONNECTION TO 1/2IN. PIPE	82	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY*
	HUNTER ICZ-101-40 DRIP CONTROL ZONE KIT. 11N. ICV GLOBE VALVE WITH 11N. HY100 FILTER SYSTEM. PRESSURE REGULATION: 40PSI. FLOW RANGE: 2 GPM TO 20 GPM. 150 MESH STAINLESS STEEL SCREEN.	1
	HUNTER HE-20-B WITH MPM-050 POINT SOURCE DRIP EMITTER WITH SELF PIERCING BARB. COLOR CODED EMITTERS FOR FLOW RATES OF 0.5 GPH, 1.0 GPH, 2.0 GPH, 4.0 GPH, AND 6.0 GPH. CAN BE INSERTED INTO 1/2IN. AND 3/4IN. TUBING AND HAVE PRESSURE COMPENSATING FROM 15 PSI-50 PSI. OPTIONAL DIFFUSER CAP (HE) AVAILABLE.	66 HE-B 17 MPM

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY*
	HUNTER ICV-G 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	11
	HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	6
	SHUT OFF VALVE BRASS, LINE SIZE	2
	ZURN 950XL 1" DOUBLE CHECK VALVE ASSEMBLY	1
	HUNTER P2C-400 WITH (03) PCM-300 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, 13-STATION EXPANDED MODULE CONTROLLER, 120 VAC, OUTDOOR/INDOOR MODEL	1
	WATER METER 1" BY OTHERS	1
	1/4" DRIP EMITTER TUBING	525 LF
	IRRIGATION LATERAL LINE: PVC CLASS 200 SPR 21	5,500 LF.
	IRRIGATION MAINLINE: PVC SCHEDULE 40	945 LF.
	PIPE SLEEVE: 4" PVC SCHEDULE 40	260 LF.

\*QUANTITIES FOR ESTIMATING PURPOSES FOR ONLY

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**TRACTOR SUPPLY CO.**

900 SW BOOTH BEND ROAD  
MCMINNVILLE, OREGON

REGISTERED  
643  
*Laura A. Antonson*  
LAURA A. ANTONSON  
OREGON  
11/16/2007  
LANDSCAPE ARCHITECT

**IRRIGATION PLAN AND SCHEDULE**

SCALE: 1" = 20' - 0"

0' 10' 20' 40'

SCALE

DECEMBER 16TH, 2024

**REVISIONS**

#	DATE	NOTES	INITIALS

**L2.1**

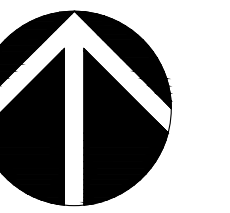
SHEET 6 OF 8

PROJECT #: 1699C

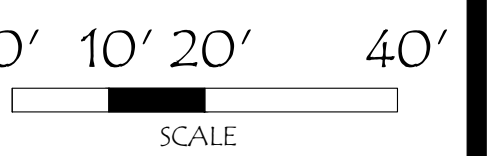




IRRIGATION PLAN AND NOTES



SCALE: 1" = 20' - 0"



DECEMBER 16TH, 2024

REVISIONS

#	DATE	NOTES	INITIALS
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L2.2

SHEET 7 OF 8

GENERAL NOTES:

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN.
3. SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, AND STORMWATER.
4. STREET TREES SEE SEPARATE PUBLIC IMPROVEMENT LANDSCAPE PACKAGES.
5. IRRIGATION SCHEDULE SEE THIS SHEET.
6. IRRIGATION POINT OF CONNECTION, NOTES, AND VALVE SCHEDULE SEE SHEET L2.2.
7. IRRIGATION DETAILS SEE SHEET L2.3.
8. PLANTING PLAN SEE SHEET L1.1 AND L1.2.

LEGEND:

- EXISTING DECIDUOUS TREE TO REMAIN. SEE ARBORIST'S TREE PRESERVATION PLAN
- EXISTING CONIFER TREE TO REMAIN. SEE ARBORIST'S TREE PRESERVATION PLAN
- LANDSCAPE BOULDERS, 1'-3' DIA.
- 2"-6" ROUND ROCK, GRAY, 6" DEPTH
- VALVE CALLOUT**  
 Valve Number  
 Valve Flow  
 Valve Size

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	HUNTER ICV-G	1"	STREET TREE BUBBLER	17	467.6	36.3	44.8	1.92 in/h
2	HUNTER ICV-G	1"	SHRUB ROTARY	6.82	456.0	43.1	50.8	0.53 in/h
3	HUNTER ICV-G	1"	TURF ROTARY	12.25	378.7	45.0	53.7	0.31 in/h
4	HUNTER ICV-G	1"	SHRUB ROTARY	16.97	371.9	48.9	59.6	0.32 in/h
5	HUNTER ICV-G	1-1/2"	SHRUB ROTARY	24.54	361.7	44.7	60.7	0.24 in/h
6	HUNTER ICV-G	1-1/2"	TURF ROTARY	22.87	58.6	46.5	56.1	0.2 in/h
7	HUNTER ICV-G	1-1/2"	STREET TREE BUBBLER	24	65.6	37.2	47.4	1.84 in/h
8	HUNTER ICV-G	1"	SHRUB ROTARY	11.59	72.2	44.7	51.5	0.25 in/h
9	HUNTER ICV-G	1"	STORMWATER	10.35	187.2	44.4	53.1	0.37 in/h
10	HUNTER ICZ-101-40	1"	DRIP EMITTER	2.2	194.4	33.3	39.2	1.02 in/h
11	HUNTER ICV-G	1"	SHRUB ROTARY	15.59	410.8	47.4	60.5	0.22 in/h
12	HUNTER ICV-G	1"	TURF ROTARY	9.72	417.5	44.3	53.3	0.19 in/h
				Common Wire	941.0			

CRITICAL ANALYSIS

WATER SOURCE INFORMATION:

FLOW AVAILABLE: \_\_\_\_\_  
 WATER METER SIZE: 1"  
 FLOW AVAILABLE: 37.5 GPM

PRESSURE AVAILABLE:  
 STATIC PRESSURE AT POC: 75 PSI  
 ELEVATION CHANGE: 5.00 FT  
 SERVICE LINE SIZE: 3"  
 LENGTH OF SERVICE LINE: 20 FT  
 PRESSURE AVAILABLE: 73 PSI

DESIGN ANALYSIS:  
 MAXIMUM STATION FLOW: 24.54 GPM  
 FLOW AVAILABLE AT POC: 37.5 GPM  
 RESIDUAL FLOW AVAILABLE: 12.96 GPM

CRITICAL STATION:  
 DESIGN PRESSURE: 5  
 FRICTION LOSS: 40 PSI  
 FITTINGS LOSS: 2.92 PSI  
 ELEVATION LOSS: 0.29 PSI  
 LOSS THROUGH VALVE: 0 PSI  
 PRESSURE REQ. AT CRITICAL STATION: 1.5 PSI  
 LOSS FOR FITTINGS: 44.7 PSI  
 LOSS FOR MAIN LINE: 0.61 PSI  
 LOSS FOR POC TO VALVE ELEVATION: 6.07 PSI  
 LOSS FOR BACKFLOW: 0 PSI  
 LOSS FOR WATER METER: 5.75 PSI  
 CRITICAL STATION PRESSURE AT POC: 3.56 PSI  
 PRESSURE AVAILABLE: 60.7 PSI  
 RESIDUAL PRESSURE AVAILABLE: 73 PSI  
 RESIDUAL PRESSURE AVAILABLE: 12.3 PSI

PVC PIPE SIZING SCHEDULE:

PIPE SIZING IS BASED ON GALLONS PER MINUTE (GPM) DEMAND DOWNLINE. FLOW VELOCITIES IN PIPE SHALL NOT EXCEED 5 FEET PER SECOND.

MAX. GPM, CLASS 200 PVC PIPE

- 3/4" = 10 GPM
- 1" = 16 GPM
- 1 1/4" = 26 GPM
- 1 1/2" = 35 GPM
- 2" = 55 GPM
- 2 1/2" = 80 GPM
- 3" = 120 GPM
- 4" = 200 GPM

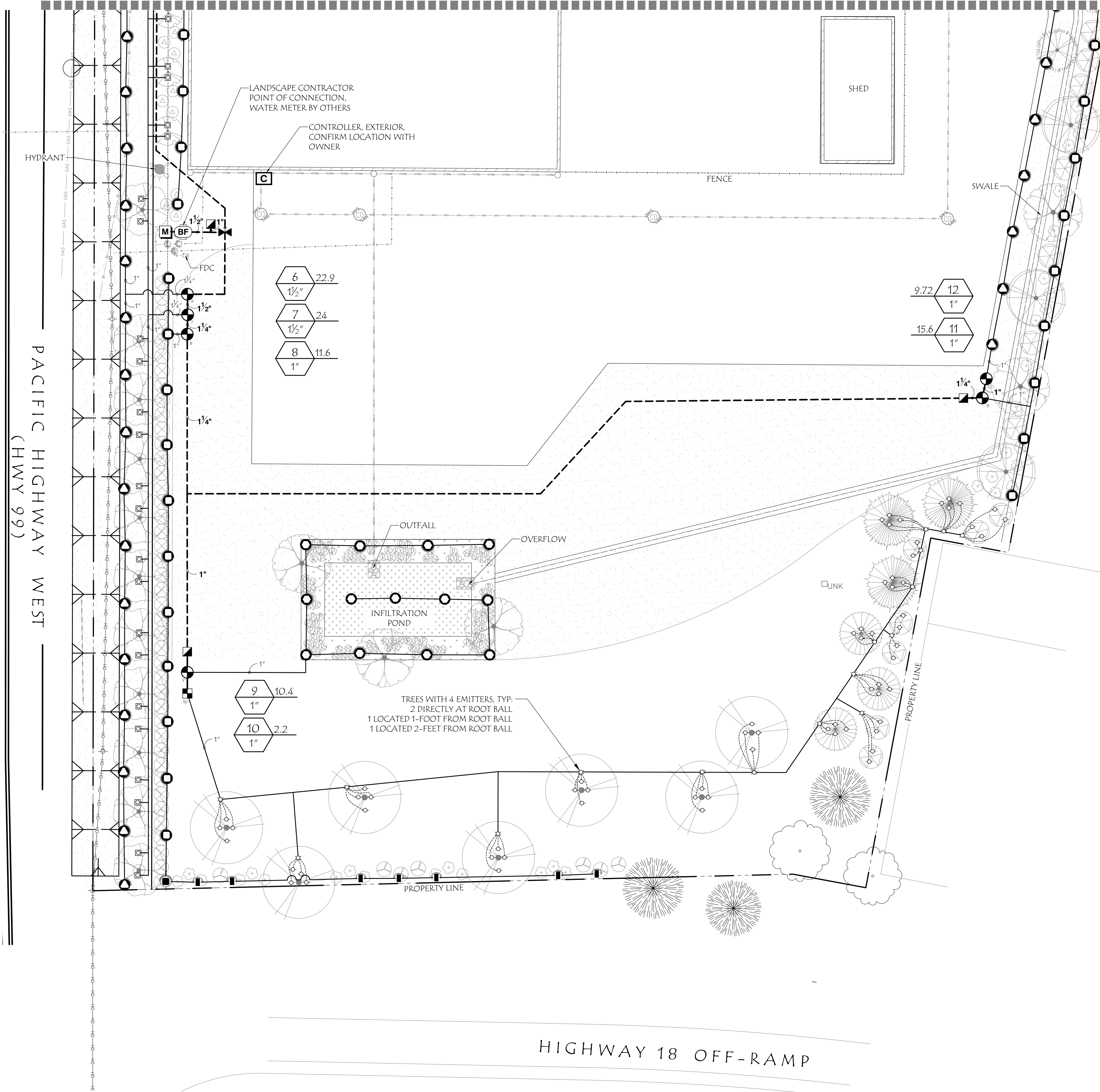
MAX. GPM, SCHEDULE 40 PVC PIPE

- 3/4" = 8 GPM
- 1" = 12 GPM
- 1 1/4" = 22 GPM
- 1 1/2" = 30 GPM
- 2" = 50 GPM
- 2 1/2" = 70 GPM
- 3" = 110 GPM
- 4" = 190 GPM

IRRIGATION NOTES:

1. IRRIGATION SYSTEM DESIGN BASED ON 37 GPM AT 75 PSI. IF METER SIZE, FLOW (GPM) AND/OR STATIC PRESSURE (PSI) VARY, CONTACT LANDSCAPE ARCHITECT.
2. IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION (POC) ONLY. IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
3. THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5-FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
4. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL AND PLUMBING CODES.
5. IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION PER LOCAL CODE.
6. LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWINGS IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY. PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. ADJUST SLEEVE LOCATIONS AS NEEDED. LOCATE VALVES AT EDGE OF PLANT BEDS OR LAWN FOR GOOD ACCESS. PLACE VALVES INSIDE ROW LIMITS IF POSSIBLE. FIELD VERIFY.
7. INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH A MINIMUM 12" OF COVER BASED ON FINISH GRADES. BACKFILL TRENCHES WITH NATIVE ON-SITE SOIL, FREE OF ROCK AND OTHER DELETERIOUS MATERIAL IN 4" LIFTS, TAMPING FIRMLY TO ENSURE COMPACTION. MATCH GRADE TO EXISTING PLANTER AREAS. IRRIGATION SLEEVES AT DRIVING SURFACES TO BE 24" DEEP. BACKFILL WITH NATIVE ON-SITE SOIL, FREE OF ROCK AND OTHER DELETERIOUS MATERIAL IN 4" LIFTS, TAMPING FIRMLY TO ENSURE COMPACTION. SEE CIVIL DRAWINGS FOR PAVEMENT DETAILS. SHARE TRENCHES WHENEVER POSSIBLE.
8. USE IN-LINE CHECK VALVES TO AVOID LOW LINE DRAINAGE.
9. PLACE ISOLATION VALVES AT POINT OF CONNECTION AND EACH VALVE BOX.
10. LAWN ROTATORS: 4" POP-UPS IN LAWN AREAS. SEE HEAD TYPES IN LEGEND. KEEP 2" FROM PAVING AND 4" FROM WALLS.
11. SHRUB ROTATORS: 6" POP-UPS IN PLANTER AREAS. SEE HEAD TYPES IN LEGEND. KEEP 2" FROM PAVING AND 4" FROM WALLS.
12. STORMWATER SHRUB ROTATORS: FIXED ROTATORS WITH 18" HEIGHT STAKES.
13. TREE BUBBLERS: KEEP STREET TREE BUBBLERS ON INDEPENDENT ZONE.
14. DRIP EMITTERS: 4 EMITTERS PER TREE, LOCATE (2) DIRECTLY ON ROOT BALL, LOCATE (1) 1' FROM EDGE OF ROOT BALL, LOCATE (1) 2' FROM EDGE OF ROOT BALL. 2 EMITTERS PER SHRUB, LOCATE (1) DIRECTLY ON ROOT BALL, LOCATE (1) 1' FROM ROOT BALL. STAKE EMITTER TUBING FROM MULTI-PORT MANIFOLD.
15. CONTROLLER: EXTERIOR. VERIFY LOCATION WITH OWNER.
16. ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTORS AND BE IN A VALVE OR SPLICE BOX.
17. ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
18. CONTRACTOR TO PROVIDE AS-BUILTS TO CLIENT AND INCLUDE ZONE INFORMATION IN CONTROLLER BOX.
19. THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER, AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...).

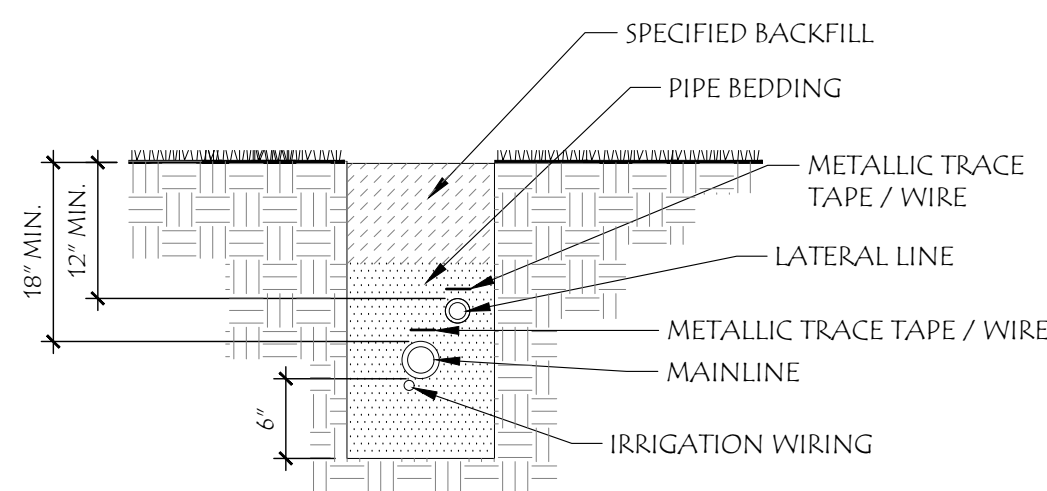
MATCHLINE: SEE SHEET L2.1



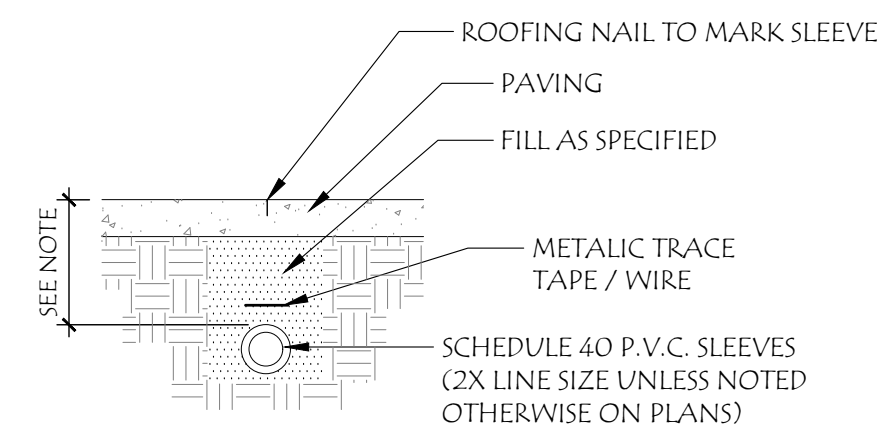
PACIFIC HIGHWAY WEST  
(HWY 99)

HIGHWAY 18 OFF-RAMP



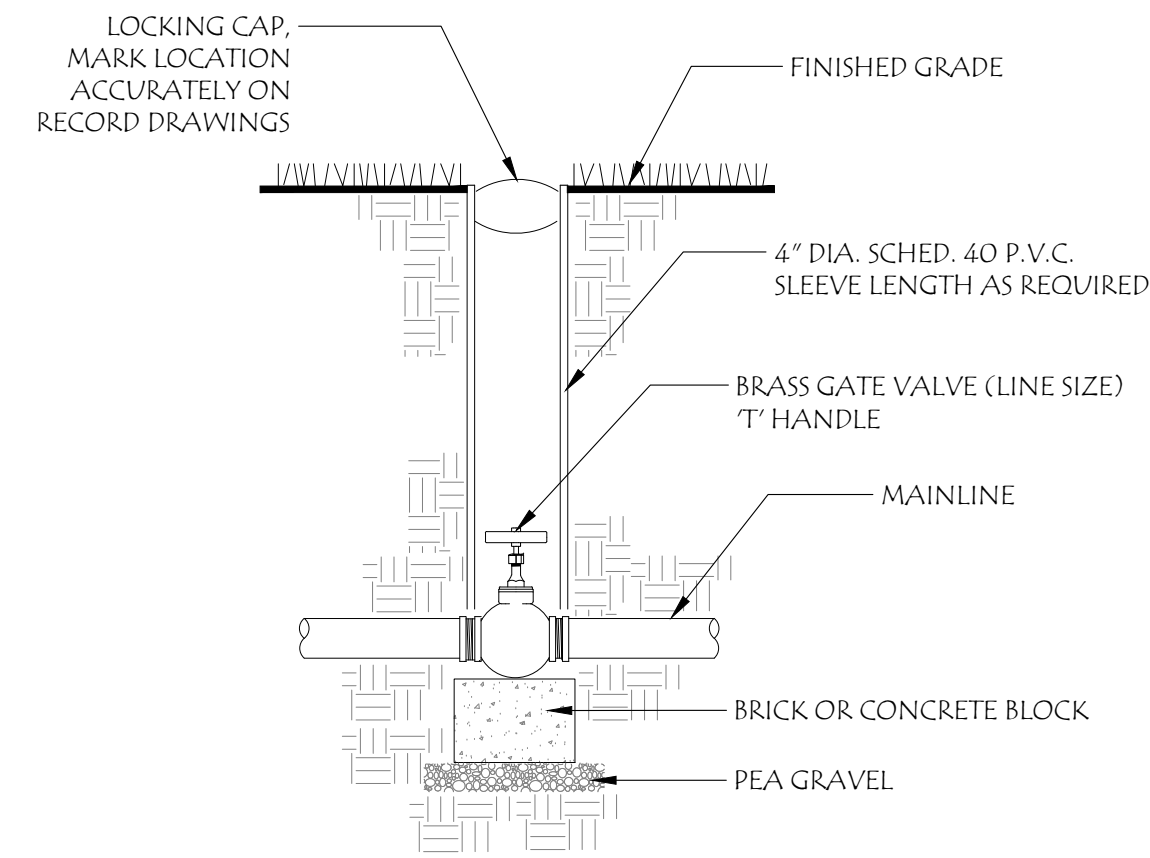


**1** TYPICAL TRENCHING  
SCALE: NTS

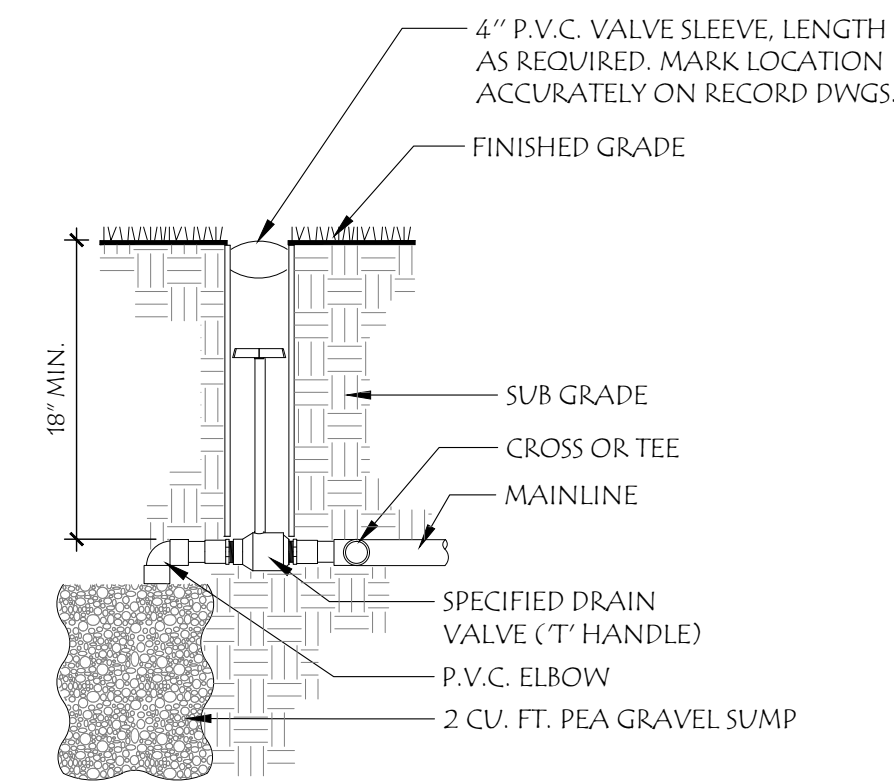


- NOTES:  
 1. EXTEND IRRIGATION SLEEVE 6" BEYOND EACH SIDE OF PAVING.  
 2. 18" MIN. DEPTH OF MAINLINE  
 3. 14" MIN. DEPTH OF LATERAL @ PAVING  
 4. 24" MIN. DEPTH OF LINES UNDER DRIVING SURFACES

**2** IRRIGATION SLEEVES  
SCALE: NTS

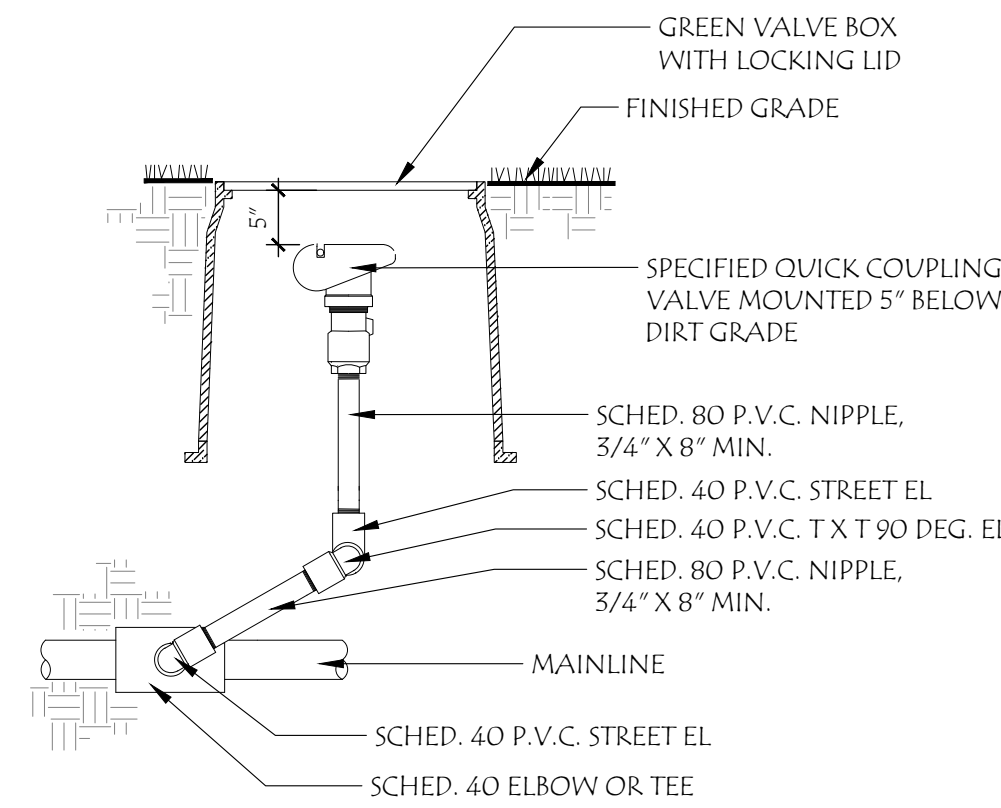


**3** BRASS SHUT OFF VALVE  
SCALE: NTS



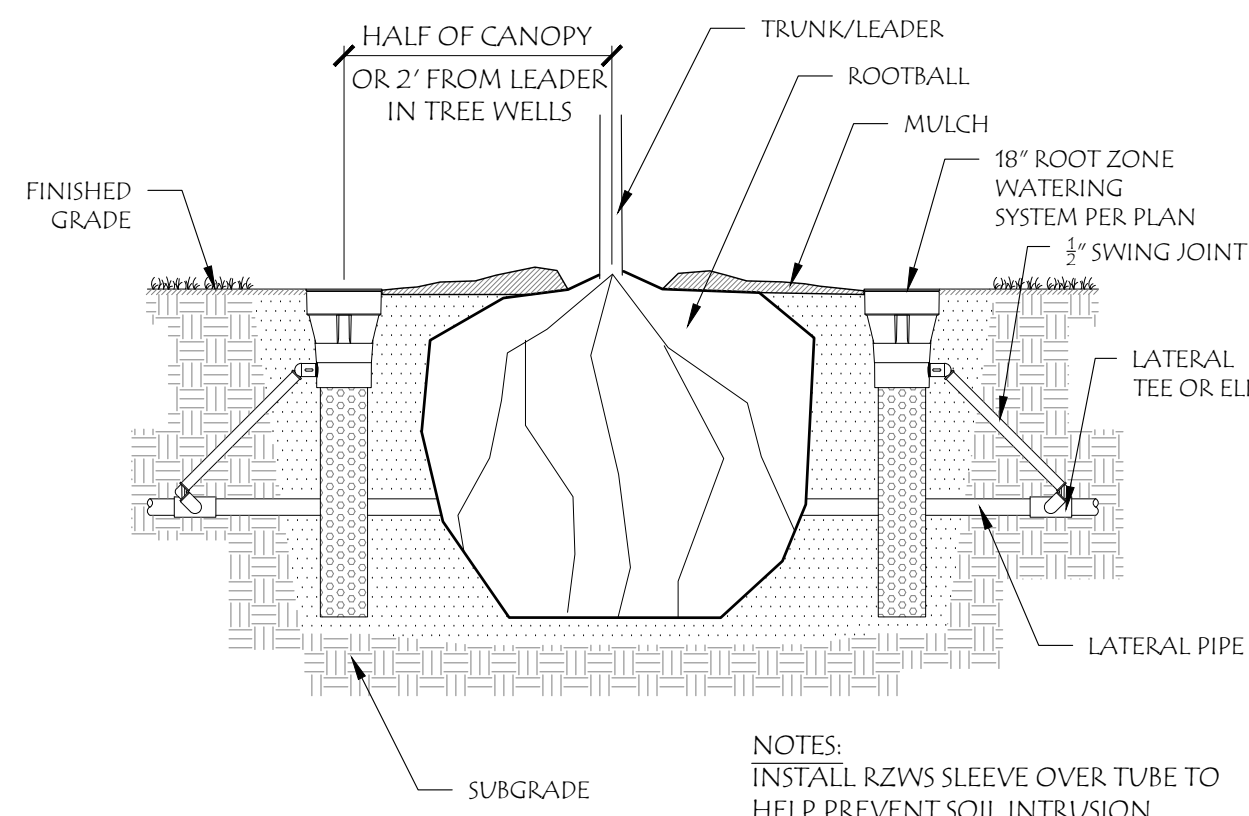
NOTE:  
 MANUAL DRAIN VALVES ARE TO BE PLACED AT ALL LOW POINTS IN MAINLINE THROUGHOUT THE SITE.

**4** MANUAL DRAIN VALVE  
SCALE: NTS

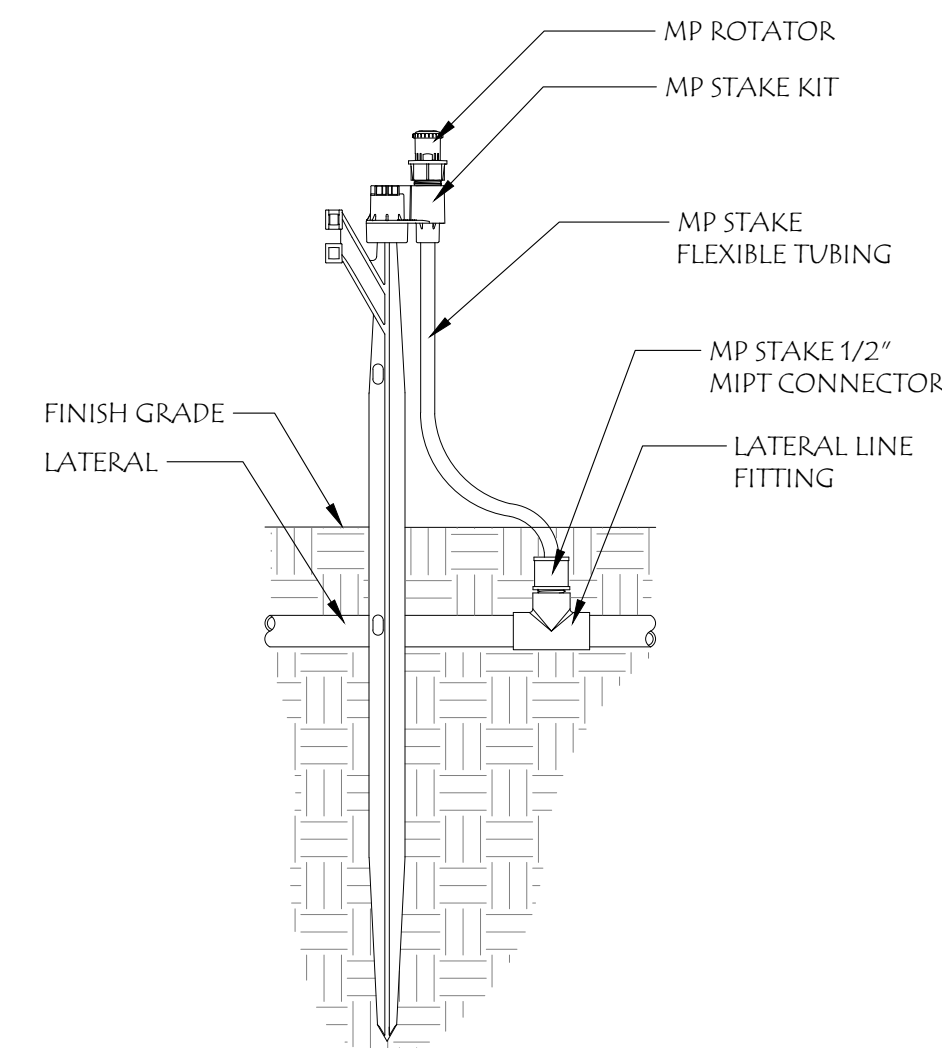


NOTE:  
 SPACE 100' O.C. ALONG THE MAINLINE AND AS NOTED ON PLAN.

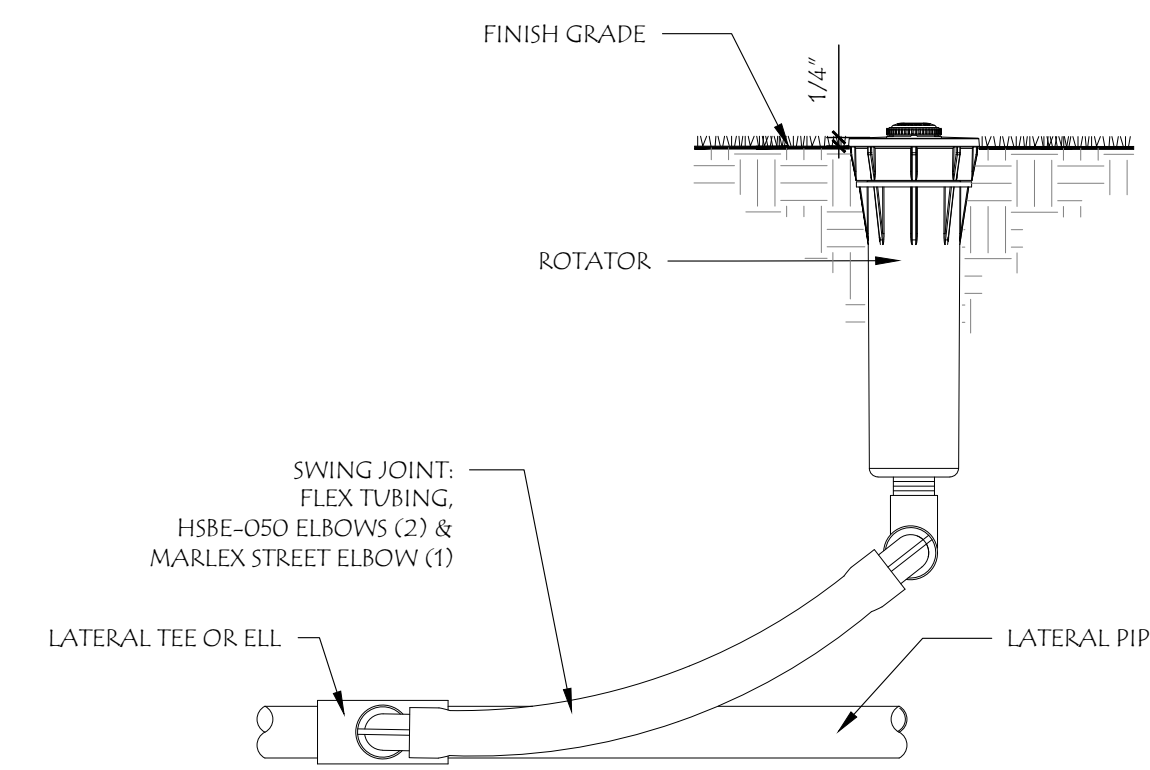
**5** QUICK COUPLER VALVE  
SCALE: NTS



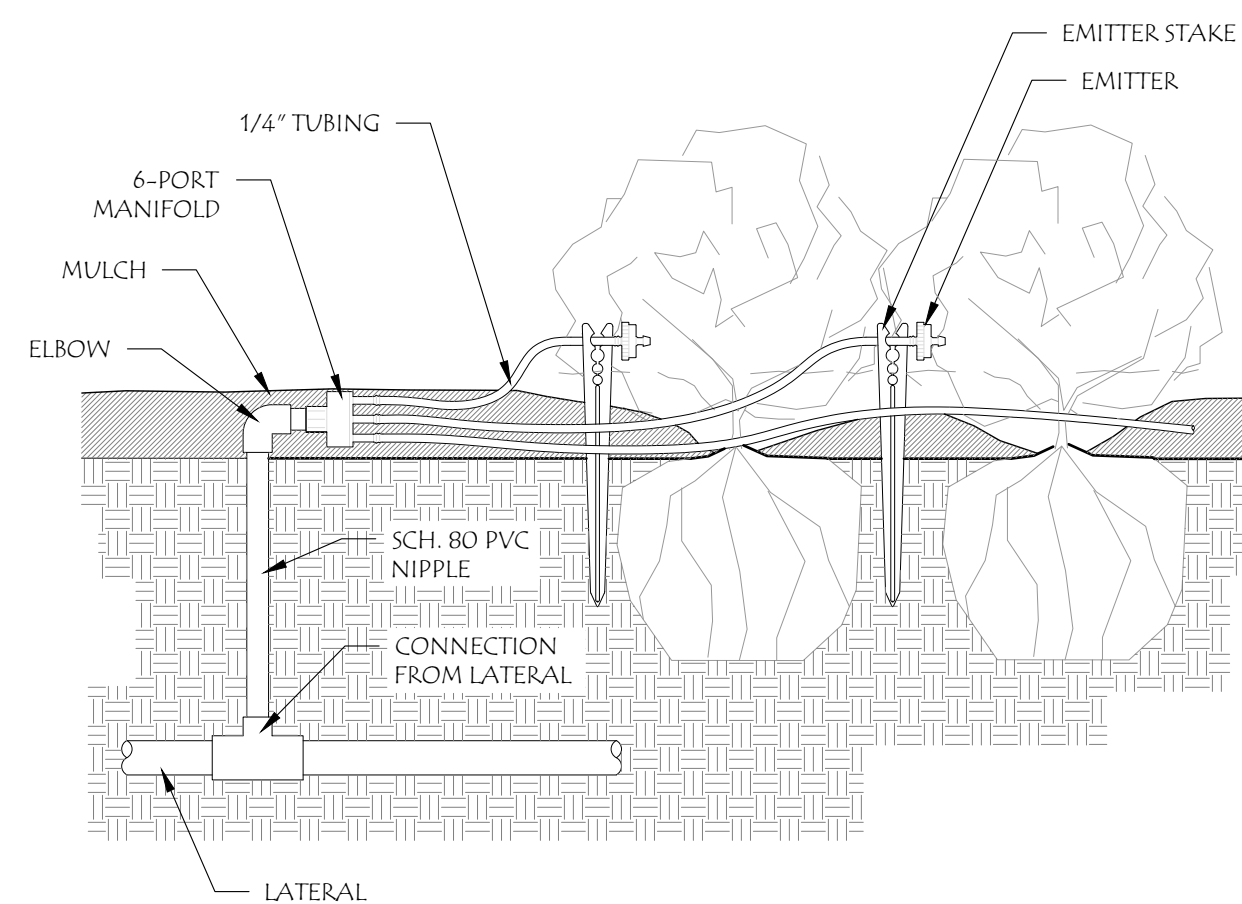
**6** 18" ROOT ZONE WATERING  
SCALE: NTS



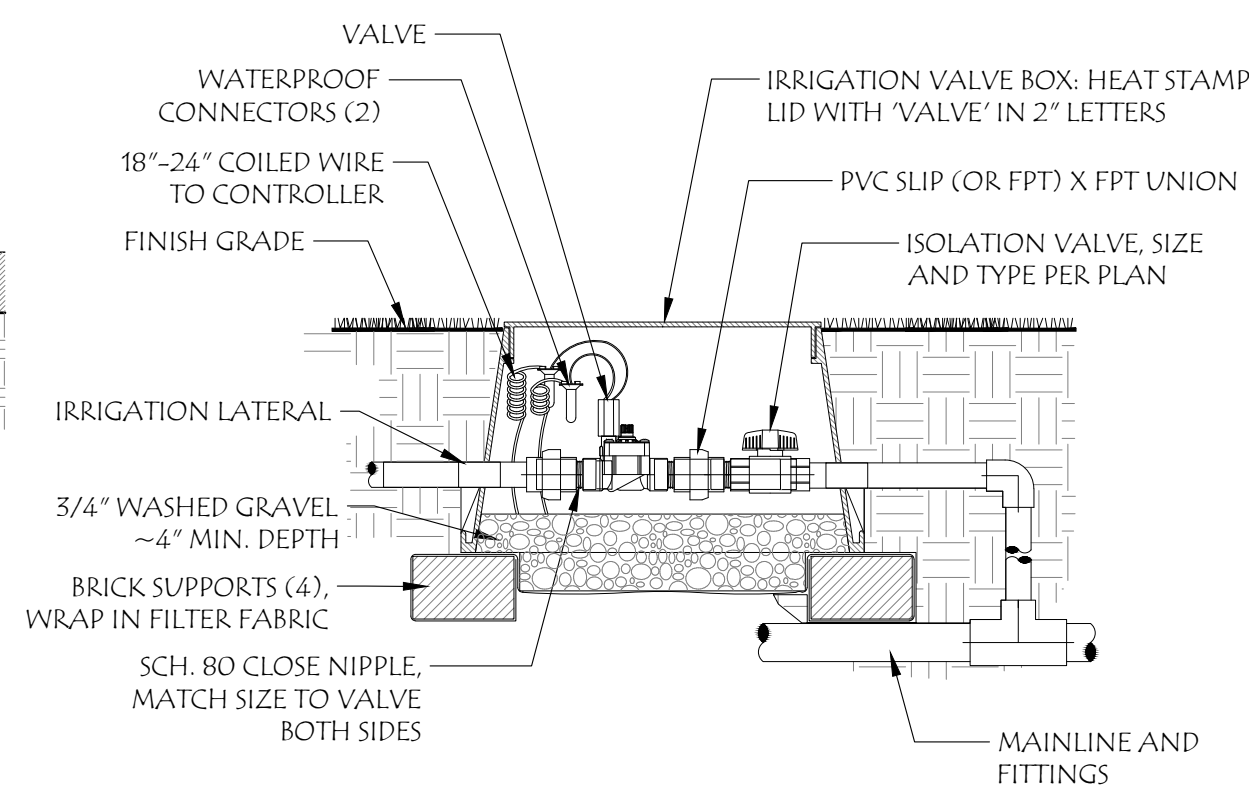
**7** FIXED MP ROTATOR STAKED  
SCALE: NTS



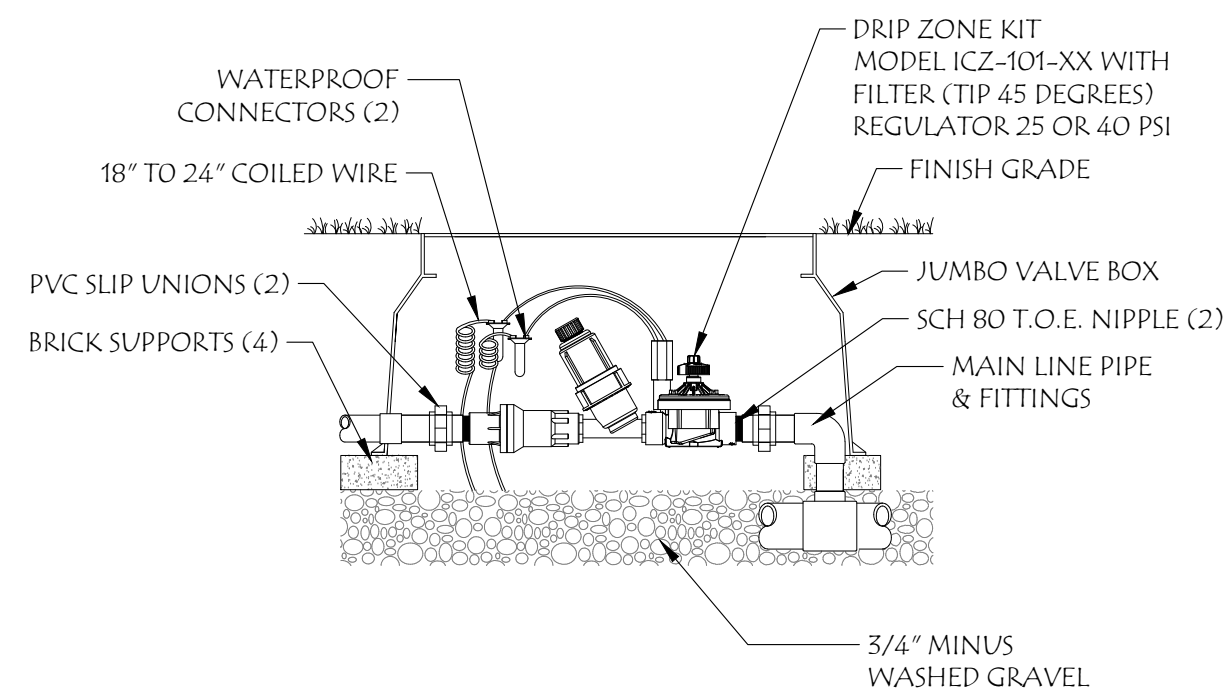
**8** MP ROTATOR SWING JOINT  
SCALE: NTS



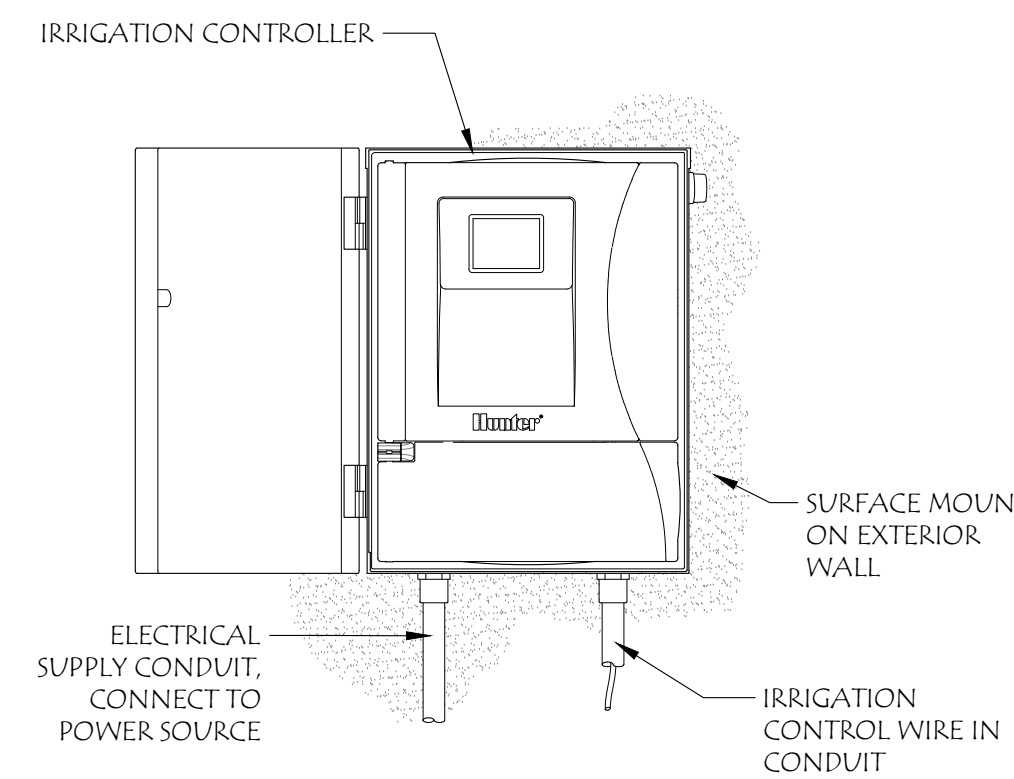
**00** MANIFOLD AND EMITTERS  
SCALE: NTS



**10** CONTROL ZONE VALVE  
SCALE: NTS



**11** DRIP CONTROL VALVE  
SCALE: NTS



- NOTES:  
 1. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C. (INTERNATIONAL MODEL)  
 2. MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 VAC POWER SOURCE.

**12** HCC WALL MOUNT CONTROLLER, METAL ENCLOSURE  
SCALE: NTS

GENERAL NOTES:

1. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. SEE CIVIL DRAWINGS. CALL BEFORE YOU DIG. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
2. IRRIGATION PLAN SEE SHEETS L2.1 AND L2.2.
3. IRRIGATION SCHEDULE SEE SHEET L2.1.
4. IRRIGATION NOTES SEE SHEET L2.2.

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 laurusdesigns.com

TRACTOR SUPPLY CO.

900 SW BOOTH BEND ROAD  
 MCMINNVILLE, OREGON



IRRIGATION DETAILS

DECEMBER 16TH, 2024

REVISIONS

#	DATE	NOTES	INITIALS
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L2.3

SHEET 8 OF 8

PROJECT #: 1699C  
 11/16/2024



Project Name

TRACTOR SUPPLY

Approval Request

LANDSCAPE NARRATIVE

Project Location

TAX LOT 2500  
SECTION 29 T4S R4W W.M.  
YAMHILL COUNTY

Development Team

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[www.welkinpc.com](http://www.welkinpc.com)



I.	PROJECT DETAILS	3
II.	SUMMARY DESCRIPTION	3
III.	TITLE 17.57 LANDSCAPING	3
	17.57.010 Purpose and Intent.	3
	17.57.030 Zones Where Required.	4
	17.57.040 Specific Uses Requiring Landscaping.	5
	17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.	5
	17.57.060 Plans - Information to be Included.	6
	17.57.070 Area Determination - Planning Factors.	6
	17.57.080 Central Business District.	9
	17.57.090 Credit for Work in Public Right-of-Way.	10
	17.57.100 Appeal - Planning Commission to Act When.	10
IV.	TITLE 17.58 TREES	11
	17.58.010 Purpose.	11
	17.58.020 Applicability.	11
	17.58.030 Definitions.	12
	17.58.040 Tree Removal/Replacement.	12
	17.58.045 Downtown Trees.	14
	17.58.050 Application Review and Criteria.	14
	17.58.060 Permit Exemptions.	16
	17.58.070 Tree Topping.	17
	17.58.075 Protection of Trees.	17
	17.58.080 Street Tree Planting – When Required.	18
	17.58.090 Street Tree Standards.	18
	17.58.100 Street Tree plans.	20
	17.58.110 Street Tree Planting.	20

## I. PROJECT DETAILS

Applicant seeks approval for new Tractor Supply Building, Fenced Outdoor Display Area, Permanent Trailer Equipment Display Area and Park Lot for property described as follows:

**County:** Yamhill County  
**Tax Map:** Section 29 T4S R4W W.M.  
**Tax Lot Number:** 2500  
**Zoning:** C-3 (General Commercial zone)  
**Parcel Size:** 4.49 acres

## II. SUMMARY DESCRIPTION

Applicant seeks on behalf of Atwater Group approval to build a 21,930 Sq Ft Tractor Supply building, 20,000 Sq Ft fenced outdoor display area, 3,000 Sq Ft permanent trailer equipment display area and parking lot. The proposed property is located at Tax Lot 2500 Section 29 T4S R4W W.M. in Yamhill County.

## III. TITLE 17.57 LANDSCAPING

### 17.57.010 Purpose and Intent.

The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect, and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:

- A. Provide guidelines and standards that will:
  - 1. Reduce soil erosion and the volume and rate of discharge of storm water runoff.
  - 2. Aid in energy conservation by shading structures from energy losses caused by weather and wind.
  - 3. Mitigate the loss of natural resources.
  - 4. Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.
  - 5. Create safe, attractively landscaped areas adjacent to public streets.
  - 6. Require the planting of street trees along the City's rights-of-way.
  - 7. Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.
  - 8. Provide shade, and seasonal color.
  - 9. Reduce glare, noise, and heat.
- B. Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.
- C. Unify development and enhance and define public and private places.

- D. Preserve existing mature trees.
- E. Enhance the urban forest and tree canopy.
- F. Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.
- G. Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.
- H. Support McMinnville as a community that cares about its appearance.

It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.

The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant understands and acknowledges the purpose and intent of the landscape 17.57 chapter of the Community Development Code.

#### 17.57.030 Zones Where Required.

Landscaping shall be required in the following zones except as otherwise noted:

- A. R-4 (Multiple-Dwelling Residential zone, except the construction of a detached or plex residential units);
- B. C-1 (Neighborhood Business zone);
- C. C-2 (Travel Commercial zone);
- D. C-3 (General Commercial zone);
- E. O-R (Office/Residential zone);
- F. M-L (Limited Light Industrial zone);
- G. M-1 (Light Industrial zone);
- H. M-2 (General Industrial zone). (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The proposed development is within the C-3 (General Commercial) zone; therefore, landscaping is required subject to landscaping requirements of commercial zones and the criteria and standards described in Chapter 17.57 – Landscaping. The applicant will comply with the landscaping requirements set out in Chapter 17.57.

17.57.040 Specific Uses Requiring Landscaping.

- A. Churches, subject to the landscaping requirements of a multiple-dwelling development when in a residential zone and subject to the landscaping requirements of a commercial development when in a zone other than residential;
- B. Utility substations, subject to the landscaping requirements of commercial uses.
- C. Mobile home park, subject to the requirements of a multiple-dwelling development;
- D. Multiple-dwelling, commercial, and industrial uses in residential planned developments, subject to the landscaping requirements of the type of use in the planned development. (Ord. 5027 §2, 2017; Ord. 4264 §1, 1983; Ord. 4254 §1, 1983; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The proposed property does not fall into the specific uses requiring landscaping per 17.57.040.

17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.

- A. At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.
  - 1. No building permit shall be issued until the landscaping plan has been approved.
  - 2. The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;
- B. Landscaping review shall occur within 30 (thirty) days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 (thirty) days shall be considered as approval of the plan;
- C. The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;
- D. Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly



maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;

- E. All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant understands and acknowledges the plans, submittal, and review process, with the intent to complete the landscaping installation prior to occupancy.

17.57.060 Plans - Information to be Included.

The following information shall be included in the plans submitted under Section 17.57.050:

- A. Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the drip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;
- B. The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;
- C. The percentage of the gross area to be landscaped;
- D. Any equipment proposed for recreation uses;
- E. All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;
- F. The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;
- G. All of the information on the plot plan for the building permit. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant has provided all the required plan information from 17.57.060 on the site, arborist, and landscaping plans for the proposed property. They are all provided in this submittal. Per the Site and Landscape Plans, the site contains 38.0% landscaping, far exceeding the City's guidelines for good site planning.

17.57.070 Area Determination - Planning Factors.

- A. Landscaping shall be accomplished within the following ranges:
  - 1. Industrial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

**APPLICANT RESPONSE:** Not applicable, the proposed property is zoned C-3 (General Commercial Zone).

2. Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

**APPLICANT RESPONSE:** Per the Site and Landscape Plans, the site contains 38.0% landscaping, far exceeding the City's guidelines for good site planning.

3. Multiple-dwelling, twenty-five percent of the gross area. This may be reduced to not less than fifteen percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)

**APPLICANT RESPONSE:** Not applicable, the proposed property is zoned C-3 (General Commercial Zone).

4. A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection 2 of this section.

**APPLICANT RESPONSE:** Per the Site and Landscape Plans, the site contains 11,942.6 sf of landscaping immediately adjacent to the 48,266.6 sf of asphalt customer parking. The percentage of landscaping immediately adjacent to the customer parking equates to 24.7%, far exceeding the City's guidelines for good site planning.

5. Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.
  - a. Picture
  - b. Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;

**APPLICANT RESPONSE:** Not applicable, the proposed property does not have an addition or expansion of an existing structure or parking lot. The proposed development is new, not existing.

- B. The following factors shall be considered by the applicant when planning the landscaping in order

to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

**APPLICANT RESPONSE:** The existing property is surrounded by roads on 3 sides. To the east it abuts a C-3 (General Commercial Zone) that has been developed as a manufactured home park, which has a 35 ft access easement over the eastern portion of the existing access driveway. The existing access driveway will be improved at the entry with a concrete driveway, but otherwise it will not be changed. From the existing driveway south of the manufactured home park driveway, the project is showing a 20 ft minimum landscaping buffer adjoining the manufactured home park.

Per a development agreement with the City, the frontage to the manufactured home park will be improved with this development. A planter strip will be included with the frontage improvements, which will accompany this application. Along the Highway 99 frontage, ODOT is requiring a  $\pm 4$  ft asphalt widening and a rebuilt drainage ditch. The ditch and remaining unpaved ROW will be landscaped and street trees added. The trees along the entire frontage and manufactured home park, will have a low height restriction due to the significant amount of power and communication lines fronting the sites.

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.

**APPLICANT RESPONSE:** Sight-obscuring plantings including large evergreen shrubs, conifers, and shade trees along with fencing are proposed along the east property line.

3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.

**APPLICANT RESPONSE:** There are no existing trees within the developed area recommended by the Arborist to be retained. Of the 55 trees evaluated by Teragan and Associated, Peter van Oss only 4 trees – 2 on-site and 2 off-site in the southeastern corner of the property were recommended to be retained. The full Arborist report is provided in this submittal.

4. The development and use of islands and plantings therein to break up parking areas.

**APPLICANT RESPONSE:** The proposed property has islands and plants flanking the ends of the parking area to break up the lot. The parking lot as laid out is a prototypical layout for the Tractor Supply stores.

5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.

**APPLICANT RESPONSE:** The applicant will be using one of the permitted trees in the development of the property, and no prohibited trees shall be used in the parking area or for street trees.

6. Suitable watering facilities or irrigation systems must be included in or near all planted areas;

**APPLICANT RESPONSE:** The site will have an automatic underground water efficient irrigation system including street tree bubblers, sprinkler heads, drip zones, and a new backflow device at the water meter located west side behind the building. The automatic irrigation system will reach all landscape areas on the approved plans.

- C. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement. Minor changes in the landscape plan, such as like- for-like replacement of plants, shall be allowed, as long as they do not alter the character and aesthetics of the original plan. It shall be the Planning Director' decision as to what constitutes a major or minor change. Major changes to the landscape plan shall be reviewed and approved by the Landscape Review Committee. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** Applicant understands and acknowledges the landscaping will be continually maintained per the LRC guidelines. Tractor Supply is well versed in the etiquette of maintaining a clean well landscaped site. A well landscaped and maintained site promotes a good customer base.

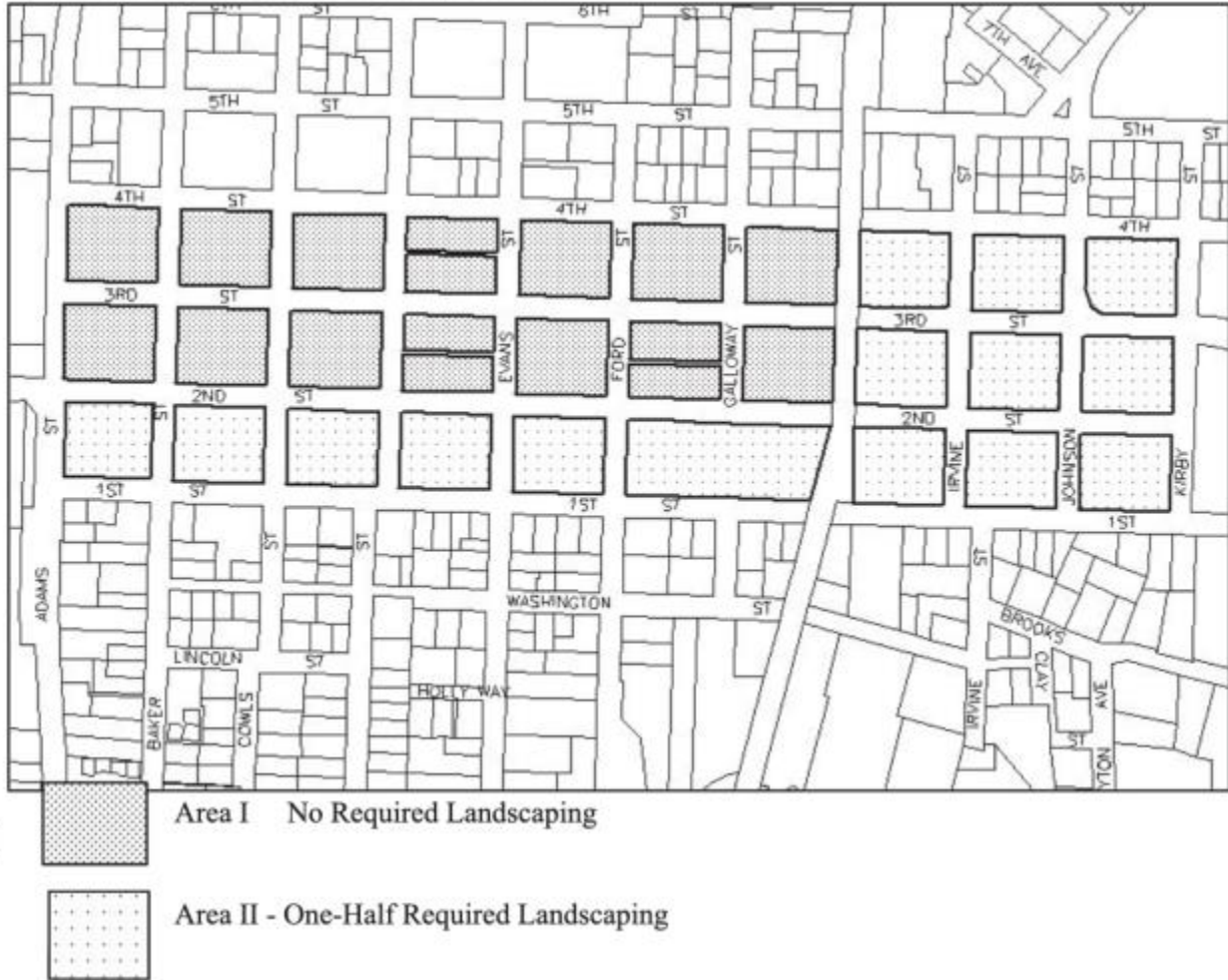
17.57.080 Central Business District.

The central business district shall be divided into two areas as defined in this section:

- A. Area I is that area between Adams Street and the railroad tracks and between Second and Fourth Streets. The landscaping requirements set forth herein shall not apply to this portion of the central business district, except for the provision of street trees according to the city's master plan;
- B. Area II is defined as being that area between Adams and Kirby Streets from First to Fourth Streets, excluding the area in subsection A above. One-half of the landscaping requirements set forth in Section 15.57.050 above shall apply to this area. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).



**REDUCED LANDSCAPING REQUIREMENTS**



**APPLICANT RESPONSE:** This site is not in the Central Business District. This criteria does not apply.

17.57.090 Credit for Work in Public Right-of-Way.

The review committee may grant an applicant credit for landscaping done in the public right-of-way provided that if at any time in the future the right-of-way is needed for public use, any landscaping removed from the right-of-way must be replaced on the subject site. The review committee shall consider the need for future use of the right-of-way for street or utility purposes before granting credit under this section. (Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The applicant understands and acknowledges how the credit for landscaping along the public right of way works.

17.57.100 Appeal - Planning Commission to Act When.

- A. In the event the landscaping is disapproved by the review committee, the applicant may appeal to the Planning Commission within 15 (fifteen) days after the review committee has considered the plan. The matter shall be set for review by the Planning Commission as set forth in subsection B of

this section;

- B. If, after review, the review committee cannot or does not reach a decision on the landscaping plan submitted, the application shall be forwarded to the Planning Commission for review and final disposition. Action on the application will occur at the next regularly scheduled meeting, or with the approval of the Planning Commission chairman, at a work session if scheduled sooner. The applicant shall be notified of the time and place of the review by the Planning Commission and may choose to be present. The absence of the applicant shall not preclude the Planning Commission from reaching a decision;
- C. The review committee may, at their discretion, continue an application pending submittal of further information or detail. (Ord. 5027 §2, 2017; Ord. 4128 (part), 1981; Ord. 3380 (part), 1968).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the appeal process.

#### IV. TITLE 17.58 TREES

##### 17.58.010 Purpose.

The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the purpose of this chapter and the landscape plan is consistent.

##### 17.58.020 Applicability.

The provisions of this ordinance shall apply to:

- A. Individual significant or historic trees as defined in this ordinance.
- B. All trees with trunks located completely or partially within any public area or right-of-way;
- C. All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review; (Ord. 5027 §2, 2017; Ord. 4654-B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the applicability of this chapter and the landscape plan is consistent with this criterion.

17.58.030 Definitions.

For the purpose of this section, refer to Section 17.06.045 for Tree related definitions. (Ord. 4952 §1, 2012).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the definitions of this chapter.

17.58.040 Tree Removal/Replacement.

A. The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the City. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal or major pruning. Applications shall be reviewed by the City Manager or City Manager’s Designee (hereafter “Manager”) or the Landscape Review Committee as provided in this Chapter, including Section 17.58.050. Only applications for Complex Tree Removal Permits shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 (thirty) days of submittal, except as authorized in Section 17.58.050. Requests for tree removal within the Downtown Tree Zone shall be submitted to the City. Such requests shall be acted upon as soon as practicable, with consideration given to public safety, value of the tree to the public, and work schedules. The Manager should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or Manager, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in Section 17.58.050. A decision of the committee or Manager may be appealed to the Planning Commission if written notice of the appeal is filed with the City within 15 (fifteen) days of the committee’s or Manager’s decision. A decision made by the Manager in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks, or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.

**APPLICANT RESPONSE:** The applicant is requesting trees to be removed on the subject property consistent with the Teragan and Associates Arborist report dated 2/6/2025.

B. Trees subject to this ordinance which are approved for removal or pruning shall be removed or pruned following accepted arboricultural pruning practices, such as those published by the International Society of Arboriculture (ISA) and any standards adopted by the City. The Manager, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.

**APPLICANT RESPONSE:** This property is not in the downtown area. This criterion does not apply.

C. The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.

**APPLICANT RESPONSE:** The applicant will be responsible for all costs associated with the tree removal and will ensure that all work is done in a manner which ensures safety to individuals and public and private property.

This criterion will be adhered to.

D. Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the “Guide for Plant Appraisal” published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the City as part of the City’s annual tree planting program.

**APPLICANT RESPONSE:** The applicant is requesting trees to be removed on the subject property consistent with the Arborist report which was calculated using the methods provided in the Guide for Plant Appraisal.

E. The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two-inch-thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.

**APPLICANT RESPONSE:** The trees removed from this site will include removing the root balls too and the site will be manicured. This criterion will be met.

F. The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Manager’s or Landscape Review Committee’s decision. The Manager or Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the timeline from receiving the LRC’s decision. Typically though, this site development will take much longer than 6 months to complete. The project timeline may take 18 months from start to finish, with landscaping occurring at the end of the construction timeline. We ask consideration for a longer removal to replacement for this project.

G. Other conditions may be attached to the permit approval by the Manager or Landscape Review Committee as deemed necessary.

**APPLICANT RESPONSE:** The applicant understands there may be conditions by the LRC required to gain permit approval.

H. The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014, as may be subsequently amended. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands that the planting of street trees will be subject to the



design drawings and specifications developed by the city in May 2014. The plans and specifications are provided herein are up to date. This criterion is met.

17.58.045 Downtown Trees.

- A. The pruning and removal of street trees within the Downtown Tree Zone shall be the responsibility of the City, and shall be undertaken at public expense.
- B. The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014, as may be subsequently amended. Specific design drawings and specifications have been developed for trees within the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees within the Downtown Tree Zone to minimize the potential for sidewalk / tree root conflict.
- C. The City shall adopt implementation measures that cause, through rotation over time, the development of a variable aged stand of trees within the Downtown Tree Zone. In order to implement this policy, the Manager shall authorize, but shall limit, annual tree removal within the downtown to no more than three (3) percent of the total number of existing downtown trees in the Downtown Tree Zone.
- D. A street tree within the Downtown Tree Zone may be removed if the Manager determines that the tree is causing repeated and excessive damage to sidewalks or other public or private improvements or structures. (Ord. 5027 §2, 2017).

**APPLICANT RESPONSE:** Not applicable as the property is not in the Downtown Zone.

17.58.050 Application Review and Criteria.

- A. Application for Simple Tree Removal Permit.
  - 1. Review. Applications for simple tree removal permits shall be reviewed by the Manager in accordance with the requirements of this Chapter on a form containing information required by the Manager.
  - 2. Criteria. Each tree proposed for removal must meet at least one of the following criteria:
    - a. The tree is a hazard as determined by a Certified arborist, and the arborist has demonstrated that less intensive options than removal, such as pruning, cabling, or bracing of limbs would not abate the hazard or would have a significant adverse effect on the health of the tree.
    - b. The tree is dead or in an advanced state of decline.
    - c. The tree species is on the nuisance list for Oregon or the list of invasive trees published by OSU Extension.
    - d. Tree is infested with pests or disease.
    - e. The tree roots are causing damage to sidewalks or other infrastructure, and the damage can't reasonably be abated without removing the tree. In evaluating whether the damage can be reasonably abated without removing the tree, consideration shall be given to impacts of the necessary abatement on the tree's health, further damage to infrastructure that would occur if the tree is retained, and alternative methods of abatement that would retain and protect the tree and

prevent further damage. When considering reasonable abatement methods, greater priority shall be placed on retention of larger, healthy trees.

f. The tree has sustained physical damage to an extent that necessitates its removal to address an issue of safety or tree health and aesthetics.

g. The proposed removal is part of an approved development project, a public improvement project where no reasonable alternative is available, or is part of a street tree improvement program. When considering reasonable alternatives, greater priority shall be placed on retention of larger, healthy trees.

h. If the tree is on an adopted list or inventory of trees identified by the City as part of an adopted tree protection program, such as a Heritage Tree list the decision shall also meet any applicable requirements related to the protection of such trees.

3. Arborist Verification. In order to meet any of the above criteria for removal verification of tree health or a tree's impacts on infrastructure shall be required, at the expense of the applicant, by a Certified Arborist acceptable to the City. The Manager may waive the requirement for verification by an Arborist if it is reasonable to determine a tree is dead by inspection or other documentation required by the Manager. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

4. At the Manager's discretion, any simple tree removal permit application may be referred to the Landscape Review Committee for review, to be reviewed by the Committee within 30 days of submittal of the application.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the review criteria for simple tree removal and will seek permitting appropriately. The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

**B. Application for Tree Major Pruning Permit.**

1. Review. Applications for major pruning of trees shall be reviewed by the Manager in accordance with the requirements of this Chapter on a form containing information required by the Manager.

2. Criteria. Each tree proposed for major pruning shall meet all of the following criteria:

a. The pruning is necessary to reduce risk of hazard, maintain or improve tree health and structure, or improve aesthetics in accordance with accepted arboricultural practices, or to achieve compliance with public standards such as vision clearance, vertical clearance above sidewalks or roadways, or separation from overhead utilities.

b. The proposed pruning shall be consistent with the public purposes of Section 17.58.010 and shall not adversely affect the health of the tree. When pruning is necessary to reduce risk of hazard or achieve compliance with public standards, the tree structure and aesthetics shall be maintained to the extent practicable.

c. The proposed pruning will be performed consistent with accepted arboricultural practices, such as those published by the International Society of Arboriculture (ISA).

d. If the tree is on an adopted list or inventory of trees identified by the City as part of an adopted tree protection program, such as a Heritage Tree list, the decision shall also meet any applicable requirements related to the protection of such trees.

3. Arborist Verification. In order to meet any of the above criteria for major pruning, verification of the need and consistency with the criteria for the proposed pruning shall be required, at the expense of the applicant, by a Certified Arborist acceptable to the City.

4. At the Manager’s discretion, any application for major pruning of a tree may be referred to the Landscape Review Committee for review, to be reviewed by the Committee within 30 days of submittal of the application.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the review criteria for major pruning or tree removal and will seek permitting if appropriate. The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

C. Application for Complex Tree Removal Permit.

1. Review. Applications for complex tree removal permits shall be reviewed by the Landscape Review Committee in accordance with the procedures of this Chapter on a form containing information required by the Manager.
2. Criteria. An application for a complex tree removal permit shall meet all of the following criteria:
  - a. The tree removal is necessary to address a public purpose that is not addressed by the criteria for a Simple Tree Removal Permit, and the application does not merely circumvent the requirements for a Simple Tree Removal Permit.
  - b. The tree removal is necessary to promote the public health, safety, welfare, and/or to accomplish a public purpose or program identified in the City’s adopted plans, goals, and/or policies.
  - c. The tree removal will be consistent with the overall furtherance of a healthy urban forest, including healthy, attractive street trees.
3. The Landscape Review Committee may apply conditions of approval as specified in this Chapter and as may be necessary to offset the impact of the tree removal.
4. If the tree is on an adopted list or inventory of trees identified by the City as part of an adopted tree protection program, such as a Heritage Tree list, the decision shall also meet any applicable requirements related to the protection of such trees.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the review criteria for complex tree removal and will seek permitting. The development will require massive site improvements, which are consistent with complex tree removal permits. The applicant is requesting trees to be removed on the subject property consistent with the Arborist report.

17.58.060 Permit Exemptions.

- A. Emergency Removal of Hazardous Tree - If an imminent danger exists to the public or any private property owner or occupant, the City may issue an emergency removal permit. The removal shall be in accordance with International Society of Arboriculture (ISA) standards.
- B. Tree Impacting Public Infrastructure – If a tree is causing damage to or impacting public infrastructure that the adjacent property owner is not responsible for repairing, such as pedestrian ramps, utility vaults, or public storm or sanitary sewer lines, the tree removal may be approved by the Manager. The removal shall be in accordance with International Society of Arboriculture (ISA) standards. In the event that a replacement tree cannot be planted in the same general location as the tree removed, the replacement tree may be planted in another location in the City as part of the City’s annual tree planting program.

C. Maintenance - Regular pruning maintenance which does not require the removal of over 20 percent of the tree's canopy, tree topping, or the disturbance of over 10 percent of the tree's root system is exempt from the provisions of this ordinance.

D. Removal of downtown trees at the direction and initiative of the Manager. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The Arborist report discusses the reasons for tree removal on this site for the Tractor Supply development. The applicant understands and acknowledges the permit exemptions above and required maintenance of trees and will comply with this criterion when the site is redeveloped.

17.58.070 Tree Topping.

It shall be unlawful for any person, firm, or the City to top any tree. Trees severely damaged by storms or other causes or certain trees under utility wires or other obstructions where normal pruning practices are impractical may be exempted at the determination of the Manager or Landscape Review Committee, applying criteria developed by the City. (Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the legality of tree topping and there is none proposed.

17.58.075 Protection of Trees.

A. It shall be unlawful for any person to remove, destroy, break, or injure any street tree or public tree. Individuals convicted of removing or destroying a tree without City approval shall be subject to paying to the City an amount sufficient to fund the planting and establishment of a tree, or trees, of similar value. The value of the removed or destroyed tree shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers.

B. It shall be unlawful for any person to attach or keep attached to any street or public tree or to the guard or stake intended for the protection of such tree, any rope, wire, chain, sign, or other device, except as a support for such tree.

C. During the construction, repair, alteration or removal of any building or structure it shall be unlawful for any owner or contractor to leave any street tree or public tree in the vicinity of such building or structure without a good and sufficient guard or protectors as shall prevent injury to such tree arising out of or by reason of such construction or removal.

D. Excavations shall not occur within the drip line of any street tree or public tree without approval of the City, applying criteria developed by the Landscape Review Committee. Utility pole installations are exempted from these requirements. During such excavation or construction, any such person shall guard any street tree or public tree within the drip line, or as may be required by the Manager or Landscape Review Committee.



E. All building material or other debris shall be kept outside of the drip line of any street tree or public tree. (Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the protection of trees and complies with section 17.58.075. Tree protection for the 4 remaining trees is shown on multiple plan sheets and the Arborist report. This criterion will be met.

17.58.080 Street Tree Planting – When Required.

All new residential development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090. (Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The proposed property has planting islands and planting strips with street trees within the standards list of MMC 17.58.090 as indicated on the Landscaping Plan. This criterion will be met.

17.58.090 Street Tree Standards.

A. The species of the street trees to be planted shall be chosen from the McMinnville Street Tree List, as approved by Resolution 2019-26, and as may have been subsequently amended, unless approval of another species is given by the McMinnville Landscape Review Committee. The Landscape Review Committee may periodically update the McMinnville Street Tree List as necessary to reflect current arborist practices and industry standards.

**APPLICANT RESPONSE:** The applicant has chosen street trees from the approved McMinnville Street Tree List. The trees chosen are smaller in full height due to the extensive overhead utilities. This criterion will be met.

B. Street trees shall be a minimum of two (2) inches in caliper measured at six (6) inches above ground level. All trees shall be healthy grown nursery stock with a single straight trunk, a well-developed leader with tops and roots characteristic of the species cultivar or variety. All trees must be free of insects, diseases, mechanical injury, and other objectionable features when planted.

**APPLICANT RESPONSE:** The applicant will comply with these standards for the street trees and confirms the requirements will be met.

C. Small or narrow stature trees (under 25 feet tall and less than 16 feet wide branching) should be spaced no greater than 20 feet apart; medium sized trees (25 feet to 40 feet tall, 16 feet to 35 feet wide branching) should be spaced no greater than 30 feet apart; and large trees (over 40 feet tall and more than 35 feet wide branching) should be spaced no greater than 40 feet apart. Within residential developments, street trees should be evenly spaced, with variations to the spacing permitted as approved by the City for specific site limitations and safety purposes. Within commercial and industrial development staggered, or irregular spacing is permitted, as may be approved by the McMinnville Landscape Review Committee. When planting replacement trees within the Downtown Tree Zone, consideration shall be given to the height of adjacent buildings.

**APPLICANT RESPONSE:** The property will have 11 small trees that are spaced no more than 20 feet apart along Booth Bend Road and 20 small trees that are spaced no more than 20 feet apart and 6 medium trees spaced no more than 30 feet apart along Highway 99. The trees are staggered as allowed within commercial development as this is a C-3 zone.

D. Except as provided in this Section, street trees shall be planted within a curbside planter strip or tree wells consistent with the applicable standards and dimensions of the City’s adopted Complete Street standards, with the street trees centered between back of curb and front of sidewalk. However, where a street with sidewalk was previously constructed to a different standard, the Manager may authorize deviation to the street tree planting standards, with street trees planted in a narrower planter strip or behind the sidewalk. Except when authorized by the Manager, street trees shall not be planted within a curbside landscape strip narrower than four (4) feet in width between the sidewalk and curb. When nonconforming conditions do not allow for trees to be planted in tree wells or planter strips along major collector or arterial streets per the adopted Complete Street standards, street trees adjacent to major collector streets or arterial streets shall be placed a minimum of five (5) feet from the back edge of the sidewalk. Except when authorized by the Director, a street tree shall not be planted closer than two and one-half (2 1/2) feet from the face of a curb. These standards may be superseded by design drawings and specifications as periodically developed and adopted by the City.

**APPLICANT RESPONSE:** Street trees adjacent to Booth Bend Road are located within a planter strip and are 2.5 feet from back of sidewalk. Root barrier is proposed on both sides of the planter strip. Along Highway 99 there is no sidewalk. Street trees are a minimum of 24 feet from edge of street pavement and 6 feet from parking lot curbs. This criterion is met.

E. Street trees shall not be planted within ten (10) feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within twenty (20) feet of street light standards or street intersections, or within five (5) feet of a private driveway or alley. New utility poles shall not be located within five (5) feet of an existing street tree. Variations to these distances may be granted by the Public Works Director and as may be required to ensure adequate clear vision.

**APPLICANT RESPONSE:** No street trees are to be placed within 10 feet of fire hydrants, utility poles, sanitary sewer, storm sewer or water lines, or within 20 feet of streetlight standards or street intersections, or within five feet of a private driveway or alley. This criterion is met.

F. Existing street trees shall be retained unless approved by the Manager for removal during site development or in conjunction with a street construction project. Sidewalks of variable width and elevation may be utilized as approved by the Manager to save existing street trees. Any street tree removed through demolition or construction within the street right-of-way, or as approved by the City, shall be replaced within the street right-of-way at a location approved by the city with a tree, or trees, of similar value. As an alternative the property owner may be required to pay to the City an amount sufficient to fund the planting and establishment by the city of a tree of similar value. The value of the existing street tree to be removed shall be calculated using the methods set forth in the edition then in effect of the “Guide for Plant Appraisal” published by the International Society of Arboriculture Council of Tree Landscape Appraisers. The developer or applicant shall be responsible for the cost of the planting, maintenance and establishment of the replacement tree.

**APPLICANT RESPONSE:** All trees within the street right-of-way to improve SW Booth Bend Rd. and

Highway 99 will be removed. The cherry trees fronting the manufacture home park have very invasive roots and need to be removed to install sidewalk and curb. This criterion is met.

G. Sidewalk cuts in concrete for tree planting shall be a minimum of four feet by six feet, with the long dimension parallel to the curb, and if located within the Downtown Tree Zone shall follow the design drawing or updated design drawings and specifications as periodically developed and adopted by the City. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** There is no sidewalk fronting this site. This criterion does not apply.

17.58.100 Street Tree plans.

A. *Submittal.*

1. Subdivisions and Partitions: Street tree planting plans shall be submitted to the Landscape Review Committee for review and approval prior to the filing of a final subdivision or partition plat.

**APPLICANT RESPONSE:** Not applicable, proposed property is in a C-3 zone.

2. Commercial, Industrial, Parking Lots, and Multi-dwelling Residential Development: Landscape plans, to include street tree planting as may be required by this ordinance, shall be submitted to the Landscape Review Committee for review and approval prior to the issuance of a building permit.

**APPLICANT RESPONSE:** The applicant understands and acknowledges the submittal is required to LRC prior to the issuance of building permits. We are submitting prior to the building permit application. This criterion is met.

B. *Street Tree plan Content.* At a minimum, the street tree planting plan should:

1. Indicate all existing trees, noting location, species, size (caliper and height) and condition;
2. Indicate whether existing trees will be retained, removed or relocated;
3. Indicate the measures to be taken during site development to ensure the protection of existing trees to be retained;
4. Indicate the location, species, and size (caliper and height) of street trees to be planted;
5. Indicate the location of proposed and existing utilities and driveways; and
6. Indicate the location of rights-of-way, existing structures, driveways, and existing trees including their species, size, and condition, within twenty feet of the subject site. (Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the requirements for what needs to be shown on the street tree planting plan and confirms all criteria have been supplied. This criterion is met.

17.58.110 Street Tree Planting.

A. *Residential subdivisions and partitions.*

1. Planting Schedule: Street trees required of residential subdivisions and partitions shall be installed prior to submittal of a final subdivision plat or partition plat. As an alternative the applicant may file a surety bond or other approved security to assure the planting of the required street trees, as prescribed in Section 17.53.153.

**APPLICANT RESPONSE:** Not applicable, proposed property is in a C-3 zone.

*B. Commercial, Industrial, Residential, Parking Lot Development.*

1. Planting Schedule: Street trees required of a commercial, industrial, residential, or parking lot development shall be installed at the time all other required landscaping is installed. (Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the installation timing, and all street trees will be installed at the same time as all other required landscaping installation. This criterion is met.

17.58.120 Street Tree Maintenance.

A. Street trees shall be continually maintained, including necessary watering, weeding, pruning and replacement, by the developer or property owner for one full growing season following planting, or as may be required by the City.

B. Street tree plans, or landscape plans including street trees, shall be maintained in perpetuity. In the event that a street tree must be replaced, the adjacent property owner or developer shall plant a replacement tree of a species from the approved street tree or landscape plan.

C. Maintenance of street trees, other than those located in the Downtown Tree Zone shall be the continuing obligation of the abutting property owner. The City shall undertake regular maintenance of street trees within the Downtown Tree Zone in accordance with appropriate horticultural practices including pruning and fertilizing to properly maintain the health of such trees. (Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

D. Street trees, as they grow, shall be pruned to provide at least eight (8) feet of clearance above sidewalks and thirteen (13) feet above local streets, fifteen (15) feet above collector streets, and eighteen (18) feet above arterial streets. This provision may be waived in the case of newly planted trees so long as they do not interfere with public travel, sight distances, or endanger public safety as determined by the City. Major pruning, as defined in Section 17.58.020, of a street tree must be approved by the City in accordance with Sections 17.58.040 and 17.58.050. (Ord. 5027 §2, 2017; Ord. 4654B §1, 1997).

**APPLICANT RESPONSE:** The applicant understands and acknowledges the street trees are required to be continually maintained, including necessary watering, weeding, pruning, and replacement, by the property owner for one full growing season following planting. Maintenance of the street trees shall be the continuing obligation of the abutting property owner. Tractor Supply is well versed in the etiquette of maintaining a clean and well landscaped site. A well landscaped and maintained site promotes a good customer base. This criterion will be adhered to.





**TERAGAN**  
& ASSOCIATES, INC.  
ARBORICULTURAL CONSULTANTS

**TREE PLAN**  
for  
**ATWATER**  
for the  
**TRACTORY SUPPLY PROJECT**  
at  
**900 SE BOOTH BEND ROAD,**  
**MCMINNVILLE, OR**

**Submitted by**

Peter van Oss  
Registered Consulting Arborist #826  
ISA Certified Arborist #PN-8145A  
Date Monday, October 28, 2024

Teragan and Associates, Inc.®  
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## Table of Contents

Background .....	1
Tree Inventory .....	1
Purpose and Use of the Report .....	1
Limits of the Report.....	1
Observations.....	2
Proposed Removals .....	2
Site Specific Tree Protection.....	3
General Tree Protection Recommendations in Appendix E.....	3
Conclusion.....	4
Enclosures: .....	4
Appendix A: Certification of Performance .....	5
Appendix B: Assumptions and Limiting Conditions .....	6
Appendix C – Site Plan .....	7
Appendix D – Inventory Spreadsheet.....	8
Appendix E: Tree Protection Specifications .....	10
Before Construction Begins .....	10
2. Migratory Bird Act of 1918.....	10
3. Fencing .....	10
Signage .....	10
During Construction.....	11
After Construction.....	12

## Background

Atwater proposes developing the currently vacant lot at 900 SE Booth Bend Road, McMinnville, OR, with a new Tractor Supply location. The proposed development includes new structures and associated site improvements in the form of utilities, parking stalls and equipment storage locations. Teragan & Associates, Inc. has contracted with Atwater to assist with the arboricultural aspects of the project. This tree plan covers the reasons for the proposed tree removals and the protection mitigation for the retained trees. This tree plan is accordance with the requirements set forth in Title 17 of the McMinnville Municipal Code.

## Tree Inventory

I completed the inventory during the site visit on October 21<sup>st</sup>, 2024. The tree diameters were recorded using a diameter tape. The health and conditions of the trees are determined by the plant species profiles compared to the current condition the trees present. Attributes that can negatively impact the ratings are growing conditions, bark inclusions, broken branches, poor vigor, or other aspect that may negatively impact the trees. All trees were tagged with aluminum tags with corresponding numbers scribed on them.

## Purpose and Use of the Report

The purpose of this report is to establish a narrative for the reasons of the removal of the trees and to provide recommendations pertaining to the protection of the retained trees throughout the project. The owner of this report may use this report for permitting purposes with the City of McMinnville and to communicate the tree protection standards that should be adhered to throughout the project to ensure that the trees can be successfully retained.

## Limits of the Report

The trees were visually assessed from the ground only, no tools were used to assess any of the tree parts. This tree plan is based on the preliminary plans that were provided by Atwater. If additional plans become available, this tree plan may need to be revised to account for significant changes in the layouts of the buildings and associates site improvements. The plans in this report should not be used for architectural, engineering, or building/construction purposes. The plans attached in Appendix C of this report are meant as a visual aid only.



### Observations

The site is currently vacant with the exception of some abandoned mobile homes. The site was previously used as a mobile home park and many of the trees directly on the property appear to have been part of the landscapes of the various lots. The rights-of-ways surrounding the property are currently unimproved and there are several street trees that are proposed for removal. The trees in the southeast corner are currently recommended to be retained since they are in good condition and do not appear to be interfering with the proposed layout of the site. All other trees that are directly on the property are proposed for removal to allow for the site to be developed and to create storage and equipment display areas.

### Proposed Removals

There are eight trees proposed for removal that are in the right-of-way of the property.

ObjectID	Common and Scientific Name	DBH	Condition Health	Condition Structure	Crown Radius	Construction Impact Tolerance	Field Notes/ Comments	Right-of-way tree	To be Removed
1	European-birch (Betula pendula)	6	Dead	Failed	0			X	X
2	giant-sequoia (Sequoiadendron giganteum)	48	Fair	Very Poor	15	Good	topped under primary power lines	X	X
3	Bradford-pear (Pyrus calleryana)	6	Fair	Poor	5	Good	topped under power lines	X	X
4	Bradford-pear (Pyrus calleryana)	6	Fair	Poor	5	Good	topped under power lines	X	X
5	giant-sequoia (Sequoiadendron giganteum)	66	Fair	Very Poor	25	Good	under power lines (topped)	X	X
6	Norway-maple (Acer platanoides)	15	Fair	Very Poor	15	Poor	topped under power lines	X	X
13	Kwanza-cherry (Prunus serrulata)	9	Fair	Fair	8	Good		X	X
14	Kwanza-cherry (Prunus serrulata)	11	Fair	Fair	8	Good		X	X

- Tree #1 is a dead tree and should be exempt.
- Trees #2 and #5 are giant sequoias that are directly under the primary powerlines and have been topped. The trees are in inappropriate locations for the species and the removal of the trees should be considered.
- Trees #3, and #4 are Bradford pears which are growing a significant amount of fruit which is not typical for the species. The trees are experiencing reversion and are spreading by seed throughout the property. The reversion has made these trees invasive, and it is recommendable to remove the trees.
- Tree #6 has a very poor structure and is recommended to be removed
- Trees #13, and #14 are recommended to be removed to allow for a clear visual of the future equipment that will be on display south of the building.

### Site Specific Tree Protection

There are four trees proposed to be retained (currently) and it is not anticipated that there will be any significant impacts to the trees based on the provided site plans and information. The four trees provide protection from winds to the neighbor's tree and it is recommendable to leave the trees in place to ensure that the existing windbreaks will not significantly change. If more detailed information and plans become available, this tree plan may need to be revised to adequately protect the trees throughout the project.

If unforeseen circumstances should arise such as a need to perform repairs to underground utilities, the recommendations in Appendix E should be followed. The site plan has been marked up with blue circles which represent the tree protection zones measured at 12 times the diameter of the trees and orange circles that represent the critical root zones of the trees. The critical root zones are measured at 6 times the diameter of the trees.

### General Tree Protection Recommendations in Appendix E

## Conclusion

It is my professional opinion that this tree plan adequately protects the trees that are retained. The trees are proposed for removal to allow for the construction and development of the proposed site improvements. The proposed and reasons for the tree removals meets the criterion of the City of McMinnville Municipal Code Title 17.

Please feel free to contact me with any questions or concerns.

Sincerely,

*Peter van Oss*

Peter van Oss | Senior Associate

 **ASCA** RCA #826  
Registered Consulting Arborist®

*ISA Certified Arborist PN-8145A*

*Tree Risk Assessment Qualified*

*Member, American Society of Consulting Arborists*

## Enclosures:

- Appendix A: Certification of Performance
- Appendix B: Assumptions and Limiting Conditions
- Appendix C: Inventory Map
- Appendix D: Inventory
- Appendix E: General Tree Protection Recommendations

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## Appendix A: Certification of Performance

I, Peter van Oss, certify that:

- I have personally inspected the trees, and the property referred to in this report and have stated my findings accurately. The extent of the evaluation or appraisal is stated in the attached report and the Terms of the Assignment.
- I have no current or prospective interest in the vegetation or the property that is subject to this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions and conclusions stated herein are my own and are based on current professional procedures and facts.
- My analysis, opinions and conclusions were developed, and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to me, except as indicated in the report.
- My compensation is not contingent upon reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am a member of, and certified as an arborist by the ISA. I have been involved in the arboricultural field in a full- time capacity for a period of 18 years.

Peter van Oss | Senior Associate

 **RCA #826**  
Registered Consulting Arborist®

*ISA Certified Arborist PN-8145A*

*Tree Risk Assessment Qualified*

*Member, American Society of Consulting Arborists*

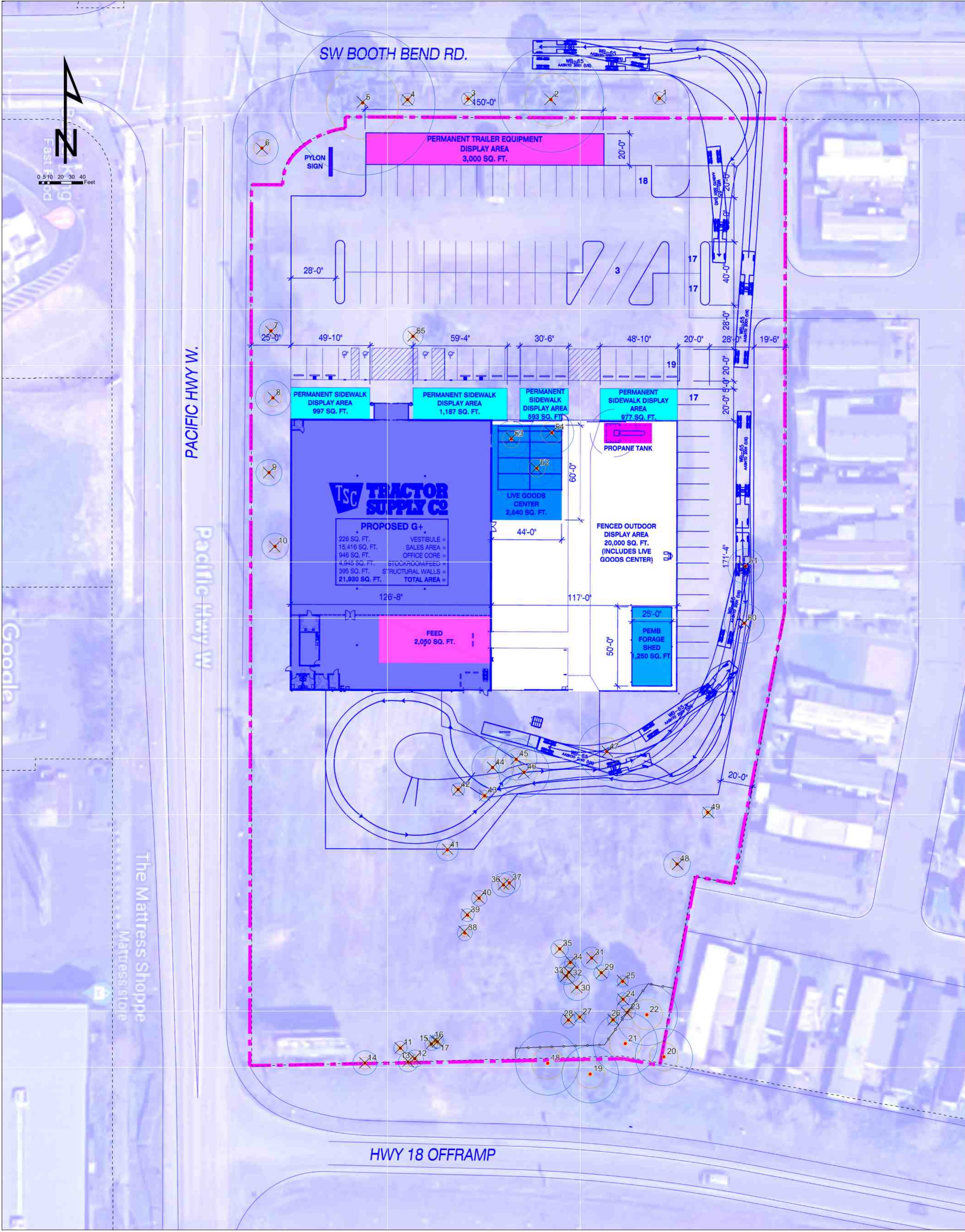
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### **Appendix B: Assumptions and Limiting Conditions**

1. A field examination of the site was made. My observations and conclusions are as of that date.
2. Care has been taken to obtain all information from a reliable source, however the arborist can neither guarantee nor be responsible for accuracy of information provided by others.
3. Unless stated otherwise, information contained in this report covers only those trees that were examined and reflects the condition of those trees at the time of inspection. The inspection is limited to visual examination of the subject trees without dissection, excavation, probing, or coring. There is no warranty or guarantee that problems or deficiencies of the subject tree may not arise in the future.
4. This report and any values/opinions expressed herein represents my opinion as an arborist. Inaction on the part of those receiving the report is not the responsibility of the arborist.
5. Loss or alteration of this report invalidates the entire report.
6. Any legal description provided to the consultant/ appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. All property is appraised or evaluated as free and clear, under responsible ownership and competent management.
7. The consultant/ appraiser shall not be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including payment for such services.
8. Possession of this report does not imply right of publication or use for any other purpose by any other than the person to whom it is addressed, without the prior expressed written consent of the consultant/ appraiser.





10/28/2024  
Peter van O...

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Atwater | McMinnville Tractor Supply  
Pacific Hwy W and Highway 18  
McMinnville, OR 97128

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Revisions

NO.	DATE	BY	DESCRIPTION

Appendix C -  
Reference Map

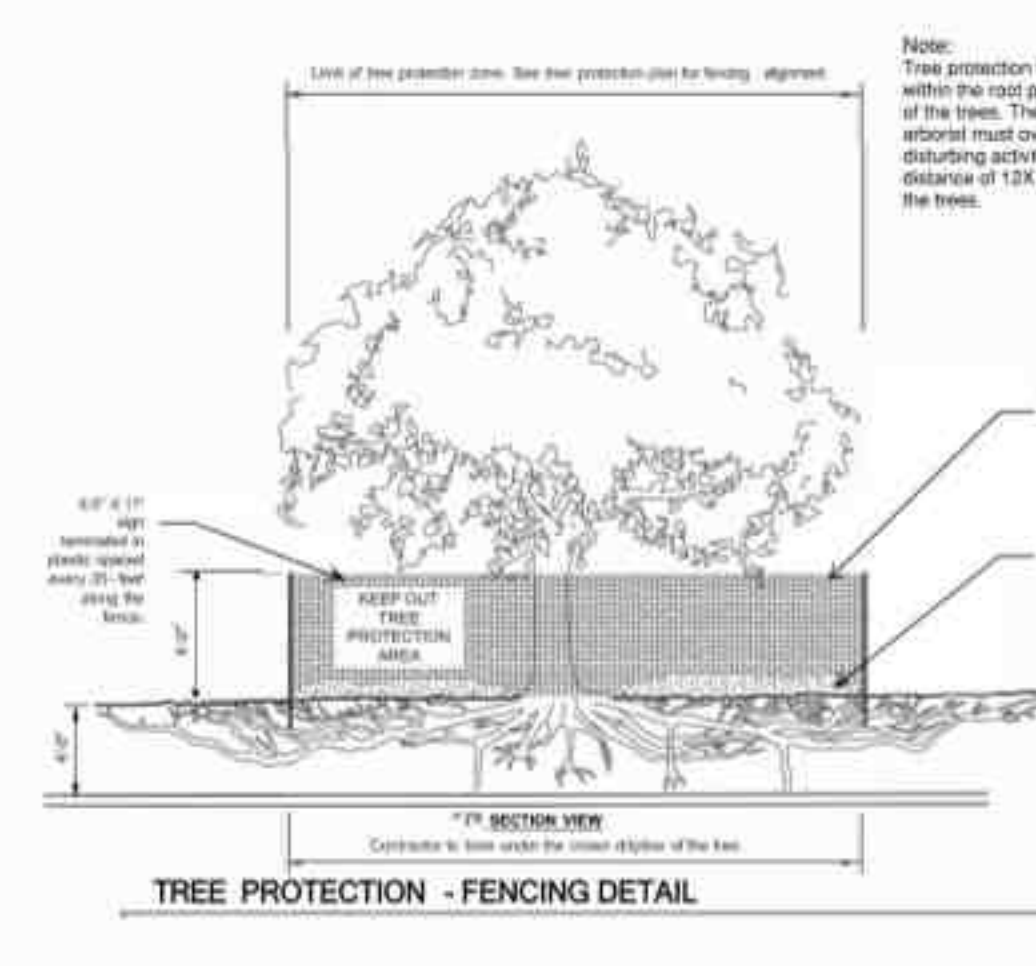
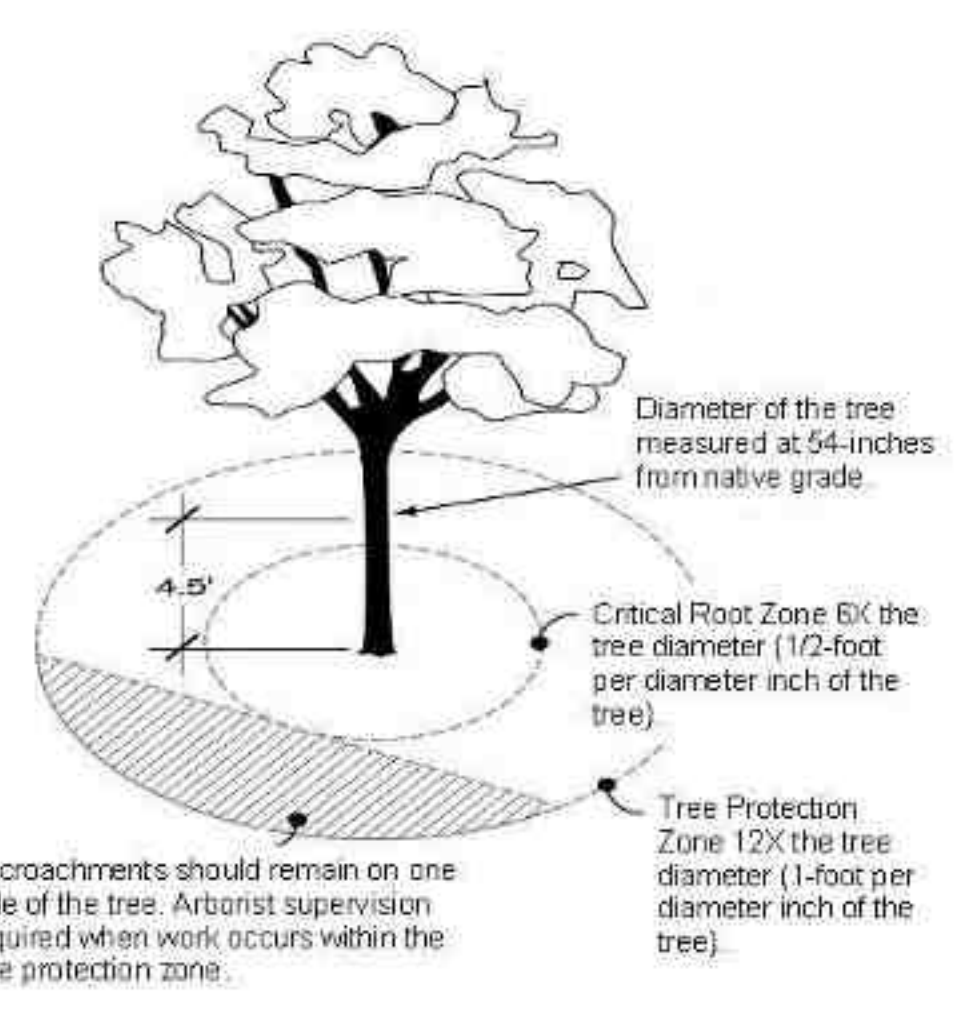
Site visit date: 10/21/2024

Tree Plan

- Legend**
- 3917.1 - 900 SE Booth Bend Road  
Critical Root Zone (CRZ) 6X
- Tree Protection Zone (TPZ) 12X
- Point data trees
  - Taxlots
  - Tree protection fencing as specified in the tree plan
  - ✕ Proposed Tree Removals 50

ObjectID	Common and Scientific Name	Other - Common and Scientific Name	DBH	Condition	Health	Condition Structure
1	European-birch ( <i>Betula pendula</i> )		6	Dead		Failed
2	giant-sequoia ( <i>Sequoiadendron giganteum</i> )		48	Fair		Very Poor
3	Bradford-pear ( <i>Pyrus calleryana</i> )		6	Fair		Poor
4	Bradford-pear ( <i>Pyrus calleryana</i> )		6	Fair		Poor
5	giant-sequoia ( <i>Sequoiadendron giganteum</i> )		66	Fair		Very Poor
6	Norway-maple ( <i>Acer platanoides</i> )		15	Fair		Very Poor
7	Norway-maple ( <i>Acer platanoides</i> )		11	Fair		Poor
8	Norway-maple ( <i>Acer platanoides</i> )		16	Fair		Fair
9	Norway-maple ( <i>Acer platanoides</i> )		12	Fair		Fair
10	Norway-maple ( <i>Acer platanoides</i> )		12	Fair		Fair
11	sweet-cherry ( <i>Prunus avium</i> )		6	Poor		Fair
12	sweet-cherry ( <i>Prunus avium</i> )		8	Poor		Fair
13	Kwanza-cherry ( <i>Prunus serotata</i> 'Kwanzan')		9	Fair		Fair
14	Kwanza-cherry ( <i>Prunus serotata</i> 'Kwanzan')		11	Fair		Fair
15	sweet-cherry ( <i>Prunus avium</i> )		6	Good		Fair
16	sweet-cherry ( <i>Prunus avium</i> )		6	Good		Fair
17	sweet-cherry ( <i>Prunus avium</i> )		6	Good		Fair
18	Scots-pine ( <i>Pinus sylvestris</i> )		29	Good		Fair
19	Scots-pine ( <i>Pinus sylvestris</i> )		26	Good		Fair
20	Bradford-pear ( <i>Pyrus calleryana</i> )		26	Fair		Poor
21	red oak ( <i>Quercus rubra</i> )		28	Good		Fair
22		Chinese fir	28	Good		Poor
23	Scots-pine ( <i>Pinus sylvestris</i> )		7	Good		Good
24	Scots-pine ( <i>Pinus sylvestris</i> )		6	Good		Good
25	Scots-pine ( <i>Pinus sylvestris</i> )		5	Good		Good
26	Scots-pine ( <i>Pinus sylvestris</i> )		5	Good		Good
27	Scots-pine ( <i>Pinus sylvestris</i> )		5	Good		Good
28	Scots-pine ( <i>Pinus sylvestris</i> )		7	Good		Good

ObjectID	Common and Scientific Name	Other - Common and Scientific Name	DBH	Condition	Health	Condition Structure
29	Scots-pine ( <i>Pinus sylvestris</i> )		7	Good		Good
30	European-birch ( <i>Betula pendula</i> )		12	Good		Fair
31	Scots-pine ( <i>Pinus sylvestris</i> )		10	Good		Poor
32	Scots-pine ( <i>Pinus sylvestris</i> )		10	Good		Poor
33	Scots-pine ( <i>Pinus sylvestris</i> )		8	Good		Fair
34	black-cottonwood ( <i>Populus trichocarpa</i> )		5	Good		Fair
35	red maple ( <i>Acer rubrum</i> )		8	Poor		Fair
36	apple ( <i>Malus SSP</i> )		11	Fair		Poor
37	apple ( <i>Malus SSP</i> )		10	Fair		Poor
38	Mountain ash ( <i>Sorbus aucuparia</i> )		7	Very Poor		Failed
39	Norway-maple ( <i>Acer platanoides</i> )		6	Fair		Poor
40	red maple ( <i>Acer rubrum</i> )		7	Good		Fair
41	black-cherry ( <i>Prunus serotina</i> )		10	Good		Fair
42	European-birch ( <i>Betula pendula</i> )		6	Good		Good
43	English-holly ( <i>Ilex aquifolium</i> )		5	Good		Good
44	black-pine ( <i>Pinus nigra</i> )		19	Poor		Poor
45	black-pine ( <i>Pinus nigra</i> )		19	Poor		Poor
46	black-pine ( <i>Pinus nigra</i> )		23	Poor		Poor
47	black-walnut ( <i>Juglans regia</i> )		26	Fair		Poor
48	English-walnut ( <i>Juglans regia</i> )		12	Good		Good
49	Bradford-pear ( <i>Pyrus calleryana</i> )		5	Good		Fair
50	black-cottonwood ( <i>Populus trichocarpa</i> )		18	Good		Fair
51	Chinese-elm ( <i>Ulmus parvifolia</i> )		16	Good		Fair
52		Arctostaphylos	16	Good		Fair
53	Douglas-fir ( <i>Pseudotsuga menziesii</i> )		16	Good		Good
54		Ipomoea	20	Good		Good
55		Monterey cypress	9	Poor		Poor







ObjectID	Common and Scientific Name	DBH	Condition Health	Condition Structure	Crown Radius	Construction Impact Tolerance	Field Notes/ Comments	Exempt	To be Removed
1	European-birch ( <i>Betula pendula</i> )	6	Dead	Failed	0			X	X
2	giant-sequoia ( <i>Sequoiadendron giganteum</i> )	48	Fair	Very Poor	15	Good	topped under primary power lines		X
3	Bradford-pear ( <i>Pyrus calleryana</i> )	6	Fair	Poor	5	Good	topped under power lines		X
4	Bradford-pear ( <i>Pyrus calleryana</i> )	6	Fair	Poor	5	Good	topped under power lines		X
5	giant-sequoia ( <i>Sequoiadendron giganteum</i> )	66	Fair	Very Poor	25	Good	under power lines (topped)		X
6	Norway-maple ( <i>Acer platanoides</i> )	15	Fair	Very Poor	15	Poor	topped under power lines		X
7	Norway-maple ( <i>Acer platanoides</i> )	11	Fair	Poor	15	Poor	flaking bark pruned one sided.		X
8	Norway-maple ( <i>Acer platanoides</i> )	16	Fair	Fair	15	Poor			X
9	Norway-maple ( <i>Acer platanoides</i> )	12	Fair	Fair	15	Poor			X
10	Norway-maple ( <i>Acer platanoides</i> )	12	Fair	Fair	15	Poor			X
11	sweet cherry ( <i>Prunus avium</i> )	6	Poor	Fair	8	Good	invasive		X
12	sweet cherry ( <i>Prunus avium</i> )	8	Poor	Fair	8	Good	invasive		X
13	Kwanza-cherry ( <i>Prunus serrulata</i> )	9	Fair	Fair	8	Good			X
14	Kwanza-cherry ( <i>Prunus serrulata</i> )	11	Fair	Fair	8	Good			X
15	sweet cherry ( <i>Prunus avium</i> )	6	Good	Fair	8	Good	invasive		X
16	sweet cherry ( <i>Prunus avium</i> )	6	Good	Fair	8	Good	invasive		X
17	sweet cherry ( <i>Prunus avium</i> )	6	Good	Fair	8	Good	invasive		X
18	Scots-pine ( <i>Pinus sylvestris</i> )	29	Good	Fair	20	Moderate			
19	Scots-pine ( <i>Pinus sylvestris</i> )	26	Good	Fair	20	Moderate			
20	Bradford-pear ( <i>Pyrus calleryana</i> )	26	Fair	Poor	15	Moderate	multi stem with history of failures		
21	red oak ( <i>Quercus rubra</i> )	29	Good	Fair	25	Good	included bark lower stems		
22	Chinese fir ( <i>Cunninghamia lanceolata</i> )	28	Good	Poor	10	Moderate	large bark inclusion lower trunk		
23	Scots-pine ( <i>Pinus sylvestris</i> )	7	Good	Good	5	Moderate	in dense cluster of trees		X
24	Scots-pine ( <i>Pinus sylvestris</i> )	6	Good	Good	5	Moderate	in dense cluster of trees		X
25	Scots-pine ( <i>Pinus sylvestris</i> )	5	Good	Good	5	Moderate	in dense cluster of trees		X
26	Scots-pine ( <i>Pinus sylvestris</i> )	5	Good	Good	5	Moderate	in dense cluster of trees		X
27	Scots-pine ( <i>Pinus sylvestris</i> )	5	Good	Good	5	Moderate	in dense cluster of trees		X
28	Scots-pine ( <i>Pinus sylvestris</i> )	7	Good	Good	5	Moderate	in dense cluster of trees		X
29	Scots-pine ( <i>Pinus sylvestris</i> )	7	Good	Good	5	Moderate	in dense cluster of trees		X
30	European-birch ( <i>Betula pendula</i> )	12	Good	Fair	10	Moderate	nuisance		X
31	Scots-pine ( <i>Pinus sylvestris</i> )	10	Good	Poor	10	Moderate	multi stem		X
32	Scots-pine ( <i>Pinus sylvestris</i> )	10	Good	Poor	10	Moderate	multi stem		X

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33	Scots-pine ( <i>Pinus sylvestris</i> )	8	Good	Fair	10	Moderate			X
34	black cottonwood ( <i>Populus trichocarpa</i> )	5	Good	Fair	5	Moderate	volunteer		X
35	red maple ( <i>Acer rubrum</i> )	8	Poor	Fair	10	Good			X
36	apple ( <i>Malus SSP.</i> )	11	Fair	Poor	8	Good	broken tops		X
37	apple ( <i>Malus SSP.</i> )	10	Fair	Poor	8	Good	broken tops		X
38	Mountain ash ( <i>Sorbus aucuparia</i> )	7	Very Poor	Failed	4	Poor	dying tree		X
39	Norway-maple ( <i>Acer platanoides</i> )	6	Fair	Poor	4	Poor	suppressed tree invasive		X
40	red maple 'Armstrong' ( <i>Acer freemannii</i> )	7	Good	Fair	7	Moderate	suppressed tree		X
41	black cherry ( <i>Prunus serotina</i> )	10	Good	Fair	15	Good	damaged trunk		X
42	European-birch ( <i>Betula pendula</i> )	6	Good	Good	5	Good	invasive/nuisance		X
43	English-holly ( <i>Ilex aquifolium</i> )	5	Good	Good	3		nuisance/invasive		X
44	black pine ( <i>Pinus nigra</i> )	19	Poor	Poor	15	Good	large canker in main stem. pitch moth present		X
45	black pine ( <i>Pinus nigra</i> )	19	Poor	Poor	15	Good	thinning crown		X
46	black pine ( <i>Pinus nigra</i> )	23	Poor	Poor	15	Good	thinning crown		X
47	black-walnut ( <i>Juglans nigra</i> )	26	Fair	Poor	20	Poor	large previous stem failure. wood boring insects present		X
48	English-walnut ( <i>Juglans regia</i> )	12	Good	Good	12	Poor			X
49	Bradford-pear ( <i>Pyrus calleryana</i> )	5	Good	Fair	5	Good	seeding invasive		X
50	black cottonwood ( <i>Populus trichocarpa</i> )	18	Good	Fair	20	Good	volunteer tree		X
51	Chinese-elm ( <i>Ulmus parvifolia</i> )	16	Good	Fair	15	Good	invasive		X
52	Arizona cypress ( <i>Hesperocypariz arizonica</i> )	16	Good	Fair	15	Poor			X
53	Douglas-fir ( <i>Pseudotsuga menziesii</i> )	16	Good	Good	12	Good	shallow roots system		X
54	sycamore ( <i>Platanus occidentalis</i> )	20	Good	Good	25	Good			X
55	Monterey cypress ( <i>Cupressus macrocarpa</i> )	9	Poor	Poor	8	Good	sun scald wood boring insect present		X
									<b>50</b>



## Appendix E: Tree Protection Specifications

It is critical that the following steps be taken to ensure that they are retained and protected.

### Before Construction Begins

1. **Notify all contractors of the tree protection procedures.** For successful tree protection on a construction site, all contractors must know and understand the goals of tree protection. It can only take one mistake with a misplaced trench or other action to destroy the future of a tree.
  - 1.1. Hold a Tree Protection meeting with all contractors to fully explain the goals of tree protection.
  - 1.2. Have all subcontractors sign memoranda of understanding regarding the goals of tree protection. Memoranda to include penalty for violating tree protection plan. Penalty to equal appraised value of tree(s) within the violated tree protection zone per the current Trunk Formula Method as outlined by the Council of Tree & Landscape Appraisers current edition of the *Guide for Plant Appraisal*.
2. **Migratory Bird Act of 1918.** If trees are removed between Feb 1 – Aug 1, the trees shall be inspected for the presence of active bird nests. If active nests are present, the proper steps shall be taken to ensure compliance with the Federal Law. Nests with young shall be preserved and a buffer must be created in accordance with the species. If active nests must be moved, a plan prepared by a certified biologist must be enacted and executed under the supervision of the biologist.
3. **Fencing.**
  - 3.1. Establish fencing around each tree or grove of trees to be retained as shown on the tree protection site plan in Appendix C.
  - 3.2. The fencing is to be put in place before the ground is cleared to protect the trees and the soil around the trees from any disturbance at all. The exception is if trees are to be removed that are located within the tree protection zones, they should be removed prior to installing the tree protection fencing without the use of mechanized wheeled or tracked equipment.
  - 3.3. Fencing is to be placed at the edge of the root protection zone as shown on the Tree Protection Plan (Appendix C). Root protection zones are established by the project arborist based on the needs of the site and the tree to be protected.
  - 3.4. “Protection fencing consisting of a minimum 6-foot-high metal chain-link fencing, secured with 8-foot metal posts shall be established at the edge of the root protection zone and permissible encroachment area on the development site. Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing.” If construction fencing is used it is recommended that the panels are secured to prevent movement of the fencing during construction.
  - 3.5. Fencing is to remain in the position that is established by the project arborist and not to be moved without written permission from the project arborist until the end of the project after the final inspection has been completed.

### Signage

- 3.6. All tree protection fencing should have signage clearly indicating that the area is a vegetation protection zone (Signage provided with the tree protection application).
- 3.7. Signage should be placed so as to be visible from all sides of a tree protection area and spaced every 35 feet.

## During Construction

### 4. Protection guidelines within the Root Protection Zone

- 4.1. No traffic shall be allowed within the root protection zone. No vehicle, heavy equipment, or even repeated foot traffic.
- 4.2. No storage of materials including but not limited to soil, construction material, or waste from the site.
- 4.3. Waste includes but is not limited to concrete wash out, gasoline, diesel, paint, cleaner, thinners, etc.
- 4.4. Construction trailers are not to be parked / placed within the root protection zone without written clearance from the project arborist.
- 4.5. No vehicles shall be allowed to park within the root protection areas.
- 4.6. No activity shall be allowed that will cause soil compaction within the root protection zone.
- 4.7. The use of straw wattles is strongly recommended instead of silt fencing to avoid the need for trenching within the root protection zones.

### 5. Landscaping

- 5.1. Landscaping within the tree protection zones at a distance of 12X the diameter of the tree may commence after approval from the project arborist.
- 5.2. Inground irrigation systems must be avoided, and it is recommended that only above ground irrigation systems are used. Temporary systems and/or drip irrigation are preferred.
- 5.3. Any hardscapes within the tree protection zones shall be approved by the project arborist prior to soil disturbance taking place.
- 5.4. Landscape vegetation can be installed inside of the tree protection zones by pocket planting only. It is not recommended that soils are amended unless laboratory testing indicates that soil amelioration is needed.
- 5.5. No more than 4" of fill is allowed within the tree protection zone measured at a distance of 12X the diameter in circumference of the trees. No more than 25% of the tree protection zone may be impacted without the consent of the project arborist.
- 5.6. It is highly recommended that nutrient rich mulch or arborist woodchips are used in the planter areas. The material may be enriched with nitrogen to enhance the nutrient uptake by the soils.
6. **Tree protection.** Retained trees shall be protected from any cutting, skinning, or breaking of branches, trunks, or roots.
7. **Root pruning.** The roots that are to be cut from existing trees that are to be retained, the project consulting arborist shall be notified to evaluate, document, and oversee the proper cutting of roots with sharp cutting tools. Cut roots are to be immediately covered with soil or mulch to prevent them from drying out.
8. **Grade changes.** No grade change should be allowed within the root protection zone.
9. **Root protection zone changes.** Any necessary deviation of the root protection zone shall be cleared by the project consulting arborist in writing.
10. **Watering.** Provide water to trees during the summer months as needed. Tree(s) that will have had root system(s) cut back will need supplemental water to overcome the loss of ability to absorb necessary moisture during the summer months.
11. **Utilities.** Any necessary passage of utilities through the root protection zone shall be by means of tunneling under roots by hand digging or boring.
12. **Re-inspection of fencing.** Tree protection fencing is subject to inspection by the city. The project arborist highly recommends monthly inspections of tree protection fencing to ensure compliance with the permit and protection of the trees.



### After Construction

13. Fences are to remain standing until the final inspection has been completed by the city for the project.
14. Provide for or ensure that adequate drainage will occur around the retained trees.
15. Pruning of the existing trees should be completed as one of the last steps of the landscaping process before the final placement of trees, shrubs, ground covers, mulch, or turf.
16. Trees that are retained may need to be fertilized as called for by the project arborist if acceptable thresholds are exceeded. Lab analysis may be required.
17. The existing trees should be monitored for decline for a period of three years post construction. Proper care should be prescribed if the trees start to show signs of stress.

**If there are any questions or concerns regarding the proper protection of the trees during the construction process, contact the project arborist.**

# VEGETATION/TREE PROTECTION ZONE

**DO NOT REMOVE OR ADJUST THIS FENCING.  
THE FENCE LOCATIONS ARE APPROVED TO PROTECT  
VEGETATION AND TREES.**

Contact the project arborist if access within the tree protection fencing is needed. All work within the tree protection zones of the trees must be approved and supervised by the project arborist.



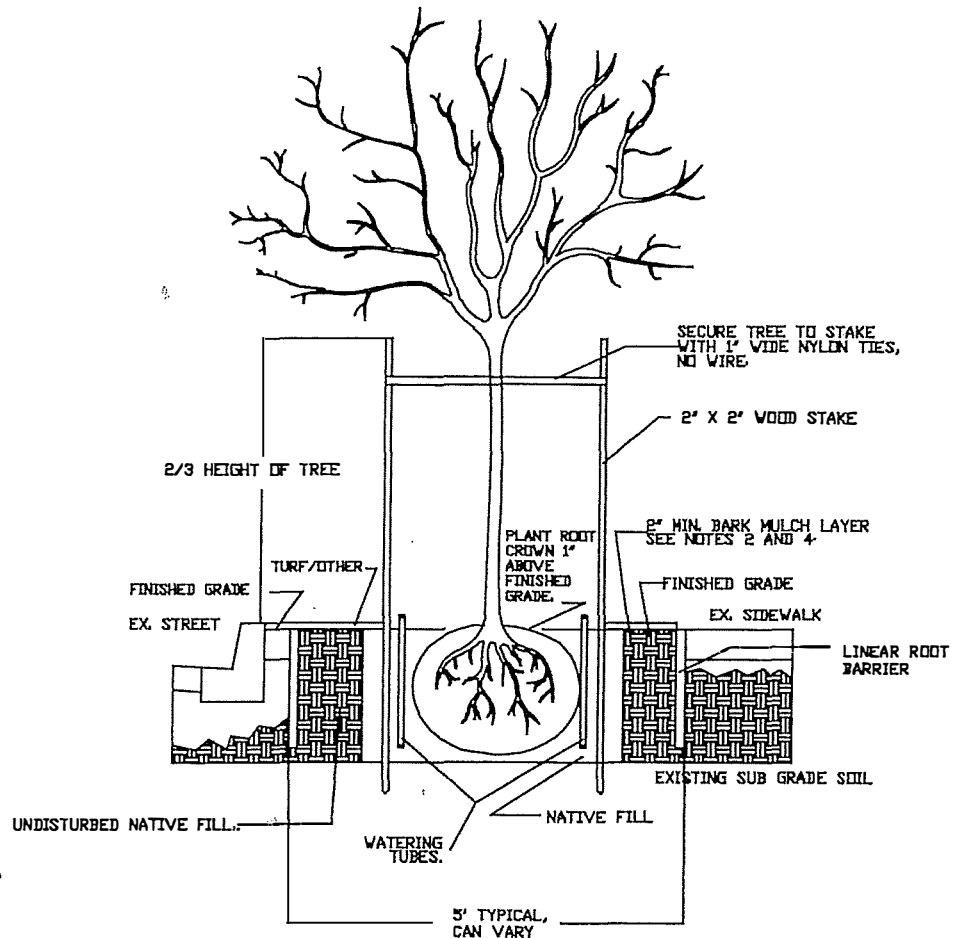
**Project Arborist:** TERAGAN & ASSOCIATES, INC 503-697-1975

Unauthorized access within the tree protection zones, moving and damaging the tree protection fencing, and actions that violate the tree protection measures set forth in the tree protection plan for this project may result in stop work orders, fees and fines in accordance with local municipal codes, and monetary values owed to the owner of the tree in accordance with the Guide for Tree and Plant Appraisal, 10th Edition Revised, trunk formula technique method for the appraised value of the tree when trees are irreparable damaged.

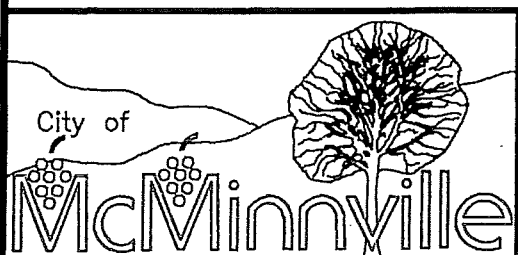


TREE PLANTING IN PARKWAY DETAIL

SECTION



1. PLANTING PIT EX ROOTBALL WIDTH.
2. DIG PLANTING PIT NO DEEPER THAT ROOTBALL.
3. BACKFILL WITH NATIVE MATERIAL.
4. TO MINIMIZE SIDEWALK AND TREE ROOT CONFLICTS, INSTALL LINEAR ROOT BARRIER; COMMERCIALLY ENGINEERED, 10 FEET LONG CENTERED ON THE TREE, 18" DEEP, ON THE CURB SIDE AND SIDEWALK SIDE OF THE TREE.
5. ON BALLED AND BURLAP TREES, CUT & PEEL AWAY WIRE FRAME FROM ROOTBALL, LEAVE BURLAP AND FRAME IN PLANTING HOLE.



MCMINNVILLE PUBLIC WORKS DIVISION  
 PARKWAY TREE PLANTING DETAIL-

NOT TO SCALE

DATE: MAY 2014

DRAWING NO. 34B