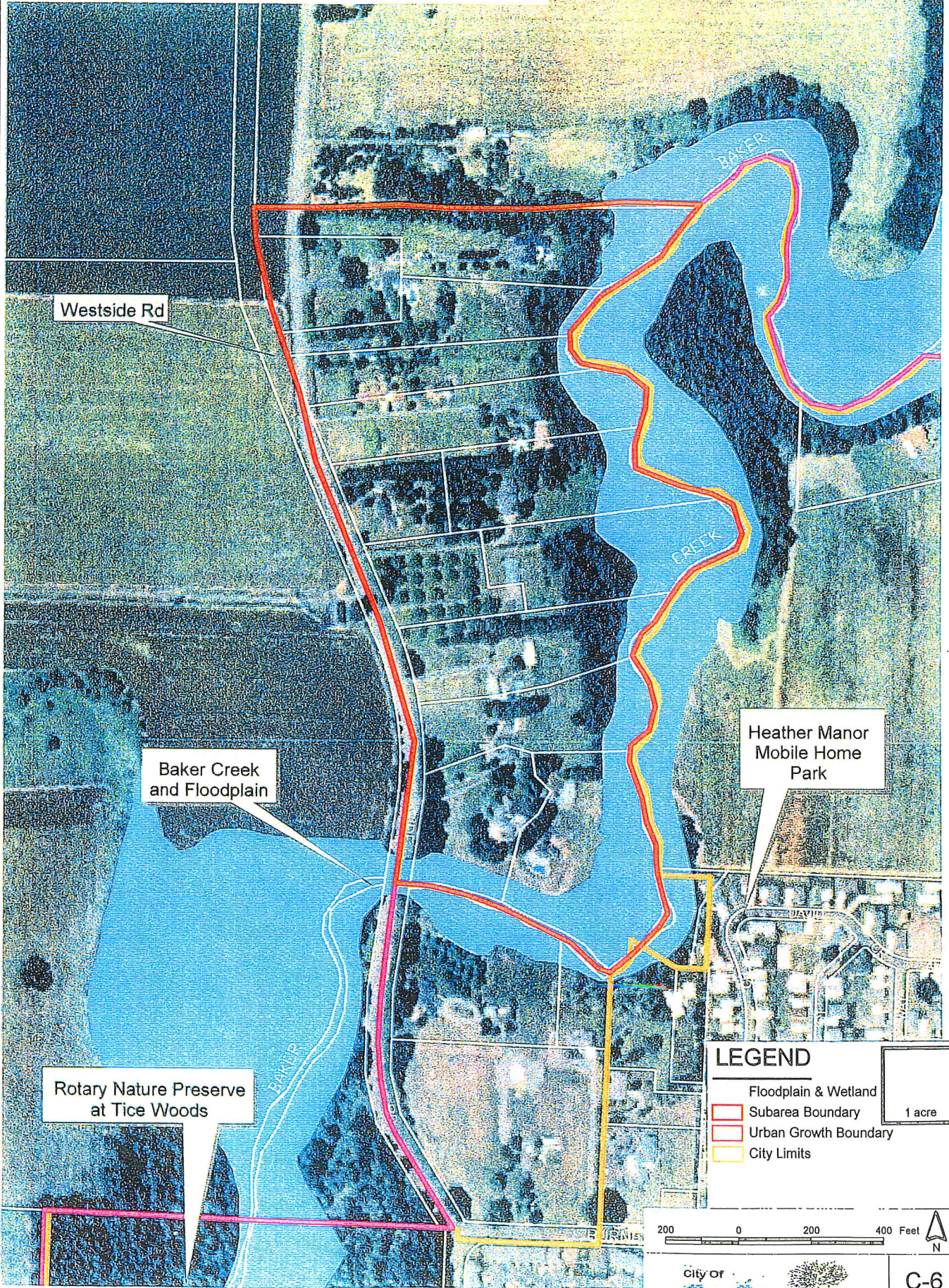
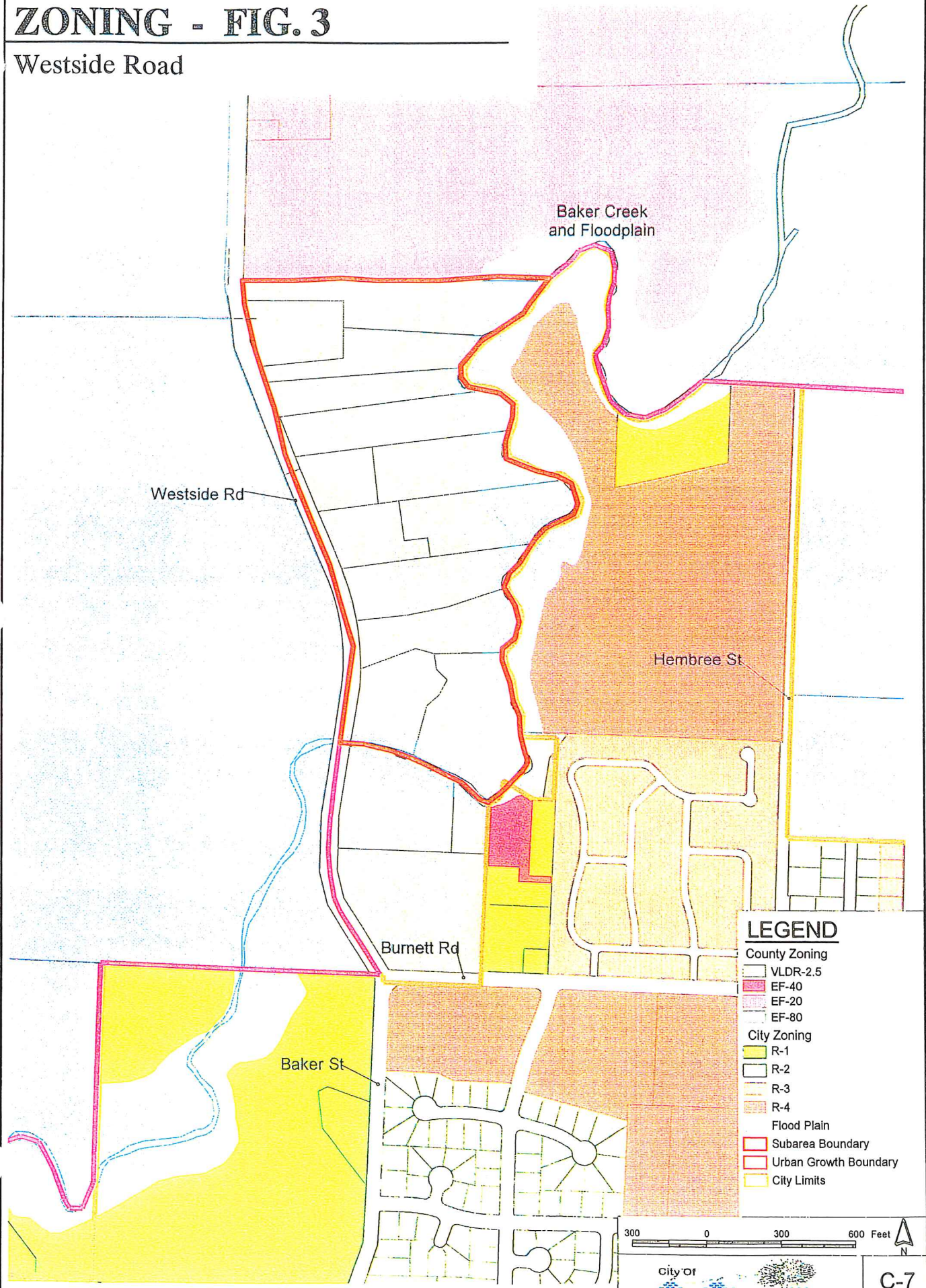


WESTSIDE ROAD - FIG. 2



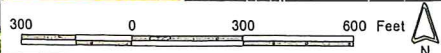
ZONING - FIG. 3

Westside Road



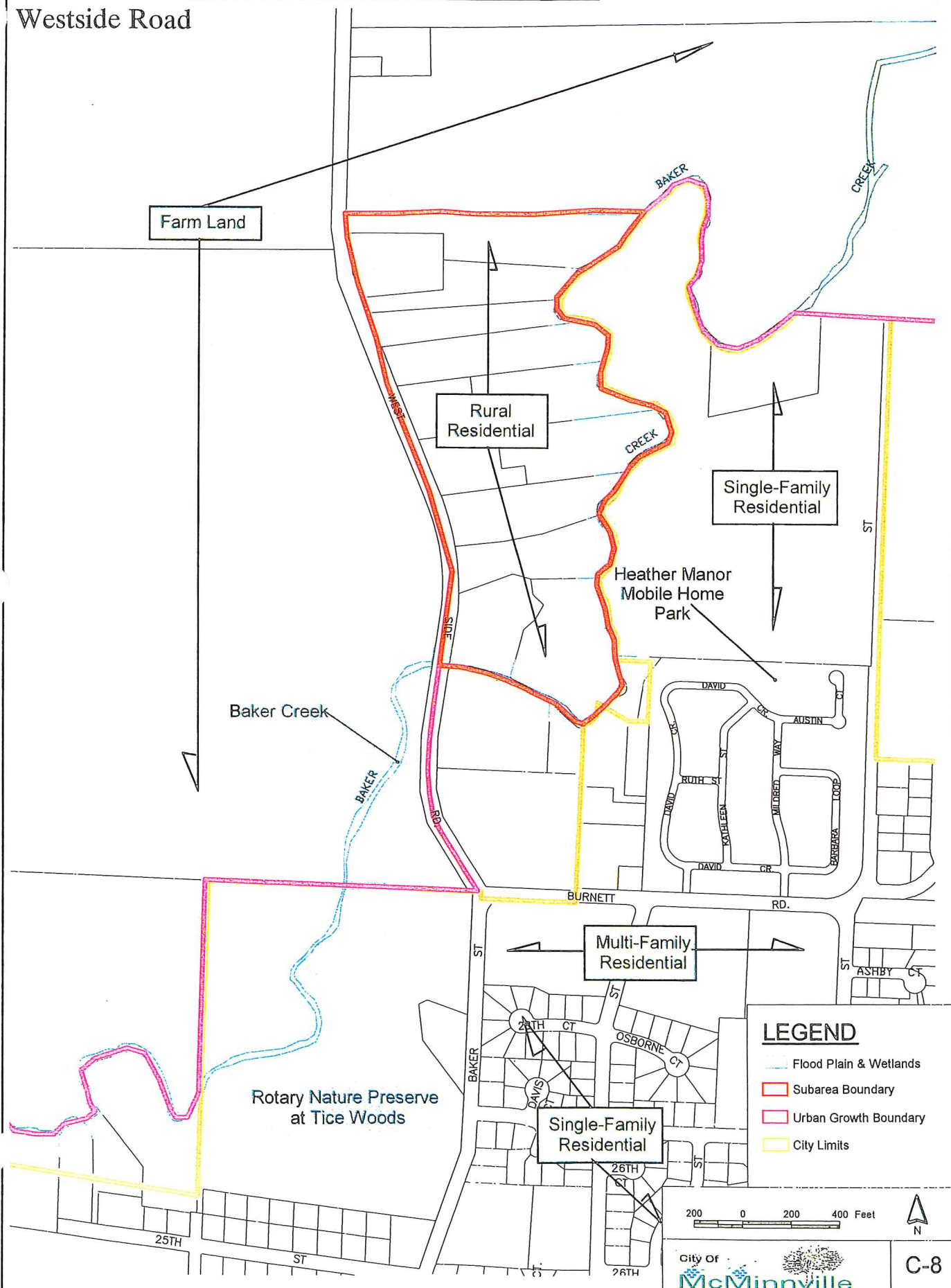
LEGEND

- County Zoning
 - VLDR-2.5
 - EF-40
 - EF-20
 - EF-80
- City Zoning
 - R-1
 - R-2
 - R-3
 - R-4
- Flood Plain
- Subarea Boundary
- Urban Growth Boundary
- City Limits



LAND USE PATTERNS - FIG. 4

Westside Road



Farm Land

Rural Residential

Single-Family Residential

Heather Manor Mobile Home Park

Baker Creek

Rotary Nature Preserve at Tice Woods

Multi-Family Residential

Single-Family Residential

LEGEND

- Flood Plain & Wetlands
- Subarea Boundary
- Urban Growth Boundary
- City Limits

200 0 200 400 Feet



BUILDABLE LANDS - FIG. 5

Westside Road

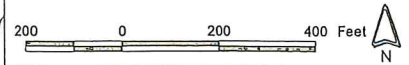
Baker Creek
and Floodplain

Westside Rd

Burnett Rd

LEGEND

- Buildable Land
 - Vacant
 - Partially Vacant
 - Developed
- Flood Plain & Wetlands
- Structures
- Subarea Boundary
- Urban Growth Boundary
- City Limits



"This map is for illustrative purposes only. Refer to the associated buildable land inventory for additional detail."

UTILITIES - FIG. 6

Westside Road

Westside Rd

Existing Electrical Line

Baker Creek and Floodplain

Baker St



2000 Ft

2100 Ft

8"

8"

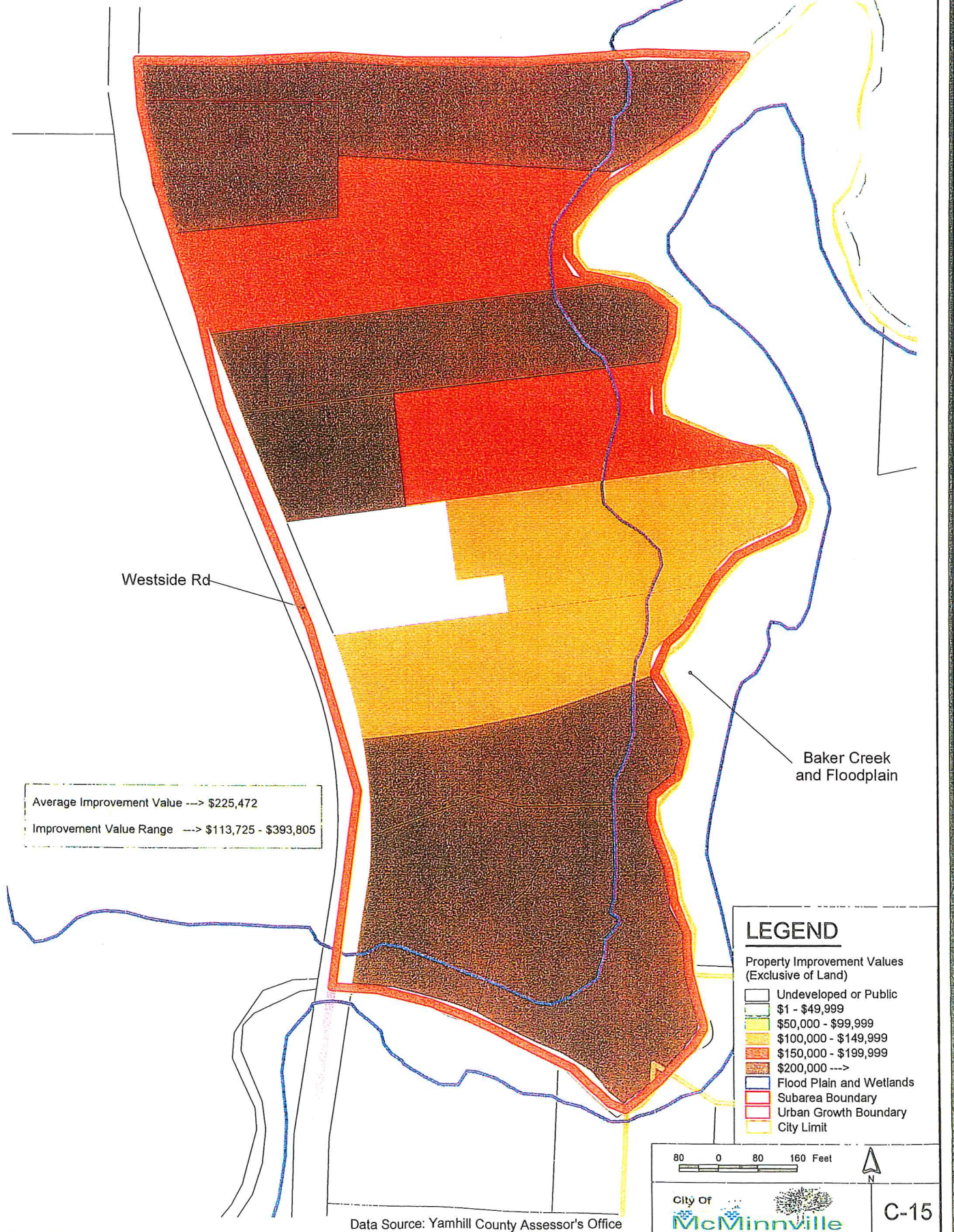
LEGEND

-  Electrical Lines
-  Water Main
-  Sewer main
-  Utility Line Terminus
-  Average Distance to Center of Subarea
-  Floodplain & Wetland
-  Subarea Boundary
-  Urban Growth Boundary
-  City Limits



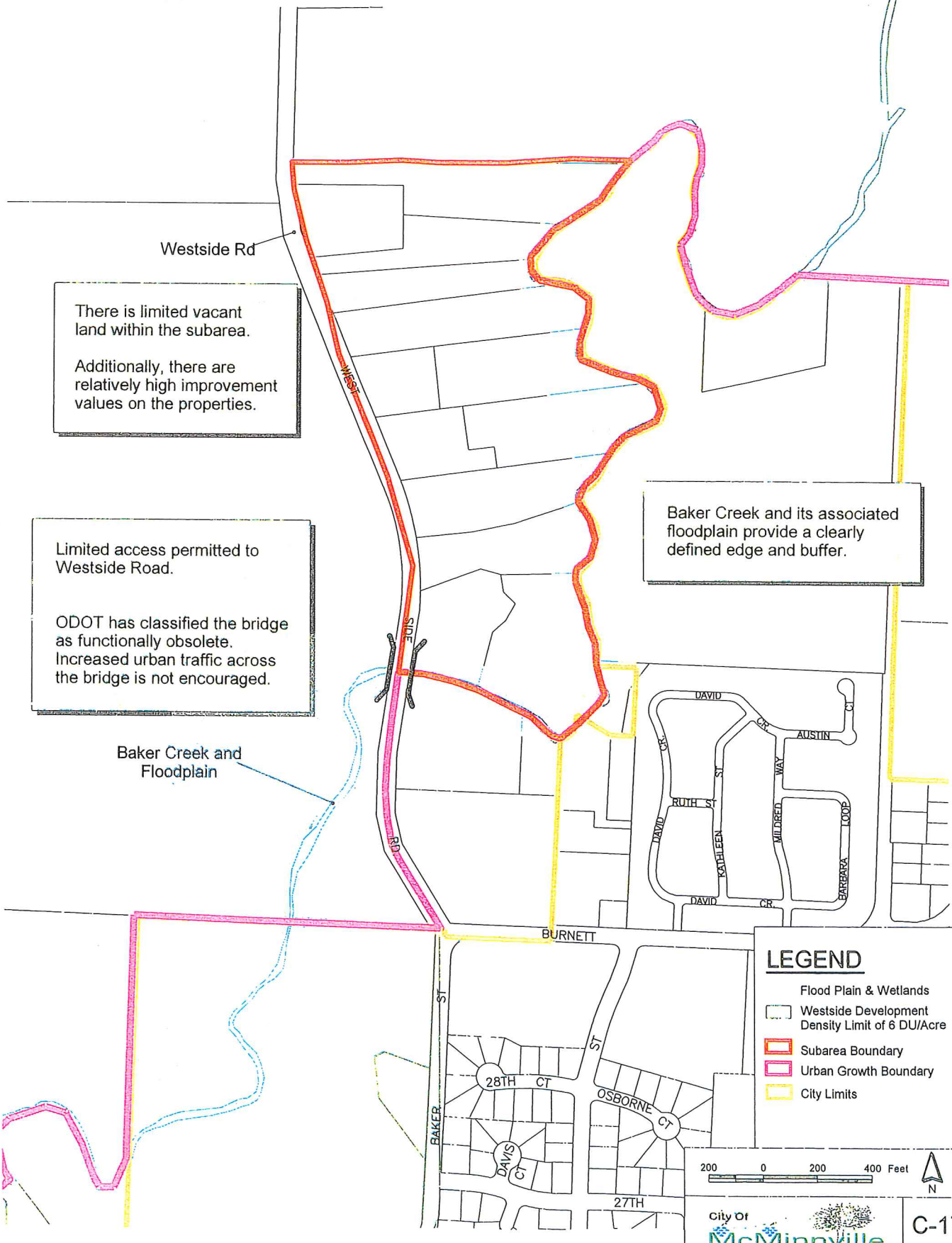
IMPROVEMENT VALUES - FIG. 7

Westside Road



DEVELOPMENT CONSTRAINTS AND OPPORTUNITIES - FIG. 8

Westside Road



There is limited vacant land within the subarea.

Additionally, there are relatively high improvement values on the properties.

Limited access permitted to Westside Road.

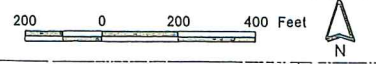
ODOT has classified the bridge as functionally obsolete. Increased urban traffic across the bridge is not encouraged.

Baker Creek and its associated floodplain provide a clearly defined edge and buffer.

Baker Creek and Floodplain

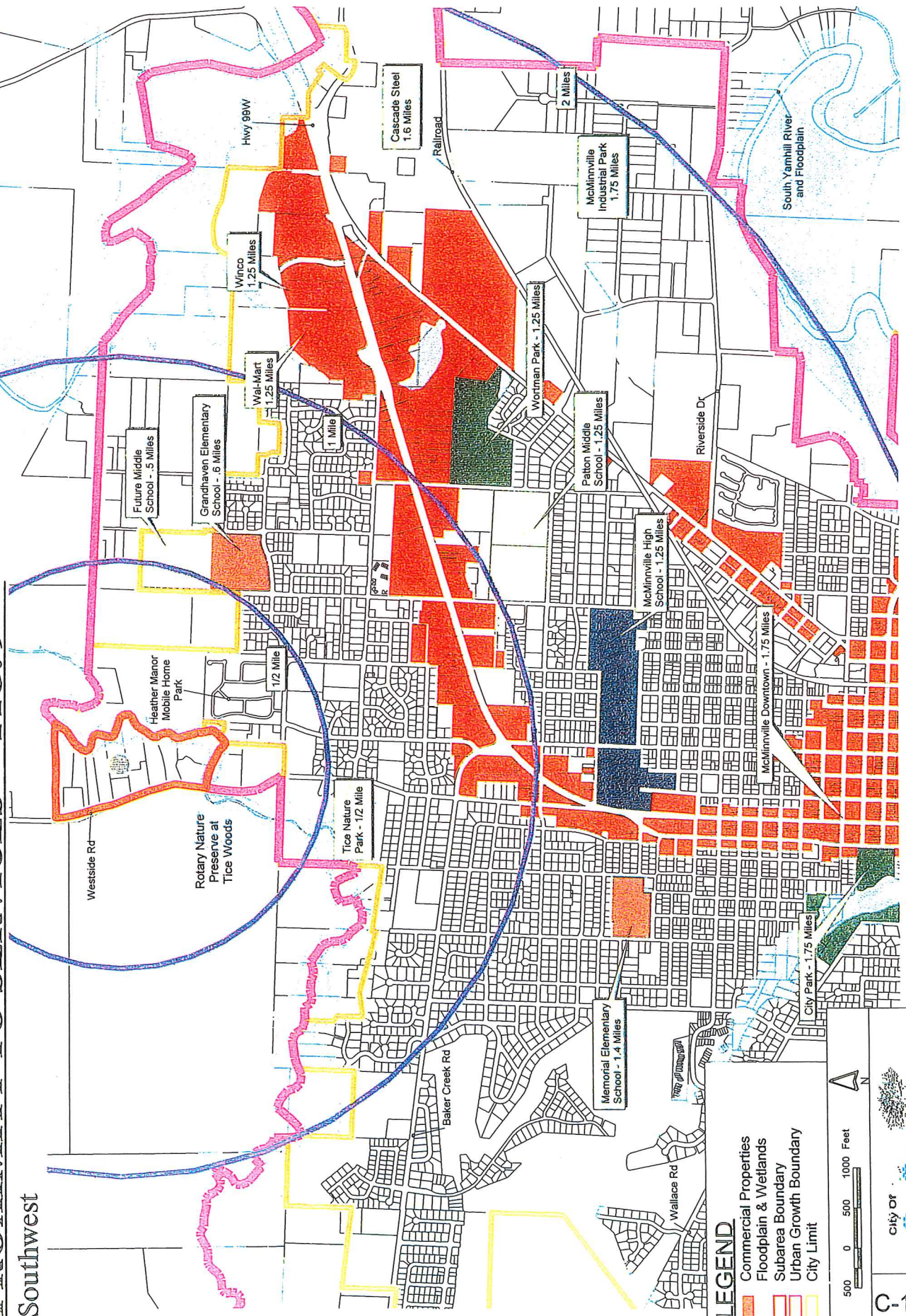
LEGEND

- Flood Plain & Wetlands
- Westside Development Density Limit of 6 DU/Acre
- Subarea Boundary
- Urban Growth Boundary
- City Limits



PROXIMITY TO SERVICES - FIG. 9

Southwest



LEGEND

- Commercial Properties
- Floodplain & Wetlands
- Subarea Boundary
- Urban Growth Boundary
- City Limit

500 0 500 1000 Feet

City of McMinnville