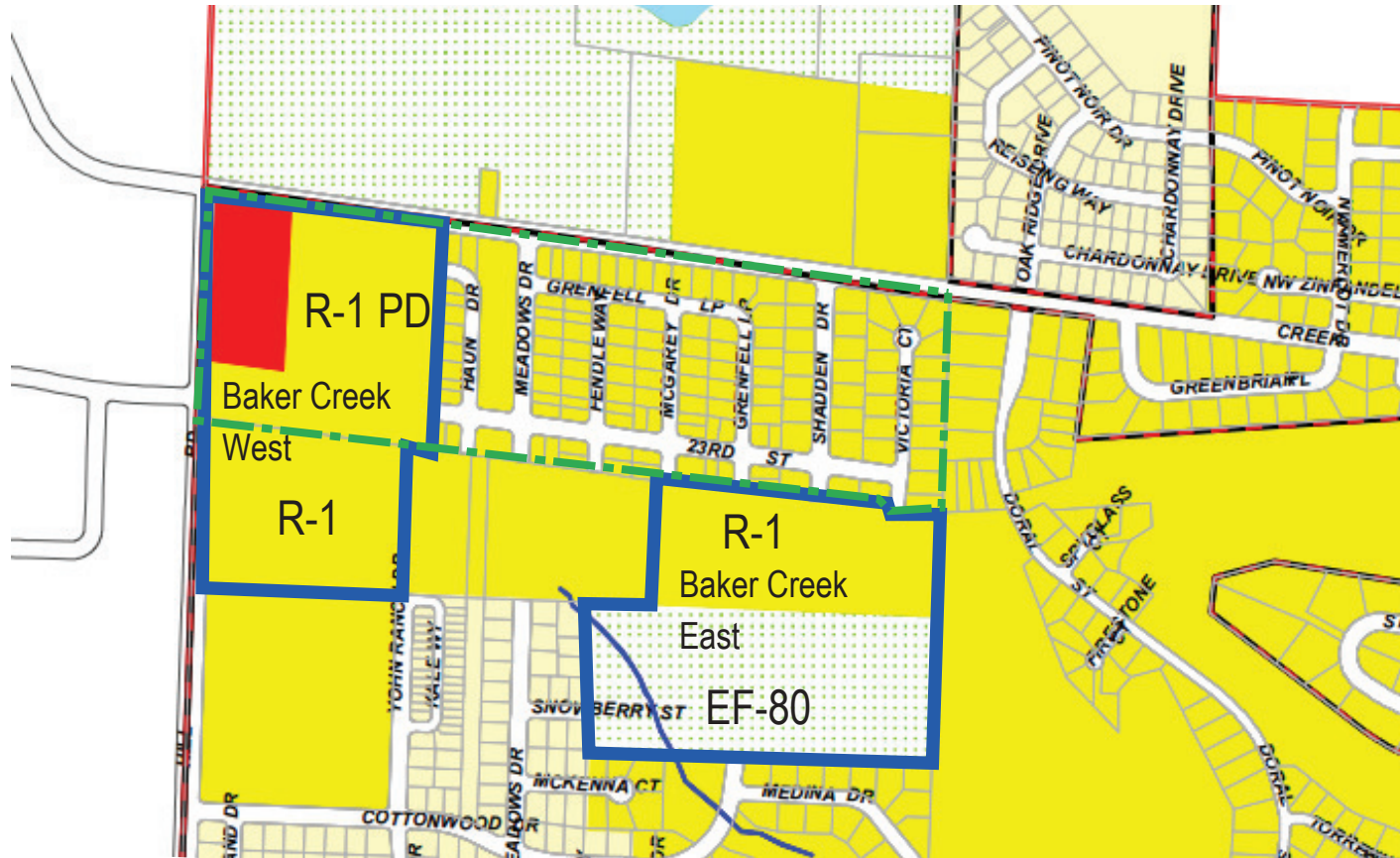


# Exhibit D Existing Zoning Map



## Legend

City Limits	County Zoning	City Zoning
City	LDR9000	R-1
	VLDR-1	R-2
	AF-20	C-3
	EF-80	PD



8/25/2016 2:18:11 PM  
 R:\wpd\Stafford Land Company\Baker Creek\PRELIM\CIVIL\REFS\SURVEY TOPO BASE.dwg. (Layout1 tab)

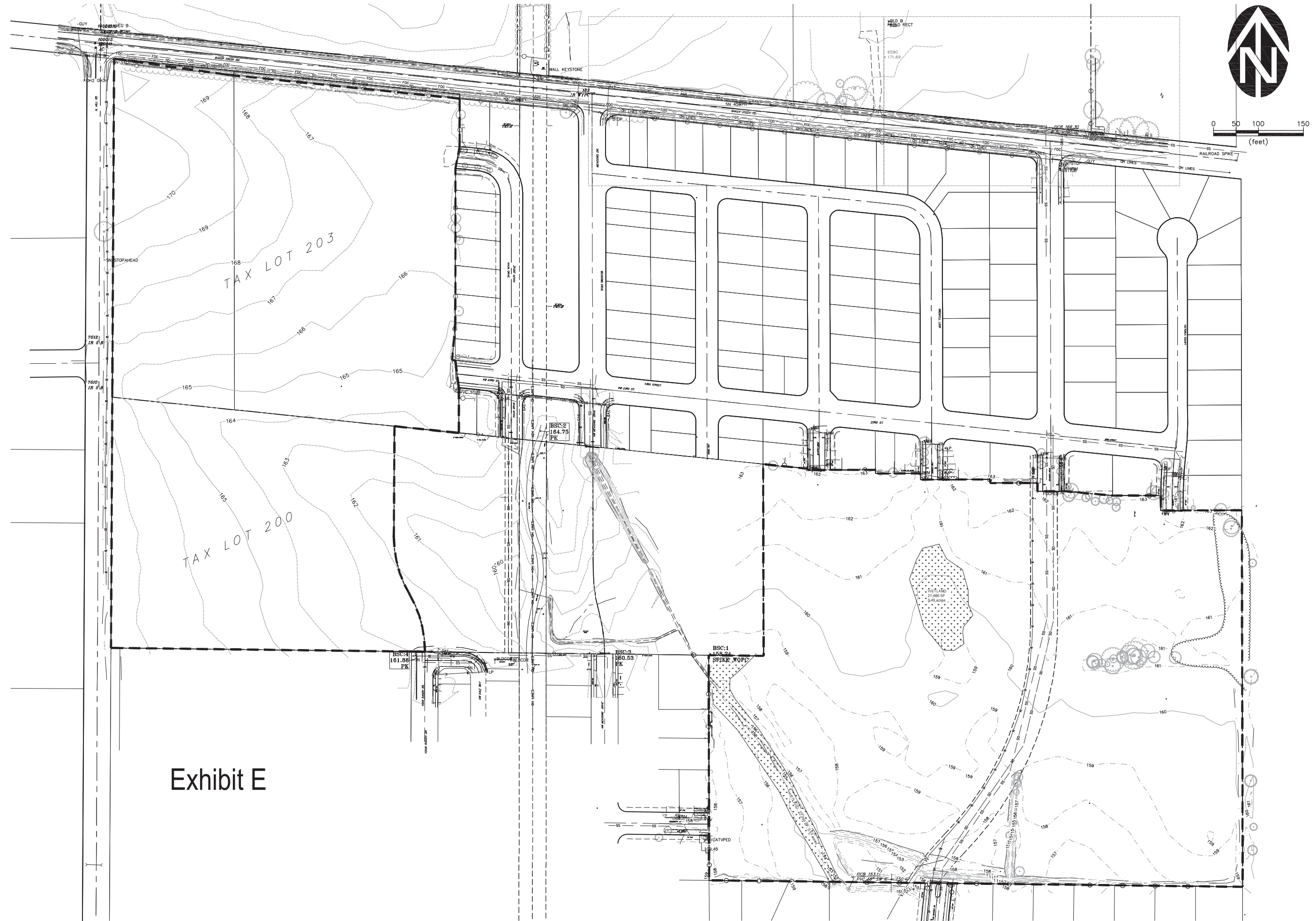
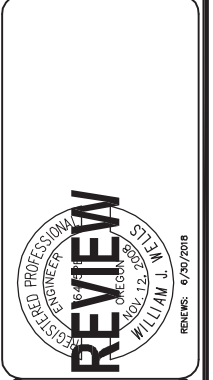


Exhibit E

NO.	DATE	DESCRIPTION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING  
 IF NOT ONE INCH ON  
 SCALES ACCORDINGLY

DSN. JW  
 DRN. RGS  
 CKD. JW  
 DATE: APR 2016



**WESTTECH ENGINEERING, INC.**  
 CONSULTING ENGINEERS AND PLANNERS

**WE**

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 585-2474 Fax: (503) 585-3986  
 E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
 BAKER CREEK SUBDIVISION  
 EXISTING CONDITIONS—  
 TOPOGRAPHICAL SURVEY

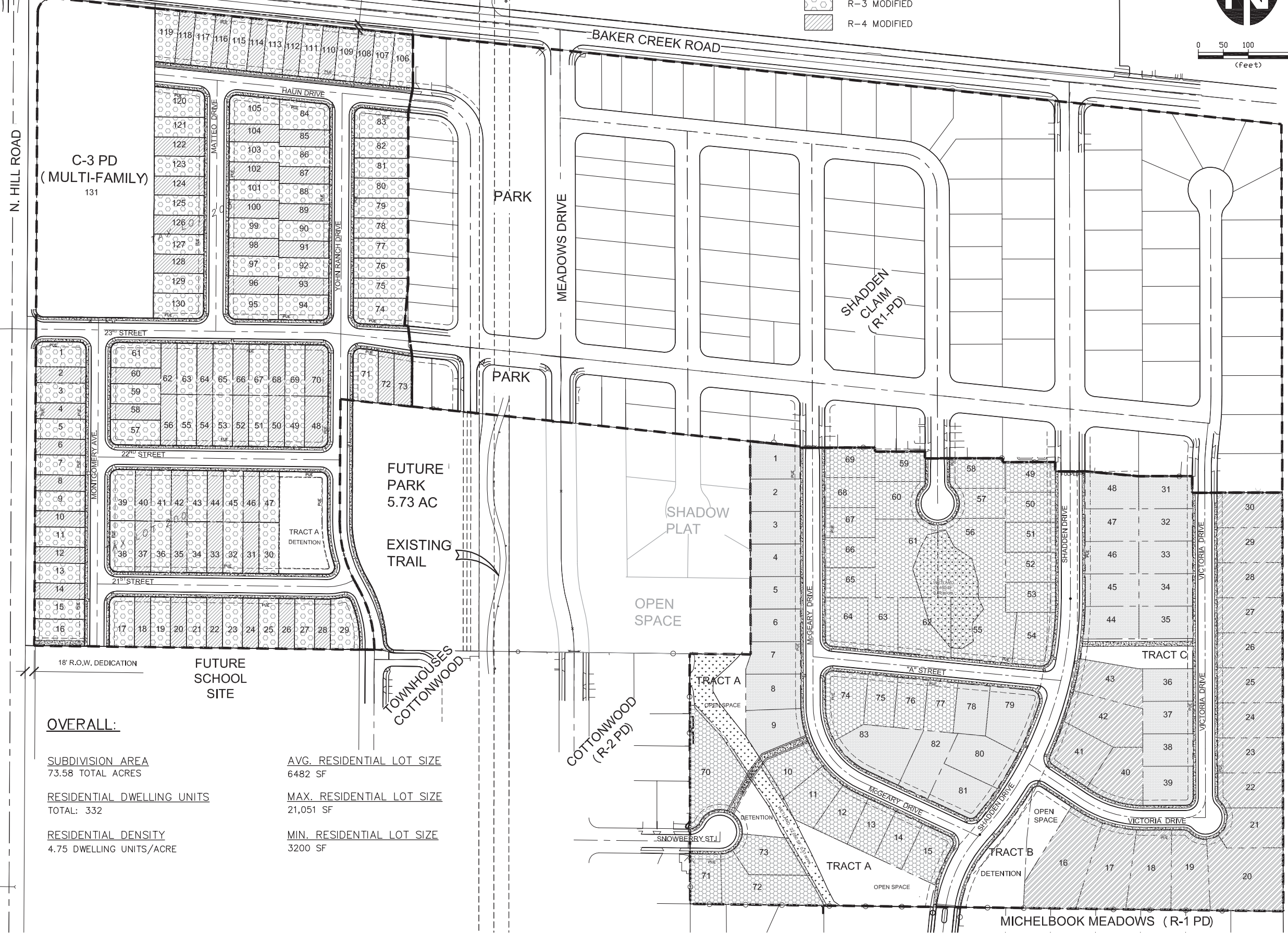
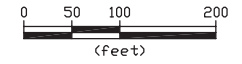
DRAWING  
**OVR-2**  
 JOB NUMBER  
 2940.0000.0

# Exhibit F

C-3 PD  
COMMERCIAL

LOT TYPE LEGEND

	R-1
	R-2 ADJUSTED
	R-3 ADJUSTED
	R-3 MODIFIED
	R-4 MODIFIED



**OVERALL:**

SUBDIVISION AREA  
73.58 TOTAL ACRES

RESIDENTIAL DWELLING UNITS  
TOTAL: 332

RESIDENTIAL DENSITY  
4.75 DWELLING UNITS/ACRE

AVG. RESIDENTIAL LOT SIZE  
6482 SF

MAX. RESIDENTIAL LOT SIZE  
21,051 SF

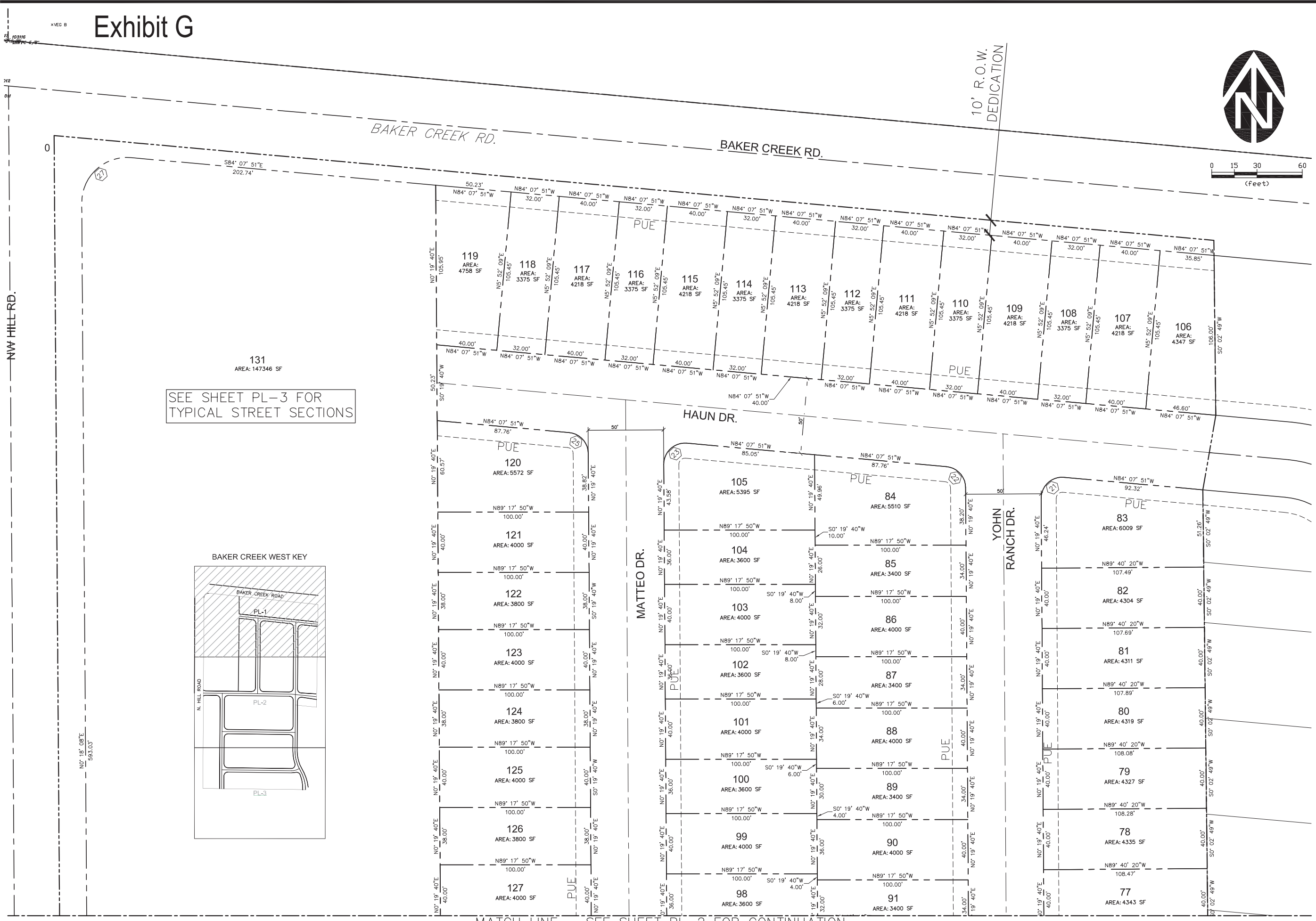
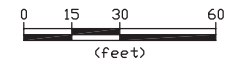
MIN. RESIDENTIAL LOT SIZE  
3200 SF

8/29/2016 10:59:10 AM R:\pds\Stafford Land Company\Baker Creek\PRELIM\GWL\LOTS\NEW\_OVR-1\_BC\_OVALL\_PLAN.dwg (P-1 tab)

	<p><b>REVIEW</b></p> <p>REGISTERED PROFESSIONAL ENGINEER WILLIAM J. WELLS NOV. 12, 2008</p>
<p><b>WESTECH ENGINEERING, INC.</b> CONSULTING ENGINEERS AND PLANNERS</p> <p>3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3986 E-mail: westech@westech-eng.com</p>	<p>STAFFORD LAND COMPANY BAKER CREEK SUBDIVISION</p> <p><b>OVERALL SUBDIVISION PLAN</b></p> <p>DRAWING <b>OVR-1</b></p> <p>JOB NUMBER 2940.0000.0</p>
<p>VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING 0 1" 0 IF NOT ONE INCH ON SCALES ACCURACLY</p>	<p>DSN. JW RGS DRN. JW RGS CKD. JW RGS DATE: APR 2016</p>
<p>NO. 1</p>	<p>DATE</p>
<p>DESCRIPTION</p>	<p>REVISIONS</p>
<p>BY</p>	<p>BY</p>

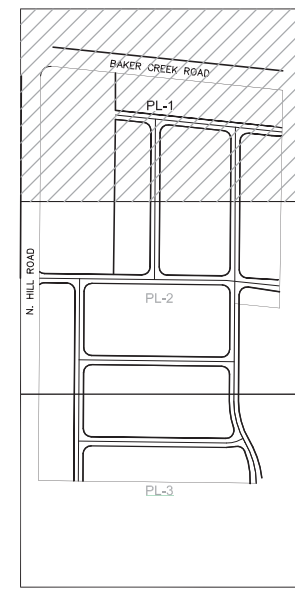
EXISTING GOLF COURSE

# Exhibit G



SEE SHEET PL-3 FOR TYPICAL STREET SECTIONS

BAKER CREEK WEST KEY



8/4/2016 3:28:22 PM R:\pms\Stafford Land Company\Baker Creek\PRELIM\GWL\PLOTS\PL-3-BC-WEST PRELIM PLAT.dwg (HS-1 tab)

NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON SCALES ACCURACLY

DSN: JW  
 DRN: RGS  
 CKD: JW  
 DATE: APR 2016



**WESTTECH ENGINEERING, INC.**  
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 585-2474 Fax: (503) 585-3986  
 E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
 BAKER CREEK SUBDIVISION

## PRELIMINARY PLAT - WEST

DRAWING  
**PL-1**  
 JOB NUMBER  
 2940.0000.0

SEE SHEET PL-3 FOR  
TYPICAL STREET SECTIONS

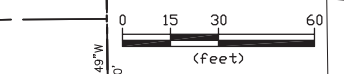
# Exhibit G



MATCH LINE - SEE SHEET PL-1 FOR CONTINUATION



MATCH LINE - SEE SHEET PL-3 FOR CONTINUATION



NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE  
BASED ON ONE INCH ON ORIGINAL DRAWING  
IF NOT ONE INCH ON SCALES ACCURACY

REGISTERED PROFESSIONAL ENGINEER  
STATE OF OREGON  
WILLIAM J. J. KEISER  
NOV. 12, 1983  
RENEW: 6/29/2018

WESTTECH ENGINEERING, INC.  
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
Phone: (503) 585-2474 Fax: (503) 585-3986  
E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
BAKER CREEK SUBDIVISION

PRELIMINARY PLAT - WEST

DRAWING  
PL-2

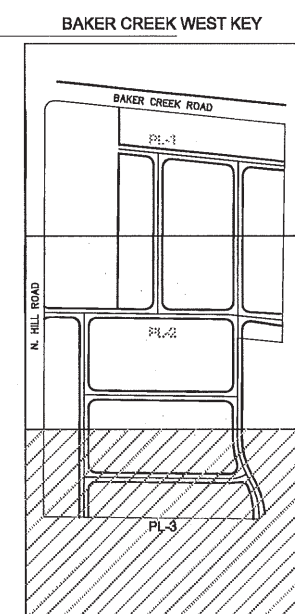
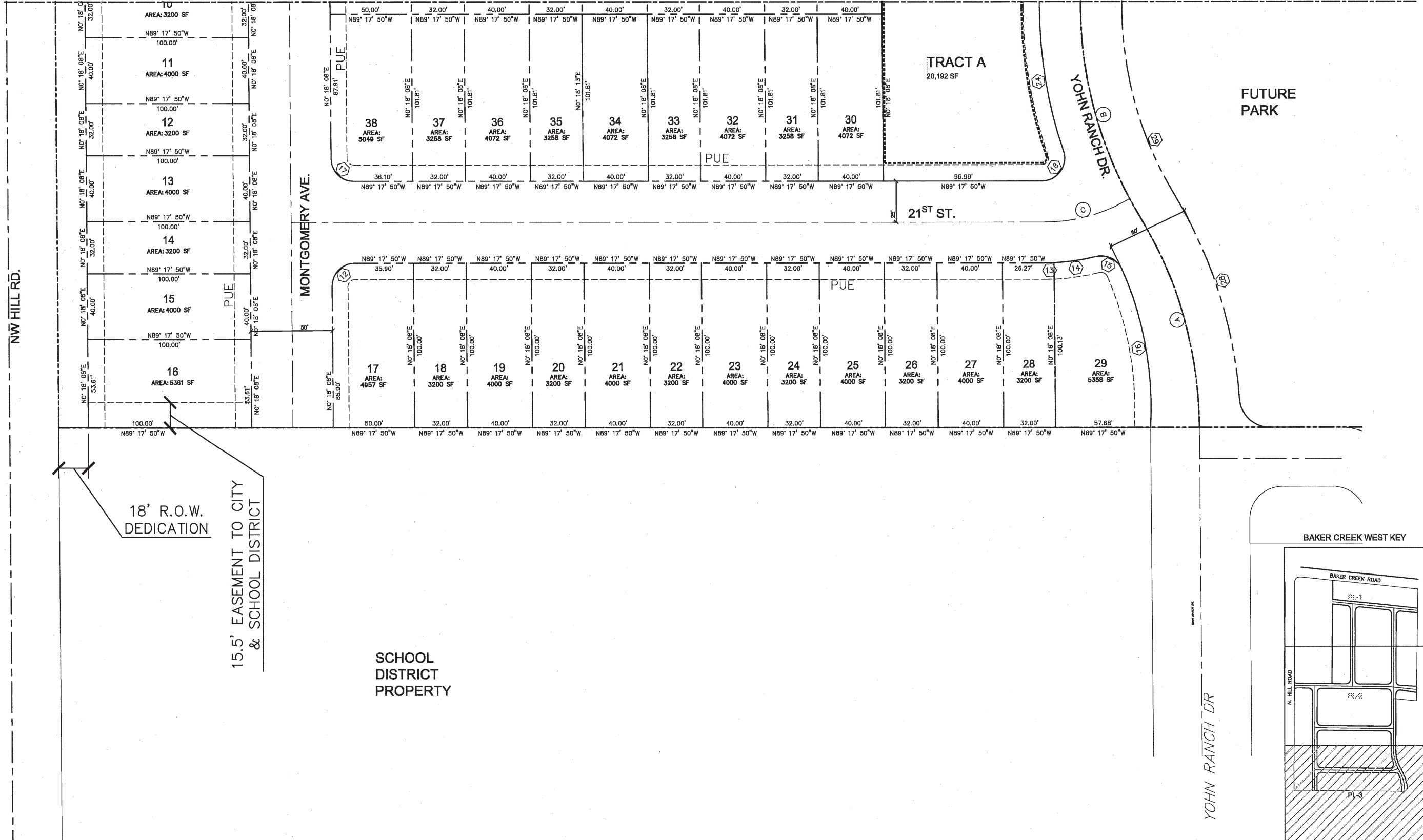
JOB NUMBER  
2940.0000.0

8/4/2016, 3:30:29 PM  
R:\pms\Stafford Land Company\Baker Creek\PRELIM\GWL\PLOTS\PL-3-BC-WEST PRELIM PLAT.dwg. (HS-2, tab)

# Exhibit G



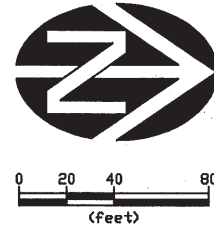
MATCH LINE - SEE SHEET PL-2 FOR CONTINUATION



7/25/2016 9:48:45 AM R:\Draw\Stafford Land Company\Baker Creek\PRELIM CIVIL\LOTS\PL-3-BC-WEST PRELIM PLAT.dwg (15-3 tab)

<p>VERIFY SCALE BASED ON DATA ON ORIGINAL PLATING</p> <p>0 1 1"</p> <p>IF NOT ONE INCH ON THIS SHEET, ADJUST SIZES PROPORTIONALLY</p> <p>DSN. JW DRN. RCS CKD. JW DATE: APR. 2016</p>	<p>BY</p> <p>REVISIONS</p> <p>NO. DATE DESCRIPTION</p>
<p><b>WESTECH ENGINEERING, INC.</b> CONSULTING ENGINEERS AND PLANNERS</p> <p>3941 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3986 E-mail: westech@westech-eng.com</p>	
<p>STAFFORD LAND COMPANY BAKER CREEK SUBDIVISION</p> <p><b>PRELIMINARY PLAT - WEST</b></p>	
<p>DRAWING <b>PL-3</b></p> <p>JOB NUMBER <b>2940.0000.0</b></p>	

# Exhibit H



MATCH LINE - SEE SHEET PL-5 FOR CONTINUATION

NO.	DATE	DESCRIPTION	BY
1	APR 2016		

VERIFIED SCALE  
 HAS BEEN MADE ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

PROFESSIONAL ENGINEER  
**REVIEW**  
 WILLIAM T. STEWART  
 LICENSE NO. 12-12-13-1000  
 REGISTERED PROFESSIONAL ENGINEER  
 DATE: APR 2016

**WE**  
 WESTTECH ENGINEERING, INC.  
 CONSULTING ENGINEERS AND PLANNERS  
 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 565-2474 Fax: (503) 565-3986  
 E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
 BAKER CREEK SUBDIVISION  
**PERLIMINARY PLAT-EAST**

DRAWING  
**PL-4**  
 JOB NUMBER  
**2940.000.0**

7/25/2016 2:48:42 PM  
 R:\Dwg\Stafford Land Company\Baker Creek\PRELIM CIVIL\PLOTS\PL4-PL5-BC EAST PRELIM PLAT.dwg (PL-4.tbl)



7/25/2016 2:48:13 PM  
R:\Dwg\Stafford Land Company\Baker Creek\PRELIM CIVIL PLOTS\PL-4-PL-5-BC EAST PRELIM PLAT.dwg (PL-5 tab)

MATCH LINE - SEE SHEET PL-4 FOR CONTINUATION

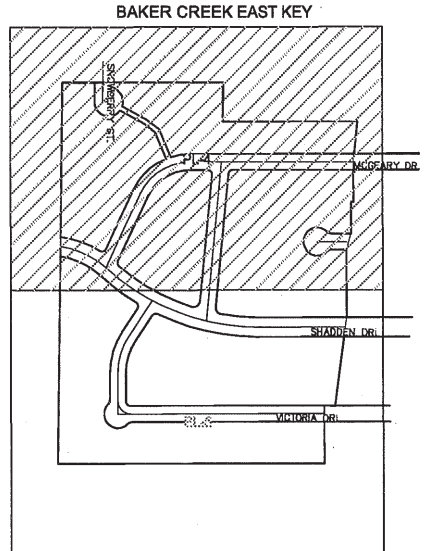
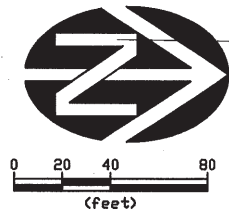


Exhibit H

NO.	DATE	DESCRIPTION	BY
1	APR 2016		

VERIFY SCALE  
ON ALL PLANS  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SIZES PROPORTIONALLY

DATE: APR 2016

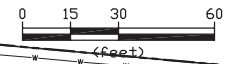
REGISTERED PROFESSIONAL ENGINEER  
**REVIEW**  
WILLIAM T. STEWART, P.E.  
7/25/2016

**WE**  
WESTTECH ENGINEERING, INC.  
CONSULTING ENGINEERS AND PLANNERS  
3941 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
Phone: (503) 585-2474 Fax: (503) 585-3986  
E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
BAKER CREEK SUBDIVISION  
**PERLIMINARY PLAT-EAST**

DRAWING  
**PL-5**  
JOB NUMBER  
**2940.0000.0**

# Exhibit G-1

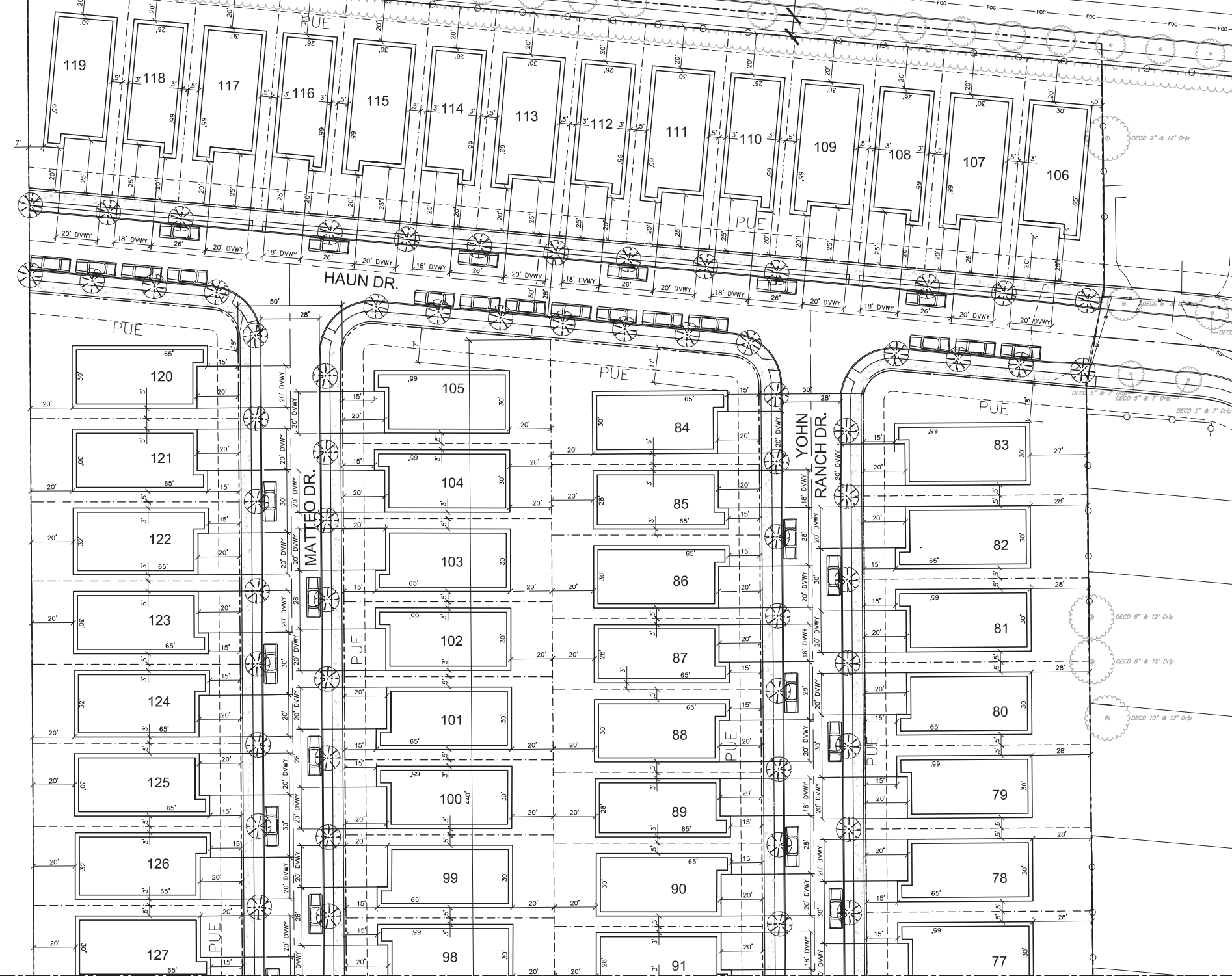


NW HILL RD.

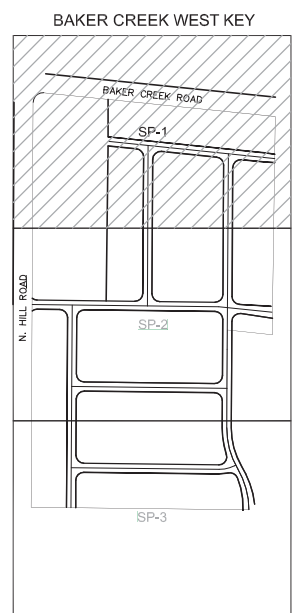
BAKER CREEK RD.

BAKER CREEK RD.

10' R.O.W.  
DEDICATION



C-3 PD  
(MULTI-FAMILY)  
131



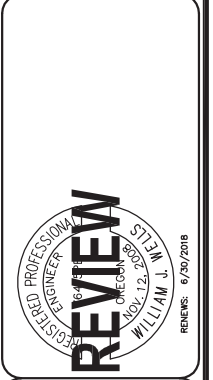
MATCH LINE - SEE SHEET SP-2 FOR CONTINUATION

8/4/2016, 3:04:52 PM  
R:\pms\Stafford Land Company\Baker Creek\PRELIM\GWL\PLOTS\SP1-SP3 BC-WEST SITE PLAN.dwg. (HS-1 tab)

NO.	DATE	DESCRIPTION	BY
1			

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING  
IF NOT ONE INCH ON  
SCALES ACCURACELY

DSN. JW  
DRN. RGS  
CKD. JW  
DATE: APR. 2016



**WESTTECH ENGINEERING, INC.**  
CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
Phone: (503) 585-2474 Fax: (503) 585-3986  
E-mail: westtech@westtech-eng.com

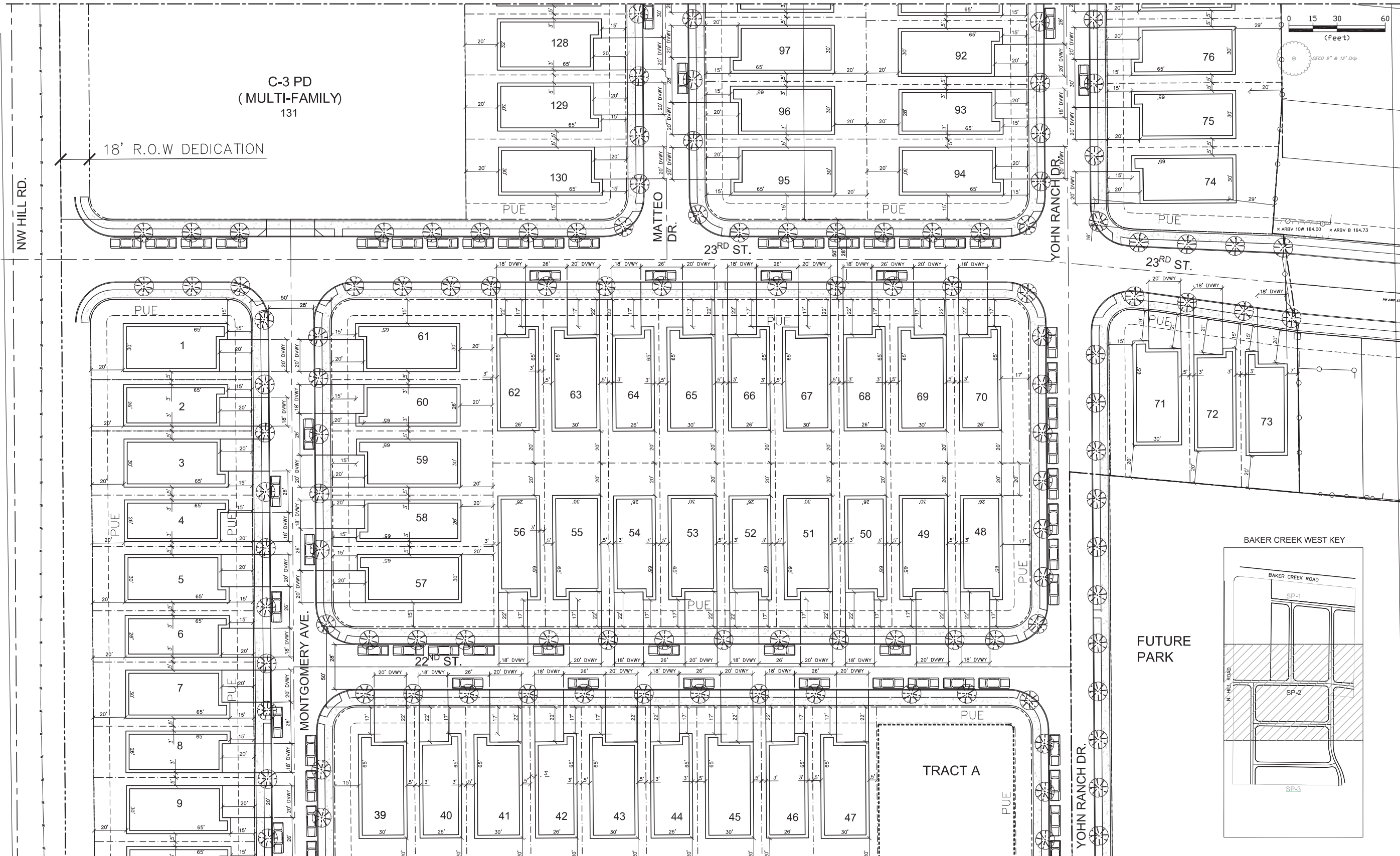
STAFFORD LAND COMPANY  
BAKER CREEK SUBDIVISION  
SITE PLAN - WEST

DRAWING  
SP-1  
JOB NUMBER  
2940.0000.0

# Exhibit G-1



MATCH LINE - SEE SHEET SP-1 FOR CONTINUATION



MATCH LINE - SEE SHEET SP-3 FOR CONTINUATION



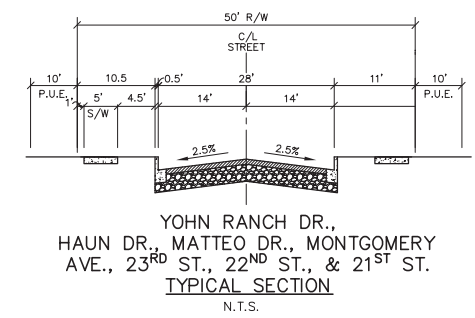
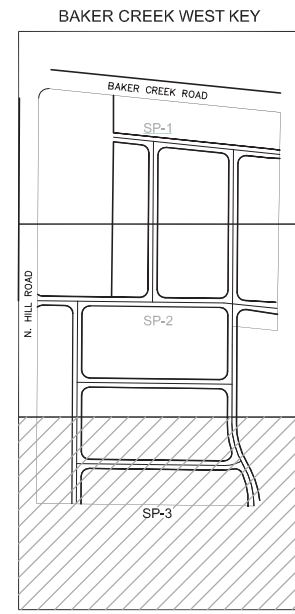
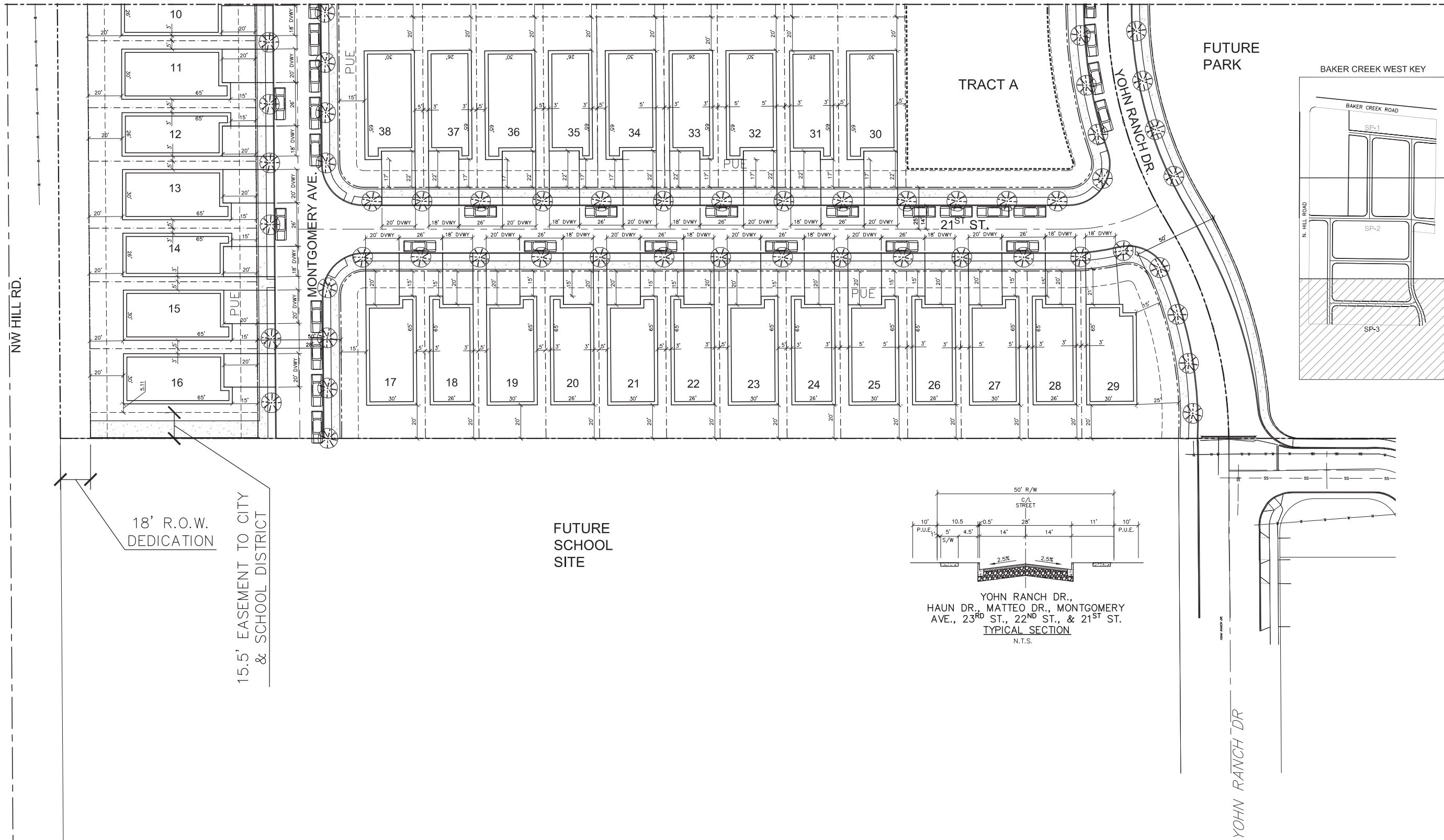
8/4/2016, 3:06:09 PM  
R:\pwp\Stafford Land Company\Baker Creek\PRELIM\CIVIL\PLOTS\SP1-SP3 BC-WEST SITE PLAN.dwg. (HS-2.tbl)

<p>VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCURACELY</p>	<p>PROFESSIONAL REVIEW REGISTERED PROFESSIONAL ENGINEER WILLIAM J. WELLS NOV. 12, 2008 OREGON REG. NO. 12088</p>	<p>WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3986 E-mail: westtech@westtech-eng.com</p>	<p>STAFFORD LAND COMPANY BAKER CREEK SUBDIVISION SITE PLAN - WEST</p>	<p>DRAWING SP-2 JOB NUMBER 2940.0000.0</p>	<p>NO. DATE DESCRIPTION REVISIONS 1 1 DATE: APR. 2016</p>
--	--	---	---	--	---

# Exhibit G-1



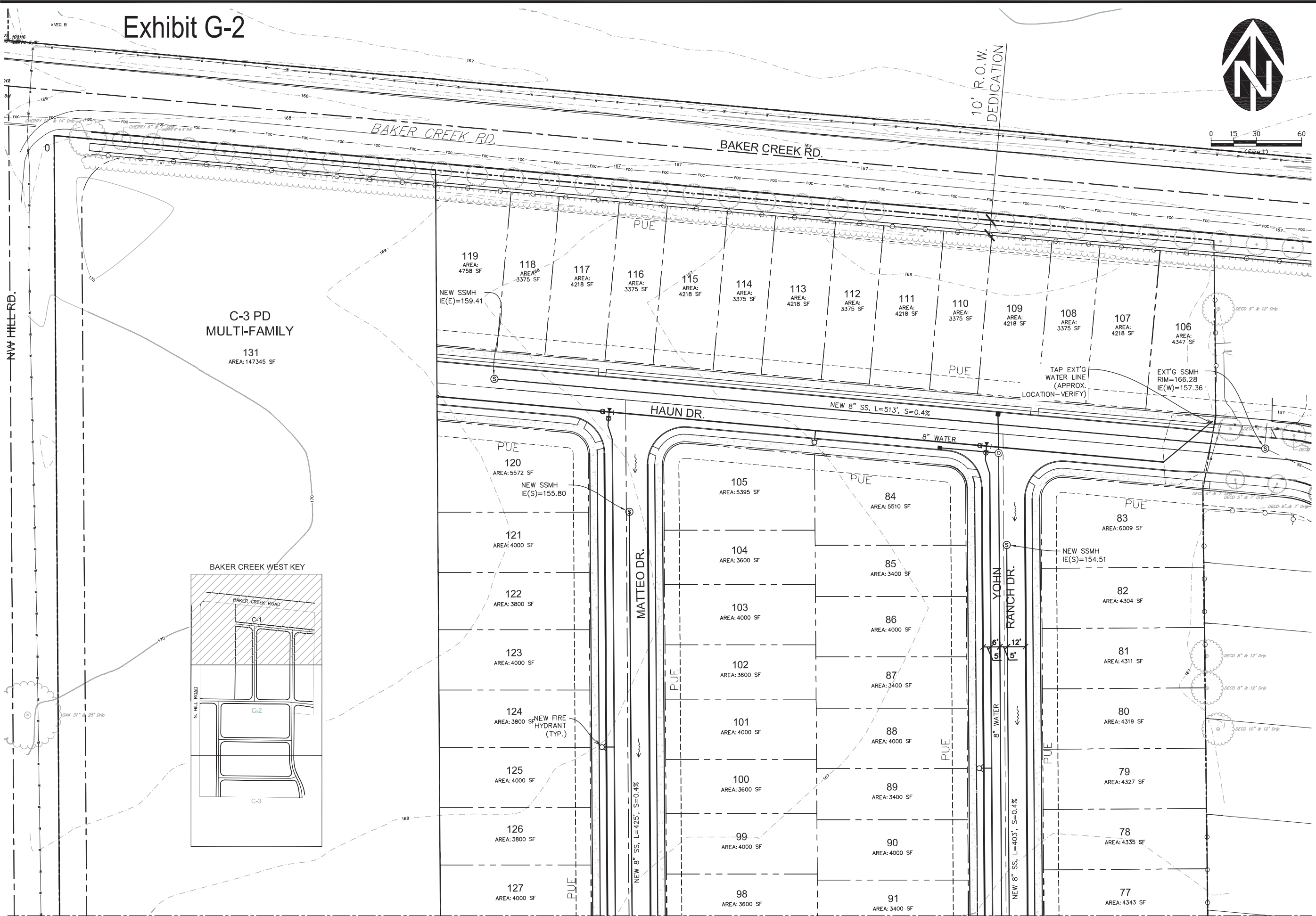
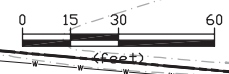
MATCH LINE — SEE SHEET SP-2 FOR CONTINUATION



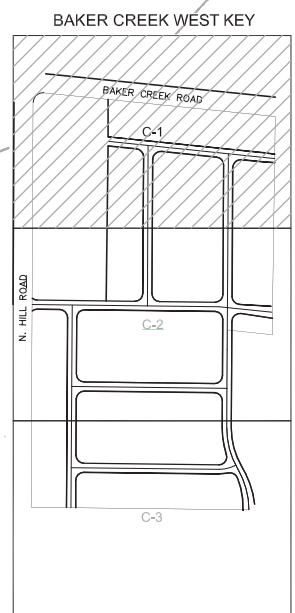
8/4/2016 3:07:22 PM R:\pms\Stafford Land Company\Baker Creek\PRELIM\CIVIL\PLOTS\SPT-SP3 BC-WEST SITE PLAN.dwg. (HS-3 tab)

STAFFORD LAND COMPANY		BAKER CREEK SUBDIVISION		SITE PLAN - WEST	
WESTTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS		3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3986 E-mail: westtech@westtech-eng.com			
<p>VERIFY SCALE BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCURACELY</p>		DSN. JW	DRN. RGS	CKD. JW	DATE: APR 2016
		NO. 1	DATE	DESCRIPTION	BY
				REVISIONS	
DRAWING SP-3		JOB NUMBER 2940.0000.0			

# Exhibit G-2



**C-3 PD MULTI-FAMILY**  
131  
AREA: 147345 SF



MATCH LINE -- SEE SHEET C-2 FOR CONTINUATION

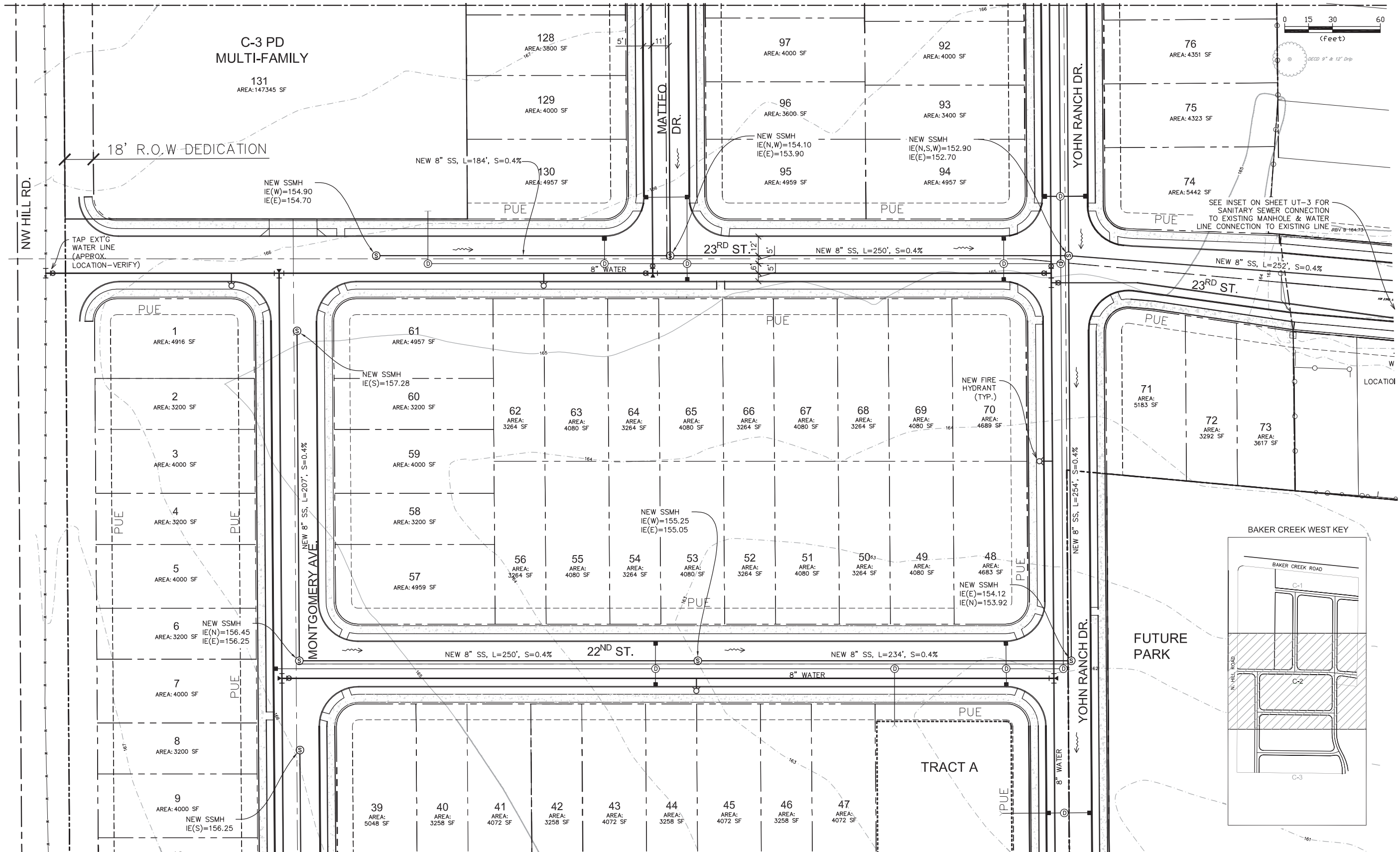
8/4/2016 3:37:37 PM R:\pds\Stafford Land Company\Baker Creek\PRELIM\CIVIL\PLOTS\C1-C3-BC WEST UTIL & GD.dwg. (UT-1.tbl)

	<b>REVIEW</b> <small>REGISTERED PROFESSIONAL ENGINEER          WILLIAM J. WELLS          NO. 12, OREGON          EXPIRES 12/31/2018</small>		<b>WESTECH ENGINEERING, INC.</b> <small>CONSULTING ENGINEERS AND PLANNERS</small> 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3986 E-mail: westech@westech-eng.com
STAFFORD LAND COMPANY BAKER CREEK SUBDIVISION	<b>UTILITY &amp; DRAINAGE PLAN-WEST</b>		
<b>DRAWING C-1</b>			
JOB NUMBER 2940.0000.0			
VERIFY SCALE <small>BAR IS ONE INCH ON ORIGINAL DRAWING          IF NOT ONE INCH ON SCALES ACCURACLY</small>	DSN: JW DRN: RGS CKD: JW	NO. 1 DATE: APR. 2016	DESCRIPTION REVISIONS

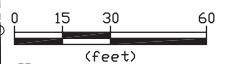
# Exhibit G-2



MATCH LINE - SEE SHEET C-1 FOR CONTINUATION



MATCH LINE - SEE SHEET UT-3 FOR CONTINUATION



VERIFY SCALE  
 THIS IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON SCALES ACCURACLY

SEE INSET ON SHEET UT-3 FOR SANITARY SEWER CONNECTION TO EXISTING MANHOLE & WATER LINE CONNECTION TO EXISTING LINE

REVIEW  
 REGISTERED PROFESSIONAL ENGINEER  
 WILLIAM J. KELLS  
 OREGON REG. NO. 12, 2008  
 DATE: APR. 2016

WESTTECH ENGINEERING, INC.  
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 585-2474 Fax: (503) 585-3986  
 E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
 BAKER CREEK SUBDIVISION

UTILITY & DRAINAGE  
 PLAN - WEST

DRAWING  
 C-2

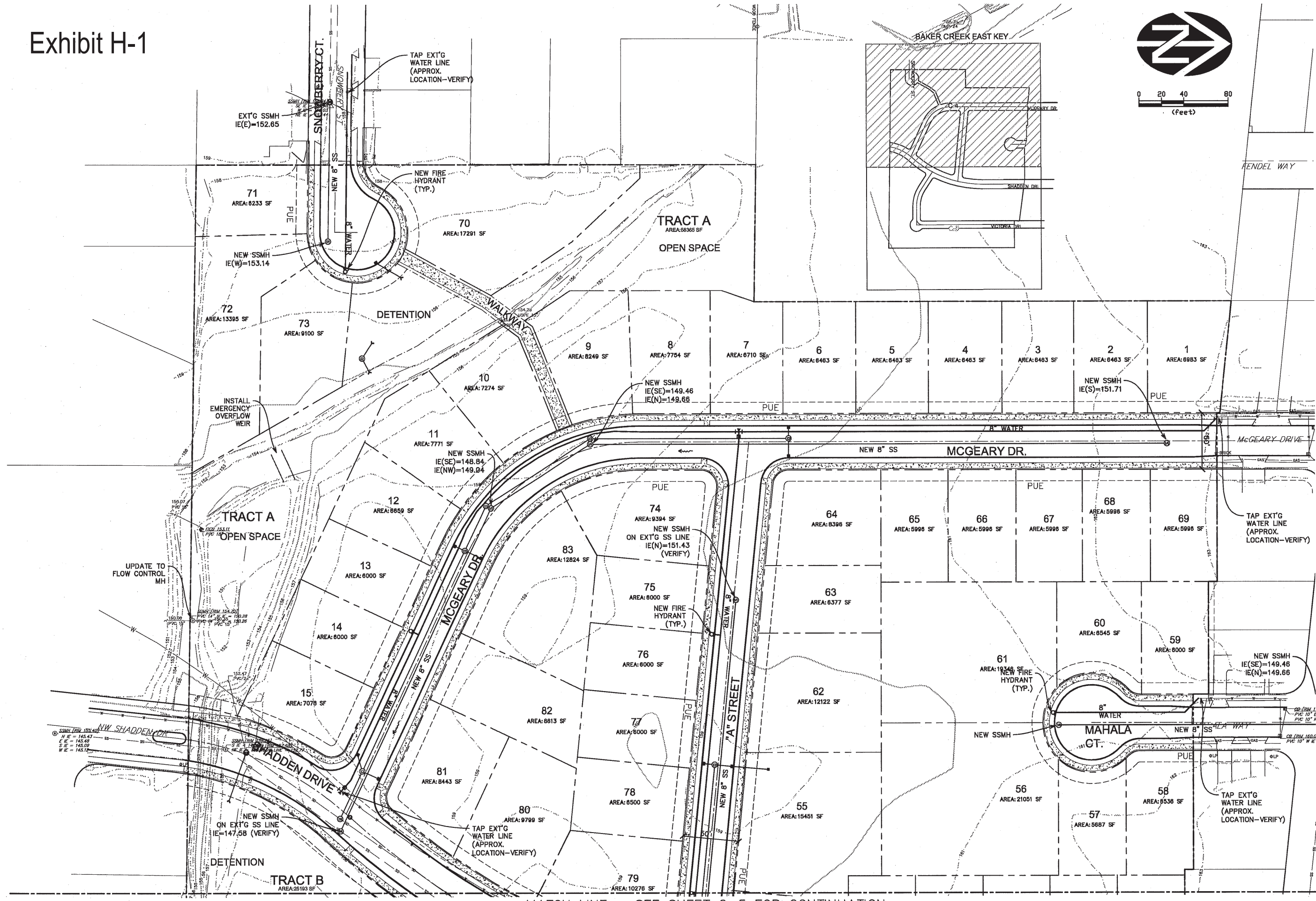
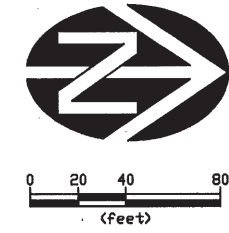
JOB NUMBER  
 2940.0000.0

NO.	DATE	DESCRIPTION	BY
1			

8/4/2016, 3:38:05 PM  
 R:\pds\Stafford Land Company\Baker Creek\PRELIM\GWL\PLOTS\C1-C3-BC WEST UTIL & GD.dwg, (UT-2 tab)



# Exhibit H-1



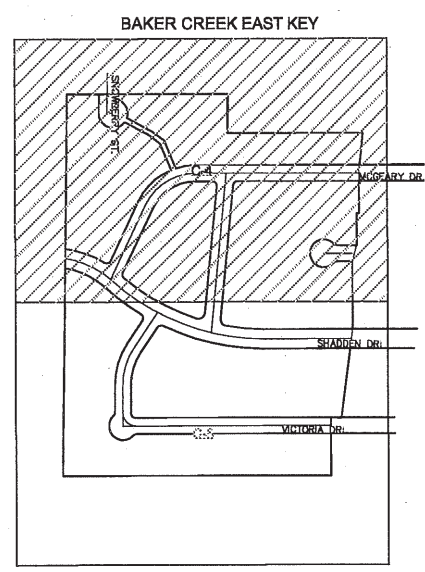
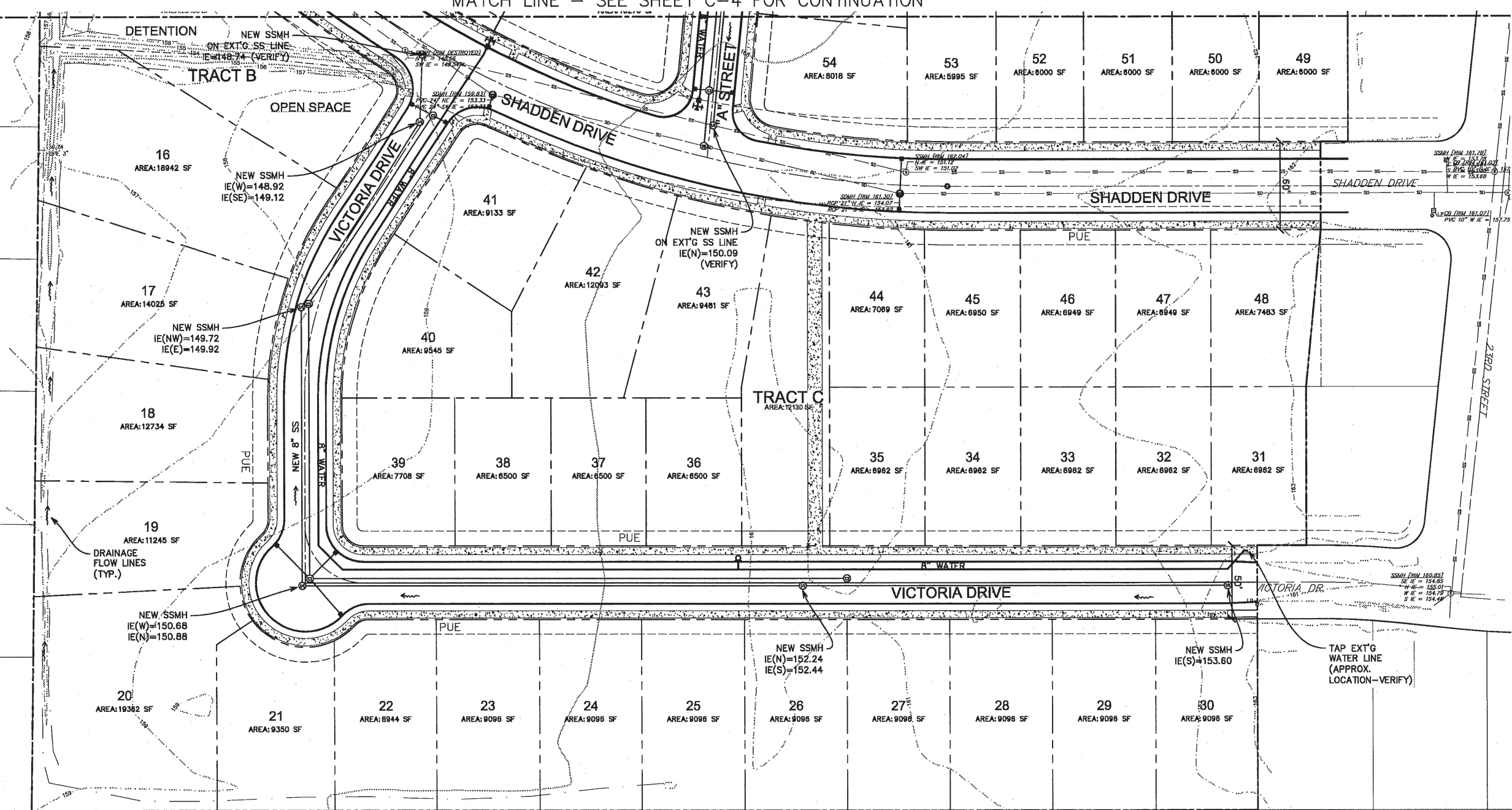
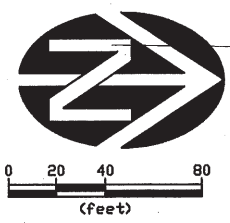
MATCH LINE - SEE SHEET C-5 FOR CONTINUATION

7/25/2016 3:00:18 PM R:\DWG\Stafford Land Company\Baker Creek\PRELIM\CIVIL\PLOTS\C4-C5 - BC EAST UTIL & GD.dwg. (PL-4.tbl)

	<b>REVIEW</b> <small>REGISTERED PROFESSIONAL ENGINEER</small>		<b>UTILITY &amp; DRAINAGE PLAN - EAST</b>	<b>DRAWING C-4</b>	<b>JOB NUMBER 2940.0000.0</b>
<small>WESTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302 Phone: (503) 585-2474 Fax: (503) 585-3986 E-mail: westech@westech-eng.com</small>		<small>STAFFORD LAND COMPANY BAKER CREEK SUBDIVISION</small>		<small>VERIFY SCALE HAS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALE, VERIFY ACCURACY</small>	
<small>DATE: APR. 2016</small>		<small>NO. DATE DESCRIPTION REVISIONS</small>		<small>BY</small>	



MATCH LINE - SEE SHEET C-4 FOR CONTINUATION



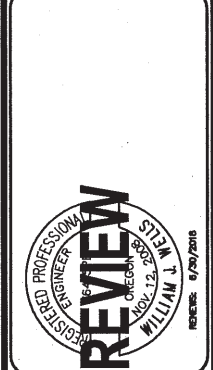
7/25/2016 3:04:37 PM R:\Dwg\Stafford Land Company\Baker Creek\PRELIM\CIVIL\PLOTS\C4-C5 - BC EAST UTIL & GD.dwg (PL-5 tab)

Exhibit H-1

NO.	DATE	DESCRIPTION	BY

VERIFY SCALE  
 BAR IS ONE INCH ON  
 ORIGINAL DRAWING  
 IF ANY ONE INCH OF  
 THIS SHEET ADJUST  
 SCALES ACCORDINGLY

DATE: APR 2016



**WESTTECH ENGINEERING, INC.**  
 CONSULTING ENGINEERS AND PLANNERS

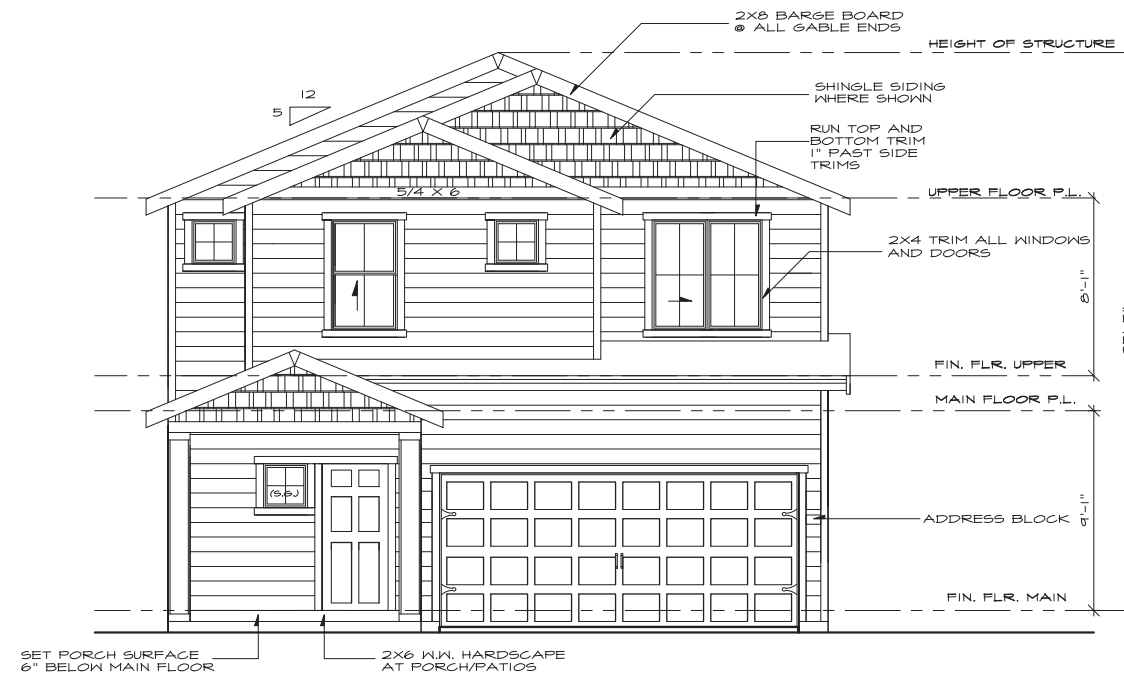
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302  
 Phone: (503) 585-2474 Fax: (503) 585-3986  
 E-mail: westtech@westtech-eng.com

STAFFORD LAND COMPANY  
 BAKER CREEK SUBDIVISION  
 UTILITY & DRAINAGE  
 PLAN - EAST

DRAWING  
 C-5  
 JOB NUMBER  
 2940.0000.0

Written dimensions on this drawing shall have precedence over scaled dimensions. Contractor shall verify all dimensions, conditions, etc., pertaining to the work before proceeding. The Owner must be notified of any variations from the dimensions and/or conditions shown on these drawings. Any such variation shall be resolved by the Owner prior to proceeding with the work, or the Contractor shall accept full responsibility for the cost to rectify same.

# Exhibit I



**FRONT ELEVATION "A"**  
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



**REAR ELEVATION "A"**  
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"

**NOTES:**

1. ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED, PAINTED OR CEDAR.
2. CAULK AND SEAL ALL WINDOW/DOOR AND EXTERIOR ENVELOPE PENETRATIONS.
3. GLAZING PER STATE ENERGY CODE.
4. SEPERATE PERMITS ARE REQUIRED FOR FENCES, PLUMBING, MECHANICAL, AND ELECTRICAL.
5. PROTECTION FROM DECAY IS REQUIRED FOR ALL WOOD SIDING AND WALL FRAMING LESS THAN 2" ABOVE CONCRETE STEPS, PORCH SLABS, PATIO SLABS, AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER
6. REFER TO ALL ELEVATIONS FOR TYPICAL NOTES.
7. S.G. = SAFETY GLASS

**FLASHING NOTE**

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS.

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS
3. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPINGS AND SILLS
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM
5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION
6. AT WALL AND ROOF INTERSECTIONS
7. AT BUILT IN GUTTERS



**NASH & ASSOCIATES**  
**ARCHITECTS**  
8003 116TH AVE NE - KIRKLAND, WA - 98033 •  
425-828-4117  
www.nash-architects.com



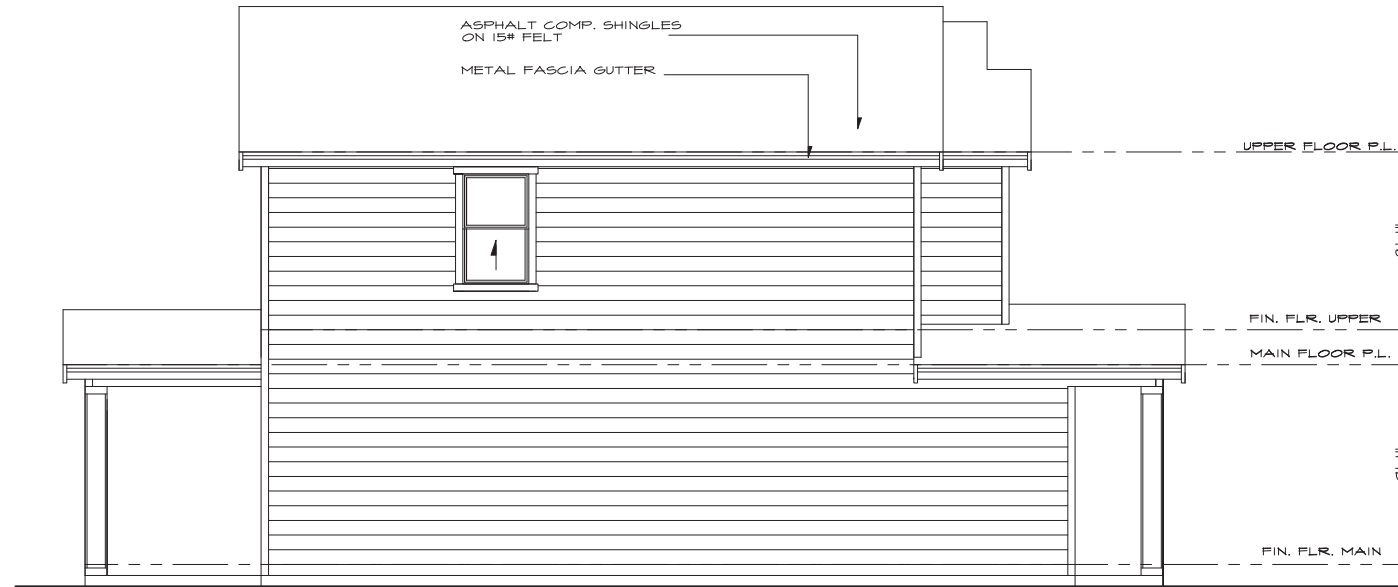
Project: **PLAN 1623**  
**ELEVATION A**  
**CYPRESS**

date: 03-07-16  
permit:  
revisions:

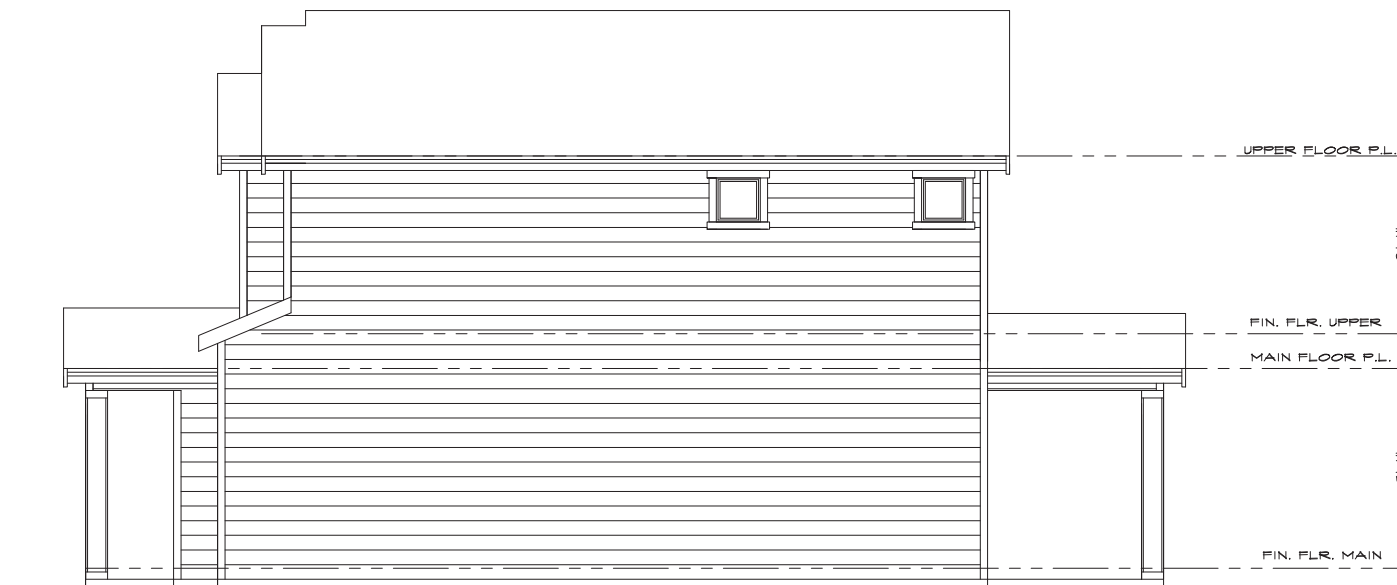
drawn by: MKJ  
checked by:

SHEET **A1**  
OF **A8**

Written dimensions on this drawing shall have precedence over scaled dimensions. Contractor shall verify all dimensions, conditions, etc., pertaining to the work before proceeding. The Owner must be notified of any variations from the dimensions and/or conditions shown on these drawings. Any such variation shall be resolved by the Owner prior to proceeding with the work, or the Contractor shall accept full responsibility for the cost to rectify same.



**LEFT ELEVATION "A"**  
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION "A"**  
SEE GENERAL NOTES SCALE: 1/4" = 1'-0"



**NASH & ASSOCIATES**  
**ARCHITECTS**

8003 116TH AVE NE - KIRKLAND, WA • 98033 •  
425-828-4117  
www.nash-architects.com



**PLAN 1623**  
**ELEVATION A**  
**CYPRESS**

date: 03-07-16  
permit:  
revisions:

drawn by: MKJ  
checked by:

SHEET  
**A**  
OF  
**A8**

• USING ADDITION MEASURES OPTION #2 •  
WITH CONSERVATION MEASURE 'A'  
SEE PAGE 2 FOR ENERGY CODE

OREGON RESIDENTIAL ENERGY CODE	
BUILDING COMPONENTS	
MAXIMUM ALLOWABLE WINDOW AREA	NO LIMIT
WINDOW CLASS	U+@.30
DOOR OTHER THAN MAIN ENTRY	U+@.20
MAIN ENTRY DOOR, MAXIMUM 24 SQ. FT.	U+@.34
WALL INSULATION	R-21
UNDER-FLOOR INSULATION	R-30
FLAT CEILING	R-49
VAULTED CEILING	R-38
SKYLIGHT CLASS	U+@.60
SKYLIGHT AREA	< 2%
BASEMENT WALLS	R-21
SLAB FLOOR EDGE INSULATION	R-15
FORCED AIR DUCT INSULATION	R-8
FORCED AIR WALL HEATER	

**RADON CONTROL: PER ORS C, APPENDIX F, SECTION AF03. FOLLOW ALL REQUIREMENTS AS REQUIRED, NOTING DAMPPROOFING, SEALING AT ALL PENETRATIONS AT FLOOR LINE, INCLUDING DUCTING, HORIZONTAL AND VERTICAL VENT PIPING THROUGH ALL FLOORS TO EXIT ROOF AND ELECTRICAL BOX IN ATTIC FOR POSSIBLE FUTURE EXHAUST REQUIREMENTS.**

**SUB-MEMBRANE DEPRESSURIZATION SYSTEM FOR CRAWL SPACE**

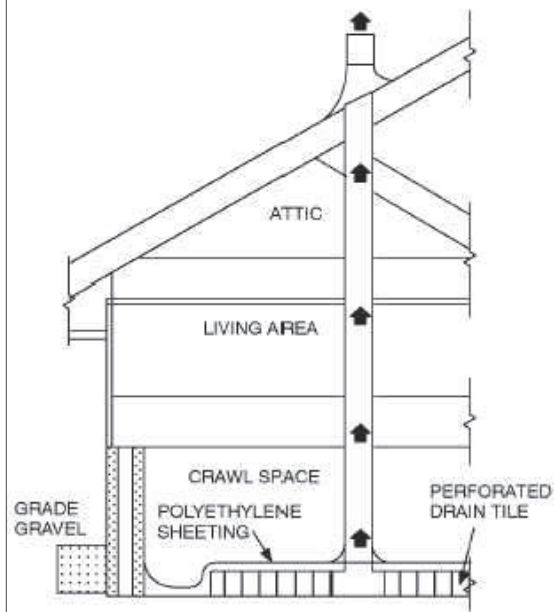
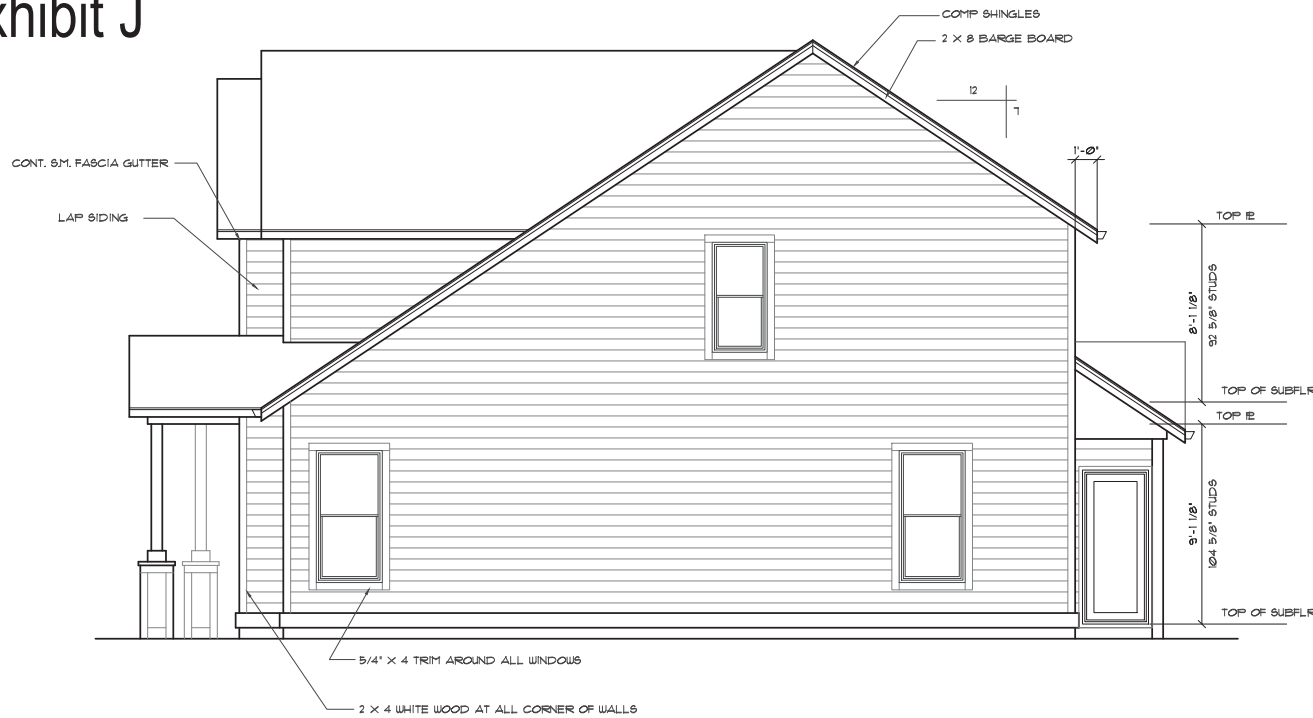


TABLE N1101.1(2)  
ADDITIONAL MEASURES

Envelope Performance Measure (Subject One)	Additional Measures
1	<b>High efficiency walls &amp; windows:</b> Exterior walls—U-0.047OR: 0.95 insulation sheathing/SPS, and one of the following options: Windows—Max. 18 percent of conditioned area, or Windows—U-0.30
2	<b>High efficiency envelope:</b> Exterior walls—U-0.047OR: 21 Intermediate framing, and Vaulted ceilings—U-0.033R-30A <sup>2</sup> , and Flat ceilings—U-0.023R-48, and Floored floors—U-0.023R-38, and Windows—U-0.30, and Doors—All doors U-0.30, or Additional 12 percent of permanently installed lighting fixtures as high-efficiency lamps or Conservation Measure D and E.
3	<b>High efficiency ceiling, windows &amp; door sealing:</b> (Cannot be used with Conservation Measure E.) Vaulted ceilings—U-0.033R-30A <sup>2</sup> , and Flat ceilings—U-0.023R-49, and Windows—U-0.30, and Performance tested door systems <sup>2</sup> .
4	<b>High efficiency thermal envelope (A):</b> Proposed UA is 15% lower than the Code UA when calculated in Table N1104.1(1). <b>Building tightness testing, ventilation &amp; duct sealing:</b> A new home of exhaust, supply, or combination system providing whole building ventilation rates specified in Table N1104.1(3), or ASHRAE 62.2, and The dwelling shall be tested with a blower door and found to exhibit no more than 1.0 air changes per hour <sup>2</sup> , or 2.0 air changes per hour <sup>2</sup> when used with Conservation Measure E, and Performance tested door systems <sup>2</sup> .
5	<b>Permit HVAC system within conditioned space:</b> (Cannot be used with Conservation Measure B or C.) All ducts and air handlers are contained within building envelope <sup>2</sup> .
6	<b>High efficiency HVAC system:</b> A Gas fired furnace or boiler with minimum AFUE of 90% or Air source heat pump with minimum HSPF of 8.5 or C Low-voltage ground source heat pump with minimum COP of 3.0. <b>Ducted HVAC system within conditioned space:</b> All ducts and air handlers are contained within building envelope. <b>Heatless heat pump:</b> Electric resistance heating is at least the primary zone of dwelling with at least one ductless mini-split heat pump having a minimum HSPF of 8.5. Unit shall not have integrated backup resistance heat, and the unit for units, if more than one is installed in the dwelling shall be used to have capacity to meet the entire dwelling design heat loss rate at outdoor design temperature conditions. Conservation electric resistance heating may be provided for any secondary zones in the dwelling. A packaged terminal heat pump (PTHP) with comparable efficiency ratings may be used when no supplemental heat sources are installed in the building and integrated backup resistance heat is allowed in a PTHP. <b>High efficiency water heating &amp; lighting:</b> Natural gas/propene on-demand water heating with min EF of 0.90, and A minimum 75 percent of permanently installed lighting fixtures as CFL or linear fluorescent or a min efficiency of 40 lumens per watt as specified in Section N1107.2. <b>Energy management device &amp; duct sealing:</b> Whole building energy management device that is capable of monitoring or controlling energy consumption, and Performance tested door systems <sup>2</sup> , and A minimum 75 percent of permanently installed lighting fixtures as high efficiency lamps. <b>Solar photovoltaic:</b> Minimum 1 watt/hq of conditioned floor space <sup>2</sup> . <b>Solar water heating:</b> Minimum of 40 sq. ft. of area collector area <sup>2</sup> .

For SI: 1 square foot = 0.093 m<sup>2</sup>; 1 watt per square foot = 10.76 W/m<sup>2</sup>.  
a. Fraction based on the building envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.  
b. Documentation of Performance tested doorwork shall be submitted to the building official upon completion of work. This work shall be performed by a person certified by the Oregon Department of Energy (ODE) Electrical Energy Test and Preparation and Commissioning Authority (ODE/EPC) or a person certified by the Oregon Department of Energy (ODE) Electrical Energy Test and Preparation and Commissioning Authority (ODE/EPC) or a person certified by the Oregon Department of Energy (ODE) Electrical Energy Test and Preparation and Commissioning Authority (ODE/EPC).  
c. Section N1107.2 requires 18 percent of permanently installed lighting fixtures to contain high efficiency lamps. But these additional measures add an additional percent to the Section N1107.2 requirement.  
d. A new attached construction, which shall provide all required sealing materials, shall be installed in the building envelope.  
e. The maximum installed ceiling surface area shall be greater than 70 percent of the total heated space floor area unless noted otherwise.  
f. Building tightness testing shall be conducted in the conditioned space during the building process.  
g. Solar electric systems shall include a disconnect switch and shall be installed in accordance with the National Electrical Code (NEC) and the Oregon Electrical Code (OEC).  
h. Solar water heating systems shall be Solar Rating and Certification Corporation (SRCC) Standard 1000, and shall be installed in accordance with the Oregon Solar Resource Handbook and the Oregon Solar Resource Handbook.  
i. A total of 5 percent of an HVAC system ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside the conditioned space shall have insulation installed as required in this code.

# Exhibit J



## RIGHT ELEV.

SCALE: 1/4"=1'-0"



## FRONT ELEV.

SCALE: 1/4"=1'-0"

FINAL GRADING - SURFACE AFTER SHALL NOT DISPERSE ONTO ADJACENT PROPERTY

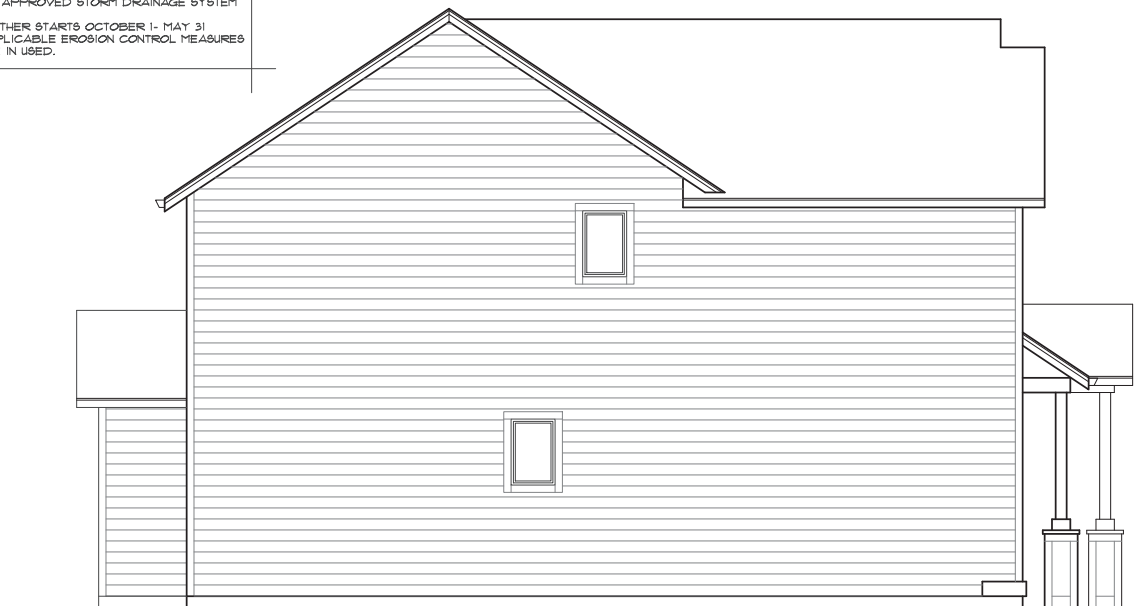
STORM WATER CONVEYED BY PIPING NOT TO DISPERSE ONTO ADJACENT PROPERTY

GUTTERS, DOWNSPOUTS, RAIN DRAIN PIPING IS REQUIRED. STORM WATER TO DISPERSE TO CITY APPROVED STORM DRAINAGE SYSTEM  
WET WEATHER STARTS OCTOBER 1- MAY 31  
ALL APPLICABLE EROSION CONTROL MEASURES MUST BE IN USED.



## REAR ELEV.

SCALE: 1/4"=1'-0"



## LEFT ELEV.

SCALE: 1/4"=1'-0"

**KEM**

designer - consultant  
new construction & remodel

P.O. Box 1571  
Hillsboro, Oregon 97123  
971.563.0552 fax: 888.311.5610  
E-Mail: samedy@live.com

"Success is not measured by the position someone has reached in my life, but the obstacles he has overcome while trying to succeed"  
-Brooker T. Washington

Written dimensions on these drawing shall have precedence over scaled dimensions. Contractor shall assume responsibility for all dimensions and conditions on the job. Samedy Kem, Designer must be notified and consent to any variation from dimensions set forth herein.

This document is the property of Samedy Kem, Designer. No reuse or reproduction is allowed without the written consent from Samedy Kem.

**Davis Construction, Inc.**  
Forest Grove

663 MAIN SQ FT  
503 GAR SQ FT  
1572 TOTAL SQ FT

347 GAR SQ FT

4/9/2014

Date:

sk-1572-2

Project Number

Revision:

Sheet Title:

Sheet Number of 4

Exhibit K



# Exhibit L Sample Photo Elevations for 50' Wide Dwellings



# Exhibit M Sample Photo Elevations for 26' and 30' Wide Dwellings





















Bayer Ln  
25th Pl

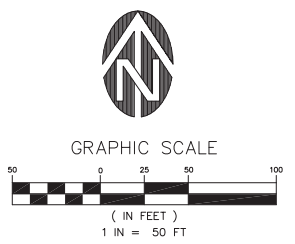
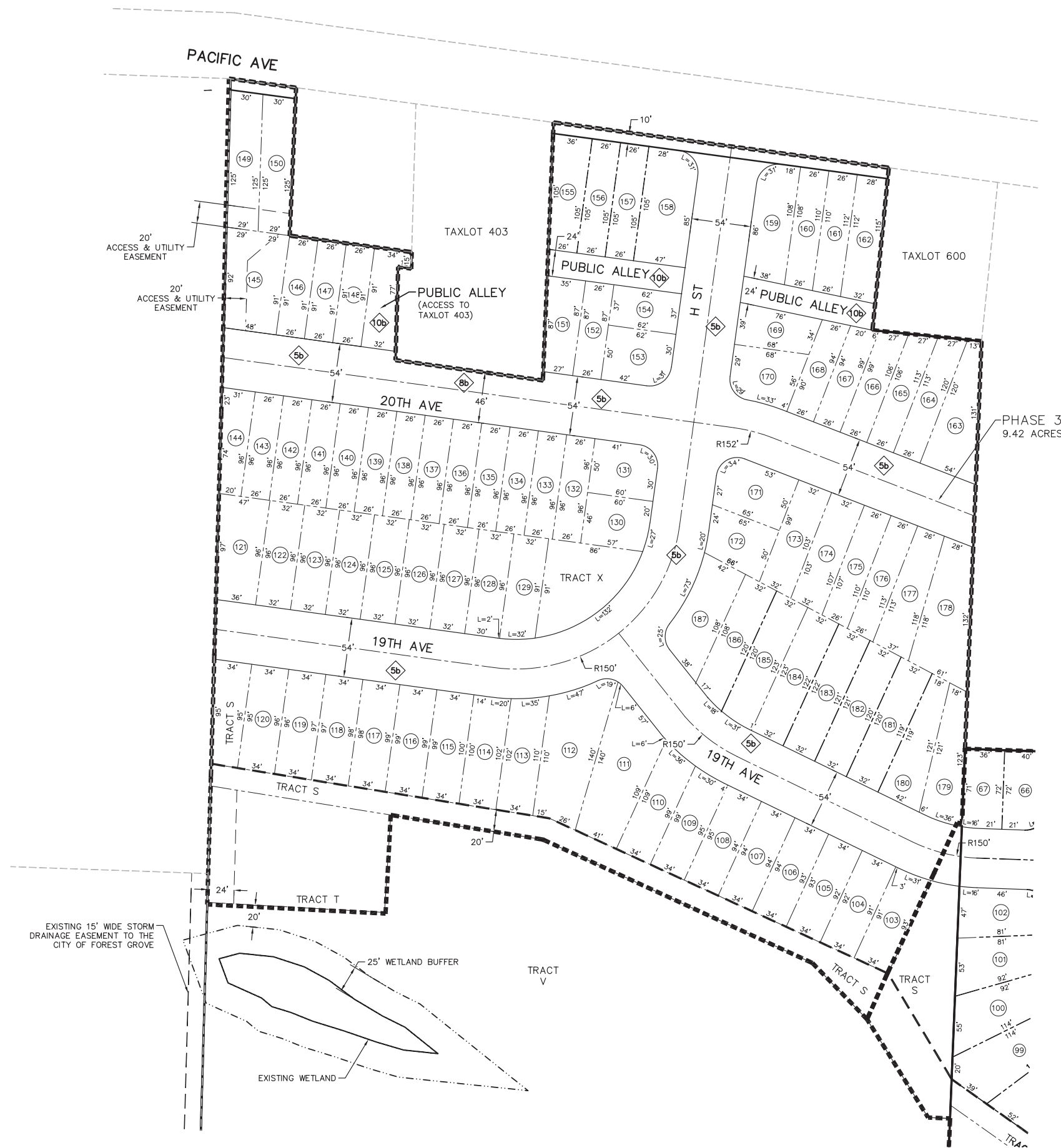








Drawing Name: \\2410-001.13\Engin\240\Draw\Production\Land Use Re-Submittal 10-10-14\241001P302.dwg Oct 16, 2014 1:49pm - mpc



**LOT LAYOUT (PRELIMINARY PLAT)**

TOTAL AREA: PHASE 3: 9.46 ACRES  
 MINIMUM SETBACKS:  
 FRONT - 11'  
 GARAGE - 20'  
 SIDE - 3' TYP. (VARIES)  
 SIDE (ADJACENT TO STREETS) - 1' MORE THAN P.U.E. WIDTH  
 SIDE (ADJACENT TO PROJECT BOUNDARIES) - 5'  
 REAR - 12' OR 15' ALONG GALES CREEK CORRIDOR

**LEGEND**

- PROPERTY LINE
- PHASE LINE
- R.O.W. LINE
- R.O.W. CENTER LINE
- INTERIOR LOT/TRACT BOUNDARY LINE
- EASEMENT LINE
- CREEK BUFFER
- EX. TAX LOT/R.O.W. LINE
- URBAN GROWTH BOUNDARY / CITY DETERMINED FLOODPLAIN BOUNDARY, ±180' CONTOUR.
- ROADWAY TYPICAL SECTION. SEE SHEET P306 FOR DETAILS.

**PHASE 3 TRACT TABLE**

Tract Letter	Description / Notes
S	20-foot Wide Pedestrian Trail Corridor, (ty.), extending north to intersect 19 <sup>th</sup> Avenue at both east and west ends, with: <ul style="list-style-type: none"> <li>• Pedestrian Access Easement</li> <li>• Utility Vehicle Access Easement for benefit of CVS and City of Forest Grove, between 19<sup>th</sup> Avenue and Public Utility Facilities (Storm Water Quality in Tracts O, T and U; Sanitary Sewer in Tracts M and E)</li> <li>• Access easement for benefit of Gales Creek Terrace Homeowners Association, for maintenance of retaining wall/slope</li> <li>• Access easement for benefit of Tract V at both east &amp; west extensions to 19<sup>th</sup> Avenue</li> </ul>
T	Storm Water Quality Facility with: <ul style="list-style-type: none"> <li>• Access easement for benefit of Tract V over the westerly 24 feet</li> </ul>
U	Gales Creek Vegetated Corridor NOT Adjacent to Urban Area, for potential future enhancement activities pursuant to CWS permitting.
V	Reserve Area to be Retained by Declarant
W	Lot Used
X	Neighborhood Mini-Park / Play Area

**NOTES**

1. SEE P300 FOR OVERVIEW OF PHASE 1, 2, AND 3.
2. SEE P301 FOR PHASE 1 AND PHASE 2.

**WESTLAKE CONSULTANTS INC.**  
 ENGINEERING ♦ SURVEYING ♦ PLANNING  
 PACIFIC CORPORATE CENTER  
 1000 N. BROADWAY SUITE 150  
 TIGARD, OREGON 97224  
 (503) 884-9888  
 FAX (503) 884-9177

**GALES CREEK TERRACE**  
 FOREST GROVE, OR  
 PRELIMINARY PLAT - WEST

PRELIMINARY

THESE DRAWINGS ARE THE PROPERTY OF WESTLAKE CONSULTANTS INC. (WCI) AND ARE NOT TO BE REPRODUCED IN ANY MANNER EXCEPT WITH THE WRITTEN PERMISSION OF WCI.

REVISIONS	DATE	DESCRIPTION	DESIGN	CHECKED	BY

SHEET **P302**  
 JOB NO. 2410-01

10/16/2014 FOR PLANNING RE-SUBMITTAL












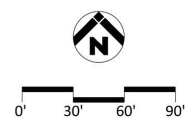


# Exhibit P



## LEGEND

- 
**BERMS AND BUFFER PLANTINGS**  
 Areas that provide noise and visual buffer through the use of trees, plantings and topography. These areas also serve to define spaces and reinforce circulation routes.
- 
**OPEN LAWN AREAS**  
 Areas for both Passive and Active recreation such as sunbathing, napping, people watching, running, jumping, playing soccer, tossing a ball or simply socializing. This concept provides a single mid-sized open lawn area surrounded by other park amenities which creates a more intimate feeling space.
- 
**PICNIC AREAS**  
 Areas set off the beaten path and shaded by trees where people can share a meal, read a book, people watch, socialize or simply relax and take a break. These areas are located around the perimeter of the park within more private nooks.
- 
**SPORT COURT AREAS**  
 Areas dedicated to court to both high intensity activities such as basketball and lower intensity activities such as bocce, tether ball, wall ball or horseshoes. The sports court area is located centrally along the east half of the park to increase the buffer distance between the activities and the adjacent properties.
- 
**FITNESS STATIONS**  
 Area containing outdoor exercise equipment adjacent to the trail system to promote health and fitness. This concept provides small fitness stations along the trail and is meant to serve as the beginning of a system to be expanded upon up and down the entire trail.
- 
**PEDESTRIAN CIRCULATION**  
 Consists of perimeter walkways, an existing trail that bisects the park and interior pathways interconnecting the various park amenities and providing various loops in the circulation system. The system will provide ADA accessibility to all features within the park.
- 
**INCLUSIVE / BARRIER FREE PLAYGROUND**  
 The playground will be designed to provide barrier free play opportunities for kids of all abilities in a sensory rich environment that will stimulate their physical, cognitive and sensory development while also engaging them socially within an inclusive environment. This playground layout consists of a series of play pods along a linear layout allowing for a variety of play experiences throughout the park. It also provides an opportunity grouping age appropriate uses together. The spaces between and integrated into each of the pods also provides opportunities to incorporate trees and landscape plantings resulting in a more naturalized feel and experience.
- 
**NATURE THEMED PLAY**  
 Intended to provide non-prescribed imaginative play that may include opportunities such as sand and water play, building and exploration opportunities. This area is located to take advantage of the existing wetland area while providing some separation from more traditional play equipment and safety surfacing that does not hold up to the wear and tear that sand often creates.
- 
**RESTROOM**  
 The single occupancy gender neutral restroom that is ADA compliant and accommodates those who may require someone to assist them. The building will also serve as storage for park maintenance equipment. The restroom will be located in a safe and convenient location.
- 
**SEATING AND SITE FURNISHINGS**  
 Seating will be distributed throughout the park to provide areas to rest and relax and to take advantage of views. Additional furnishings will include trash receptacles, dog waste stations, picnic tables, game tables, drinking fountains and signage.
- 
**ROADWAY IMPROVEMENTS AND PARKING**  
 Both NW Meadows Drive and Yohn Ranch Drive will both be extended to fill the gaps between the existing north and south dead ends. Included in these improvements will be public sidewalks, utility extensions and street tree plantings. Parking is anticipated to be allowed along the curb line with dedicated ADA Accessible Parking.
- 
**GROUP SHELTER / GAZEBO**  
 A covered shelter located to serve as a hub within the inclusive / barrier free playground and to accommodate group gatherings such as family reunions and birthday parties. The shelter is located within close proximity of the playground, but has some separation and also serves the adjacent open lawn area.



## NW Neighborhood Park Master Plan

Preliminary Master Plan

April 23, 2015

