

Landscape Review Committee
Hybrid In-Person & ZOOM Online Meeting
Wednesday, March 19, 2025 - 12:00 PM

Please note that this meeting will be conducted in-person at the Community Development Center Large Conference Room, 231 NE Fifth Street, and via ZOOM.

Join ZOOM Meeting online via the following link:

<https://mcminnvilleoregon.zoom.us/j/88138973805?pwd=dPNSRkb5dMDeGssb2682IKX3j3iMVq.1>
<https://mcminnvilleoregon.zoom.us/j/88386294719?pwd=scv5MYeVbh95oeIWvzZQaMePnMsWJZ.1>

Meeting ID: 881 3897 3805 Passcode: 766657

Or join ZOOM Meeting by phone via the following number: 1-669-44-9171

Committee Members	Agenda Items
Jamie Fleckenstein, Chair Brian Wicks, Vice Chair Carlton Davidson Lee McCollins Eva Reutinger	<ol style="list-style-type: none"> 1. Call to Order and Roll Call 2. Minutes: March 6, 2024 (<i>Exhibit 1</i>), March 20, 2024 (<i>Exhibit 2</i>), April 3, 2024 (<i>Exhibit 3</i>), June 26, 2024 (<i>Exhibit 4</i>), July 24, 2024 (<i>Exhibit 5</i>) 3. Citizen Comments 4. Action Items <ol style="list-style-type: none"> A. L 48-24: Landscape Plan Review for McMinnville Properties, LLC, at 500 NE Captain Michael King Smith Way, Tax Lot R4423 - 00601, -00602, -01301 (<i>Exhibit 6</i>) 5. Discussion Items <ol style="list-style-type: none"> A. Arbor Day Event (<i>Exhibit 7</i>) B. Planting Standards (<i>Exhibit 8</i>) 6. Committee Member Comments 7. Staff Comments 8. Adjournment

The meeting site is accessible to handicapped individuals. Assistance with communications (visual, hearing) must be requested 24 hours in advance by contacting the City Manager (503) 434-7405 – 1-800-735-1232 for voice, or TDY 1-800-735-2900.

*Please note that these documents are also on the City’s website, www.mcminnvilleoregon.gov. You may also request a copy from the Planning Department.



City of McMinnville
Planning Department
231 NE Fifth Street
McMinnville, OR 97128
(503) 434-7311
www.mcminnvilleoregon.gov

MINUTES

March 6, 2024
Landscape Review Committee
Special Meeting

12:00 pm
ZOOM Meeting
McMinnville, Oregon

- Members Present:** Brain Wicks, Eva Reutinger, Carlton Davidson, John Hall, and Jessica Payne - Council Liaison
- Members Absent:** Jamie Fleckenstein
- Staff Present:** Tom Schauer – Senior Planner and Taylor Graybehl – Senior Planner
- Guests Present:** Joan Buccino, Alexander Prentice, and Jose Lopez

1. Call to Order

Vice Chair Wicks called the meeting to order at 12:00 p.m.

2. Approval of Minutes

None

3. Citizen Comments

None

4. Action Item

- A. L 55-23: Landscape Plan Review, Best Western, 2035 & 2045 SW Hwy 99W, Tax Lot R4429BD02700

Senior Planner Schauer reviewed the updated landscape plan for Best Western on Hwy 99W. This application was before the Committee previously, and the Committee had asked for more information about the location of McMinnville Water & Light facilities, physical improvements and sidewalk, mature plant sizes, and updated plant list. The applicant had provided this information and staff recommended approval with revised conditions. He then reviewed the conditions for the trash enclosure, tree plantings, and screening on the south property line.

There was discussion regarding the plant species and screening options.

Jose Lopez, applicant, said they were thinking of putting in a 3-4 foot chain link fence for the screening if necessary and a concrete curb and parking bump to prevent cars from encroaching on the abutting property.

The Committee did not think the screening was needed, and agreed to remove Condition J. They also agreed the trash enclosure was properly screened and would be landscaped around it. They accepted staff's revisions to Conditions 3F, 3H, and 3I.

Committee Member Reutinger moved to approve L 55-23 with the revised conditions including removal of Condition J and revisions to Conditions 3F, 3H, and 3I. The motion was seconded by Committee Member Hall and passed unanimously.

B. L 6-24: Street Tree Removal, 2563 NW Alice Kelley, Tax Lot R4417BA03700

Senior Planner Graybehl explained the request for removal of two Maple trees on NW Alice Kelley Street due to the trees being in conflict with public improvements. He discussed the subject site, subdivision street tree plan, existing conditions, criteria, and additional comments received after the packet went out. Staff recommended denial due to insufficient information to show how the application met the criteria. A site visit was done on February 27 and staff found no public improvements were required to be repaired and there was no sidewalk uplift. The applicant showed there was a conflict in the past, but the conflicts were addressed without the removal of the trees.

The applicant said there was no root barrier installed when the sidewalk was repaired. If the trees were removed, he planned to replace them with two Autumn Blaze Maples. His neighbors had recently replaced their trees due to the same issues. He had already done the repairs to the sidewalk before applying to remove the trees.

The Committee discussed the benefits of removing the trees and replacing them with new trees to the City's standards. Committee Member Davidson encouraged the applicant to look at a different tree species because they would have the same issues if the root barrier didn't work.

The Committee found the criterion that the trees were in conflict with public improvements was being met due to the history of the site, types of trees, and other neighborhood replacements.

Committee Member Hall moved to approve L 6-24 with standard street tree removal conditions. The motion was seconded by Committee Member Reutinger and passed unanimously.

5. Committee Member Comments

Committee Member Davidson asked if the trash enclosure ordinance included recycling. Senior Planner Schauer said yes, it did.

6. Staff Comments

Senior Planner Schauer said the code amendments the Committee had worked on previously would be going back to the Planning Commission in April. He noted that in the code, reviews had to take place within 30 days of the submittal. Unfortunately, a decision the LRC made in February on an industrial development application was done after the 30 days. The applicant had appealed the decision to the Planning Commission and the appeal was approved based on the timeframe. The conditions the LRC placed on the application would not apply. Staff was working on making changes so this would not happen again.

7. Adjournment

Vice Chair Wicks adjourned the meeting at 1:05 p.m.

DRAFT



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Planning Department
231 NE Fifth Street
McMinnville, OR 97128
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MINUTES

March 20, 2024
Landscape Review Committee
Regular Meeting

12:00 pm
ZOOM Meeting
McMinnville, Oregon

- Members Present:** Brain Wicks, Eva Reutinger, Carlton Davidson, John Hall, and Jessica Payne - Council Liaison
- Members Absent:** Jamie Fleckenstein
- Staff Present:** Taylor Graybehl – Senior Planner and Heather Richards – Community Development Director
- Guests Present:** Kellie Menke and Mellony Hotskin

1. Call to Order

Vice Chair Wicks called the meeting to order at 12:00 p.m.

2. Approval of Minutes

None

3. Citizen Comments

Mellony Hotskin had some questions about a tree removal and replacement. Senior Planner Graybehl said he would contact her at a later time.

4. Action Item

- A. L 8-24: Street Tree Removal, 573 NW Mt Mazama Street, Tax Lot R4524AD00800

Senior Planner Graybehl reviewed the request for removal of two trees on NW Mt. Mazama Street due to the trees being in conflict with public improvements. The applicant had also requested no replanting. He described the subject site, how there was no street tree plan for the neighborhood, review criteria, how replanting was required, photos of the trees and tree roots pushing up the sidewalk, public agency comments, and missing information in the application. He was unclear whether both trees needed to be removed. The tree hazard report recommended not replanting in the planter strip due to the soils, but replanting somewhere else on site.

Kelly Menke, representing the applicant, said Engineering thought both trees should be removed. However, the southern tree had not lifted the sidewalk as much and the concrete could be shaved down.

There was discussion regarding the distance from the driveway and spacing standards, how the developer should have amended the soil to support the street trees, the monoculture design of the neighborhood, how the trees were a problem through the whole neighborhood, root barrier pros and cons, and how these were small planter strips.

Community Development Director Richards said if this was not the right species for the neighborhood, the Committee could pick a different one and create a Street Tree Improvement District so all the replacement trees would be the same.

There was consensus that a smaller variety of flowering tree was recommended, particularly the *Cercis canadensis* tree.

Committee Member Davidson noted there were empty planter strips where more trees needed to be planted in the neighborhood.

Committee Member Hall moved to approve L 8-24, removing both trees and replacing them to the City's standards with *Cercis canadensis*. The motion was seconded by Committee Member Wicks and passed unanimously.

Committee Member Wicks moved to create a Street Tree Improvement District for this neighborhood to replace trees with *Cercis canadensis*. The motion was seconded by Committee Member Reutinger and passed unanimously.

5. Committee Member Comments

None

6. Staff Comments

Community Development Director Richards discussed the appeal of a landscape plan decision due to not reviewing it in 30 days and how the approval included items not relative to the landscape plan code. The appeal was approved, and the application was approved as presented. She explained how the process for review would change and the landscape review chapter standards would come back to the Committee to make them more clear and objective.

7. Adjournment

Vice Chair Wicks adjourned the meeting at 12:56 p.m.



City of McMinnville
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McMinnville, OR 97128
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MINUTES

April 3, 2024
Landscape Review Committee
Special Meeting

12:00 pm
ZOOM Meeting
McMinnville, Oregon

Members Present: Brain Wicks, Eva Reutinger, John Hall, and Jessica Payne - Council Liaison
Members Absent: Jamie Fleckenstein and Carlton Davidson
Staff Present: Taylor Graybehl – Senior Planner
Guests Present: Joan Buccino

1. Call to Order

The meeting was called to order at 12:00 p.m.

2. Approval of Minutes

None

3. Citizen Comments

None

4. Action Item

A. L 10-24: Street Tree Removal, 2263 NW Doral Street, Tax Lot R4417BC02601

Senior Planner Graybehl explained the request for removal of five street trees on NW Doral Street. The applicant provided images, site plan, replacement tree plan, and arborist report that identified multiple trees with defects. Additional photographs were received on March 22. He reviewed the criteria and how the applicant had shown the trees were unsafe or diseased. Replacement trees would be Fireburst Acer and Parrotia Persica. He discussed the comments from other public agencies. Staff recommended approval with standard planting conditions.

Joan Buccino, applicant, asked if she was unable to source Fireburst, she would like the flexibility to use a similar tree from the street tree list. She would also like the flexibility to plant them the way they were presented in the application and to plant them in October.

There was discussion regarding the differences in the order of the plantings between the existing and what was proposed. There was also discussion regarding the need for the root barrier because it would be a waste of material.

Committee Member Wicks moved to approve L 10-24 as proposed by the applicant with revised conditions that no root barrier was required, to hold off until dormancy to plant, and to use a similar tree from the street tree list if the Fireburst was not available. The motion was seconded by Committee Member Hall and passed 3-0.

B. L 11-24: Street Tree Removal, 2374 McGarey Drive, Tax Lot R4418AD05600

Senior Planner Graybehl presented the request to remove one tree on McGarey Drive. The application and arborist report identified the tree roots had raised the abutting sidewalk in excess of four inches which was a tripping hazard. The applicant requested no tree replacement be required; however, staff recommended a replacement. There was a street tree plan for the street, to plant a Tilia Cordata. There was a gas line in the planter strip, but there was no spacing requirement for it. He discussed the comments from other public agencies and conditions of approval. Staff recommended approval with the replacement tree in the general location of where the tree was now.

Committee Member Reutinger moved to approve L 11-24 with conditions. The motion was seconded by Committee Member Wicks and passed 3-0.

C. L 9-24: Street Tree Removal, 2485 NW Alice Kelley Street, Tax Lot R4417BA03900

Senior Planner Graybehl discussed the request for removal of two trees and replacement of both on NW Alice Kelley Street. The arborist report and application identified the tree roots had raised the abutting sidewalk causing a tripping hazard. He reviewed the public agency comments and conditions. Staff recommended approval with conditions including replanting with two Norgien Red Sunsets.

There was discussion regarding requiring a different tree variety to be consistent with what was approved for other neighbors.

Committee Member Wicks moved to modify the Street Tree Improvement Plan for this neighborhood from Red Sunset to Linden. The motion was seconded by Committee Member Reutinger and passed 3-0.

Committee Member Reutinger moved to approve L 9-24 with revised conditions to replace the trees as per the new Street Tree Improvement Plan. The motion was seconded by Committee Member Hall and passed 3-0.

5. Committee Member Comments

Committee Member Hall discussed the concern of planting grass around trees, affecting the growth of the roots, and contributing to sidewalk damage. There was consensus for staff to look into what other cities were doing that was working.

6. Staff Comments

Senior Planner Graybehl discussed the process for the proposed tree and landscape design code updates.

7. Adjournment

The meeting was adjourned at 12:53 p.m.



City of McMinnville
Planning Department
231 NE Fifth Street
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MINUTES

June 26, 2024
Landscape Review Committee
Regular Meeting

12:00 pm
ZOOM Meeting
McMinnville, Oregon

- Members Present:** Jamie Fleckenstein, Brain Wicks, Eva Reutinger, John Hall, and Jessica Payne - Council Liaison
- Members Absent:** Carlton Davidson
- Staff Present:** Taylor Graybehl – Senior Planner
- Guests Present:**

1. Call to Order

Chair Fleckenstein called the meeting to order at 12:17 p.m.

2. Approval of Minutes

- September 6, 2023
- September 20, 2023
- October 18, 2023
- November 1, 2023

Committee Member Fleckenstein moved to approve the September 6 and 20, October 18, and November 1, 2023, minutes. The motion was seconded by Committee Member Wicks and passed 4-0.

3. Citizen Comments

None

4. Action Item

- A. L 16-24: Street Tree Removal, 2552 NW Zinfandel Loop Tax Lot R4417BA06500

Senior Planner Graybehl reviewed the request for removal of one tree on NW Zinfandel Loop due to the roots raising the abutting sidewalk which was supported by the application and arborist report. There was a Street Tree Plan for the subdivision that stated replacement trees should be Red Sunset. Staff recommended approval with conditions.

There was question if the tree should be removed as it was not unhealthy and the sidewalk was slightly lifted, however the arborist report did recommend removal. It was noted there was a typo in the conditions for the replacement tree to be an Armstrong instead of a Red Sunset.

Committee Member Wicks moved to approve L 16-24 with revised condition #3 for the replacement tree. The motion was seconded by Committee Member Reutinger and passed 4-0.

B. L 17-24: Street Tree Removal, 1730 NE Miller Street, Tax Lot R4415 03310

Senior Planner Graybehl explained the request to remove three trees on NE Miller Street due to the tree roots raising the abutting curbs and affecting the building foundation and underground utilities. The application and arborist report supported removal. Also, the Sweet Gum was a prohibited tree on the street tree list. There were overhead power lines and staff recommended choosing a smaller tree from the street tree list for the replacement trees. He reviewed the comments from public agencies and conditions of approval. The applicant was proposing Zelkova serrata trees for the replacements.

Committee Member Hall moved to approve L 17-24 with the conditions as proposed by staff. The motion was seconded by Committee Member Reutinger and passed 4-0.

C. L 13-24: Street Tree Improvement District, NW Mt. Mazama Street

Senior Planner Graybehl discussed the Street Tree Improvement District proposed for NW Mt. Mazama Street. At the Committee's March meeting, they requested staff prepare a plan for this area. The area had been planted with Fraxinus Oxycarpa "Raywood" trees that had caused uplifting of sidewalks and impacts to public facilities. Staff recommended approval of the plan that identified three types of Cercis Canadensis as the approved street tree and administrative approval for removal/replacement applications.

Committee Member Reutinger moved to approve L 13-24. The motion was seconded by Committee Member Wicks and passed 4-0.

D. L 14-24: Street Tree Improvement District, Mahon Farms Subdivision

Senior Planner Graybehl said in April the Committee had requested staff to prepare a Street Tree Improvement District for the Mahon Farm subdivision. The area had been planted with Norwegian Sunset trees, which were causing uplifting of sidewalks and impacts to public facilities. Staff recommended the replacement trees be two types of Tilia cordata trees. Public Works was concerned about bumble bees and recommended not planting these trees.

The Committee did not think there would be an impact on bumble bees.

Committee Member Fleckenstein moved to approve L 14-24. The motion was seconded by Committee Member Wicks and passed 4-0.

5. Committee Member Comments

Committee Member Hall said he had received information from the Extension Service about trees growing in narrow planting beds. Senior Planner Graybehl said changes to planter strip standards could be included in the upcoming Transportation System Plan update.

6. Staff Comments

Senior Planner Graybehl reviewed information presented at the Growing Equity: Urban and Community Forestry Subaward Program Funding Opportunity Kickoff Webinar. Staff was exploring possibilities for the grant. Submissions were open from July 15 to October 15.

7. Adjournment

Chair Fleckenstein adjourned the meeting at 1:06 p.m.



City of McMinnville
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MINUTES

July 24, 2024
Landscape Review Committee
Regular Meeting

12:00 pm
ZOOM Meeting
McMinnville, Oregon

Members Present: Brain Wicks, John Hall, and Jessica Payne - Council Liaison
Members Absent: Jamie Fleckenstein, Carlton Davidson, and Eva Reutingen
Staff Present: Taylor Graybehl – Senior Planner
Guests Present: Josh Kearns

1. Call to Order

The meeting was called to order at 12:04 p.m.

2. Minutes

None

3. Citizen Comments

None

4. Action Item

A. L 18-24: Landscape Plan Review Application, 1400 NE Miller Street, Tax Lot R4415 03403

There was not a quorum of the Committee present to make a decision. Josh Kearns, applicant, requested continuing the application for 60 days to revise the application. There was consensus to continue.

Committee Member Hall noted the deciduous shrubs proposed might grow bigger than the planter.

5. Committee Member Comments

None

6. Staff Comments

Senior Planner Graybehl said they were looking to apply for a federal grant for establishing a tree canopy program and Urban Forestry Management Plan. The Committee suggested

Involving the high school students, garden clubs, tribes, and Yamhill County Soil and Water. The landscape code amendments would come back to the LRC in September for final approval and go to the Planning Commission in October and Council in November.

There was discussion regarding logistics for a tree inventory.

7. Adjournment

The meeting was adjourned at 12:25 p.m.

EXHIBIT 6 - STAFF REPORT

DATE: March 19, 2025
TO: Landscape Review Committee Members
FROM: Taylor Graybehl, Senior Planner
SUBJECT: Landscape Plan Review Application L 48-24

STRATEGIC PRIORITY & GOAL:



GROWTH & DEVELOPMENT CHARACTER

Guide growth & development strategically, responsively & responsibly to enhance our unique character.

OBJECTIVE/S: Strategically plan for short and long-term growth and development that will create enduring value for the community

Report in Brief:

This proceeding is a review by the Landscape Review Committee (LRC) of an application submitted by McMinnville Properties, LLC, on December 16, 2024 for proposed landscaping located at 500 NE Captain Michael King Smith Way, Tax Lot No. R4423 -00601, -00602, -01301.

Staff has reviewed the application for consistency with the applicable criteria and recommends approval, subject to the conditions specified in the attached Decision Document.

Discussion:

Please refer to the Decision Document for vicinity maps, proposed plan, and background information.

Summary of Criteria & Issues

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

As required in 17.57.070(B), the following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:

1. Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.

Attachments:

Attachment A – Decision L 48-24

2. Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.
3. The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.
4. The development and use of islands and plantings therein to break up parking areas.
5. The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.
6. Suitable watering facilities or irrigation systems must be included in or near all planted areas.

The review also addresses landscaping and screening requirements of other applicable Chapters of the Zoning Ordinance.

Attachments

1. Decision Document with Attached Application

Landscape Review Committee Options

1. **APPROVE** the application, per the decision document provided which includes the findings of fact and conditions of approval.
2. **APPROVE** the application with additional conditions of approval, providing findings of fact for the inclusion of additional conditions.
3. **CONTINUE** the application, requesting the applicant to submit more information or details for review.
4. **DENY** the application, providing findings of fact for the denial in the motion to deny.

Staff Recommendation:

Staff has reviewed the application for consistency with the applicable criteria. Staff finds that, subject to the recommended conditions specified in the attached Decision Document, the application submitted by the applicant contains sufficient evidence to find the applicable criteria are satisfied.

Staff **RECOMMENDS APPROVAL** of the application, subject to the conditions specified in the attached Decision Document.

Suggested Motion:

Attachments:

Attachment A – Decision L 48-24

THAT BASED ON THE FINDINGS OF FACT, THE CONCLUSIONARY FINDINGS FOR APPROVAL, AND THE MATERIALS SUBMITTED BY THE APPLICANT, I MOVE THAT THE LANDSCAPE REVIEW COMMITTEE APPROVE THE DECISION DOCUMENT AND APPROVE THE LANDSCAPE PLAN REVIEW APPLICATION (L 48-24) SUBJECT TO THE CONDITIONS SPECIFIED IN THE DECISION DOCUMENT

Attachments:

Attachment A – Decision L 48-24



**CITY OF MCMINNVILLE
COMMUNITY DEVELOPMENT**
231 NE FIFTH STREET
MCMINNVILLE, OR 97128
503-434-7311
www.mcminnvilleoregon.gov

DECISION, CONDITIONS, FINDINGS OF FACT AND CONCLUSIONARY FINDINGS FOR THE APPROVAL OF A LANDSCAPE PLAN REVIEW FOR PROPERTY AT 500 NE CAPTAIN MICHAEL KING SMITH WAY

- DOCKET:** L 48-24 (Landscape Plan Review)
- REQUEST:** Approval of a Landscape Plan Review for property at 500 NE Captain Michael King Smith Way
- LOCATION:** 500 NE Captain Michael King Smith Way, Tax Lot R4423 -00601, -00602, -01301
- ZONING/
OVERLAY:** General Commercial (C-3) Planned Development, Airport Overlay Zone, Three Mile Lane Area Plan (Ord. No. 5126)
- APPLICANT:** McMinnville Properties, LLC
- STAFF:** Taylor Graybehl, Senior Planner
- DATE RECIEVED:** December 16, 2024

DECISION-MAKING

BODY & ACTION: McMinnville Landscape Review Committee makes a recommendation of approval or denial to the Planning Director.

MEETING DATE

& LOCATION: March 19, 2025, McMinnville Community Development Center, 231 NE 5th Street, and via Zoom online meeting

PROCEDURE:

Landscape plans are required to be reviewed and approved by the Landscape Review Committee as described in Section 17.57.050 (Plans-Submittal and review-Approval-Time limit for completion) of the McMinnville Zoning Ordinance.

CRITERIA:

The applicable criteria are specified in Section 17.57.070 (Area Determination – Planning factors) of the McMinnville Zoning Ordinance, McMinnville City Code.

APPEAL: The decision may be appealed within 15 days of the date the decision is mailed as specified in Section 17.57.170 of the McMinnville Zoning Ordinance.

COMMENTS: This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Their comments are provided in this document. No public notice of the application was required by the McMinnville Zoning Ordinance. No additional comments were received by the Planning Department.

DECISION

Based on the findings and conclusionary findings, the Landscape Review Committee finds the applicable criteria are satisfied with conditions and recommends **APPROVAL** of the Landscape Plan (L 48-24) **subject to the conditions of approval provided in Section II of this document.**

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DECISION: APPROVAL WITH CONDITIONS
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Planning Staff: _____ Date: _____
Taylor Graybehl, Senior Planner

Planning Department: _____ Date: _____
Heather Richards, Planning Director

I. APPLICATION SUMMARY:

Subject Property

The subject sites are located at 500 NE Captain Michael King Smith Way, Tax Lot R4423 -00601, -00602, -01301. **See Figure 1 (Ariel/Vicinity Map).** The subject properties are zoned General Commercial (C-3) Planned Development and are located within the Airport Overlay Zone and Three Mile Lane Area Plan. **See Figure 2 (Zoning Map).**

The Evergreen Campus was subsequently established in 1998 with adoption of Ordinance 4662, which rezoned a portion of the campus (not including the site of the proposed hotel) from Agricultural Holding (AH) to General Commercial Planned Development (C-3 PD). Ordinance 4662 also imposed numerous development standards including a 15% minimum landscape requirement, a 125' maximum structure height, and lighting, sign, traffic, and other requirements.

The site is located in the Three Mile Lane Planned Development Overlay District (Ordinance No. 5126). The ordinance includes policies related to future development characteristics, including landscaping.

- **Policy 1** - Require future development to be consistent with the design elements of the Three Mile Lane Area Plan.
- **Policy 7** - Require native landscape plantings with seasonal variation and tree plantings with shade streets with mature tree canopy.
- **Policy 15** - Native landscape plantings with seasonal variation and tree plantings that include shade streets with mature tree canopy.
- **Policy 16** - New development should consider adjacency to agricultural fields and respect this heritage through careful transitions.

The project complies with these policies.

The subject sites are located within the Evergreen Campus, with Tax Lots -00601 and -00602 containing multiple Planned Developments, a Landscape Plan, and Three-Mile-Lane Area projects related to the associated development on the lot. The associated Planned Developments contain landscaping standards and other requirements.

Ordinance	Landscaping Requirements?	Proposed Landscaping Complies with Standards?
4662	Yes	Yes
4832	Yes	Yes
4915	Yes	Yes
4924	No	-
4949	Yes	Yes

The project area is included in the Landscape Plan (16-06), which identifies the area adjacent to the access drive to be landscaped with shrubs and ground cover. The proposed plans comply with the approval.

Application

Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

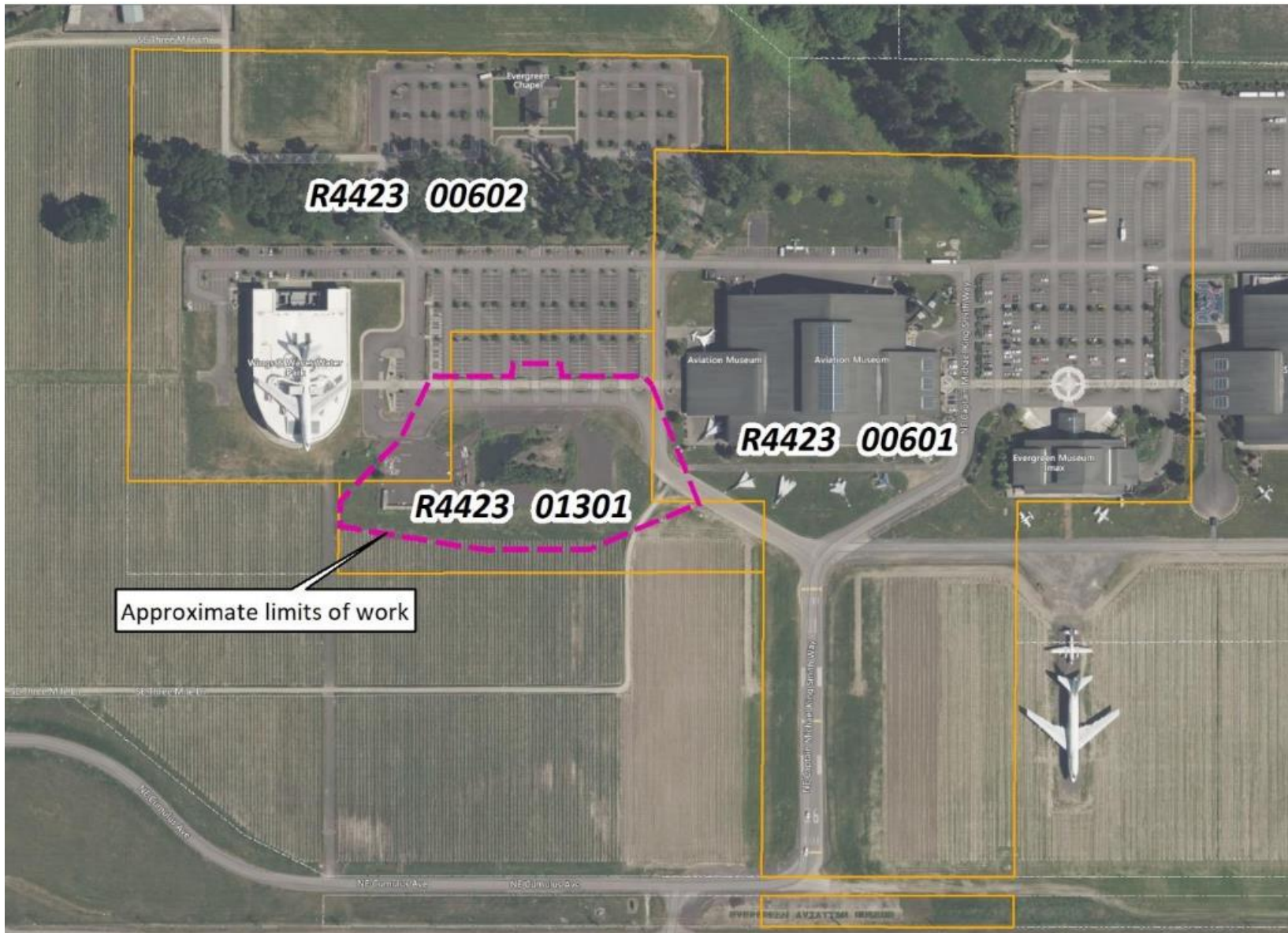
Attachment 2 – Additional Submittal Materials (received March 13, 2025)

The application is a request for a Landscape Plan Review approval for landscaping for landscaping associated with a new five-story, 102,063 square feet (SF), 108-room hotel within the Evergreen Campus at 500 NE Captain Michael King Smith Way. The proposed hotel location is in the site's southeast corner between the waterpark and Aviation Museum, south of an existing parking area. The proposal includes minor changes to the existing parking area, including redeveloping existing landscape islands along the southern border of the parking area, adding accessible parking spaces, and installing electric vehicle (EV) parking spaces. The work area is approximately 214,000 SF and the proposed hotel footprint is 25,500 SF. ***See Figure 3 (Landscape Plan).***

Additional materials were received on March 13, 2025 providing specifications for the proposed solid waste and recycling enclosure areas.

Staff recommends approval of the landscape plan with revisions/conditions as provided below.

Figure 1: Aerial Photo/Vicinity Map



Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

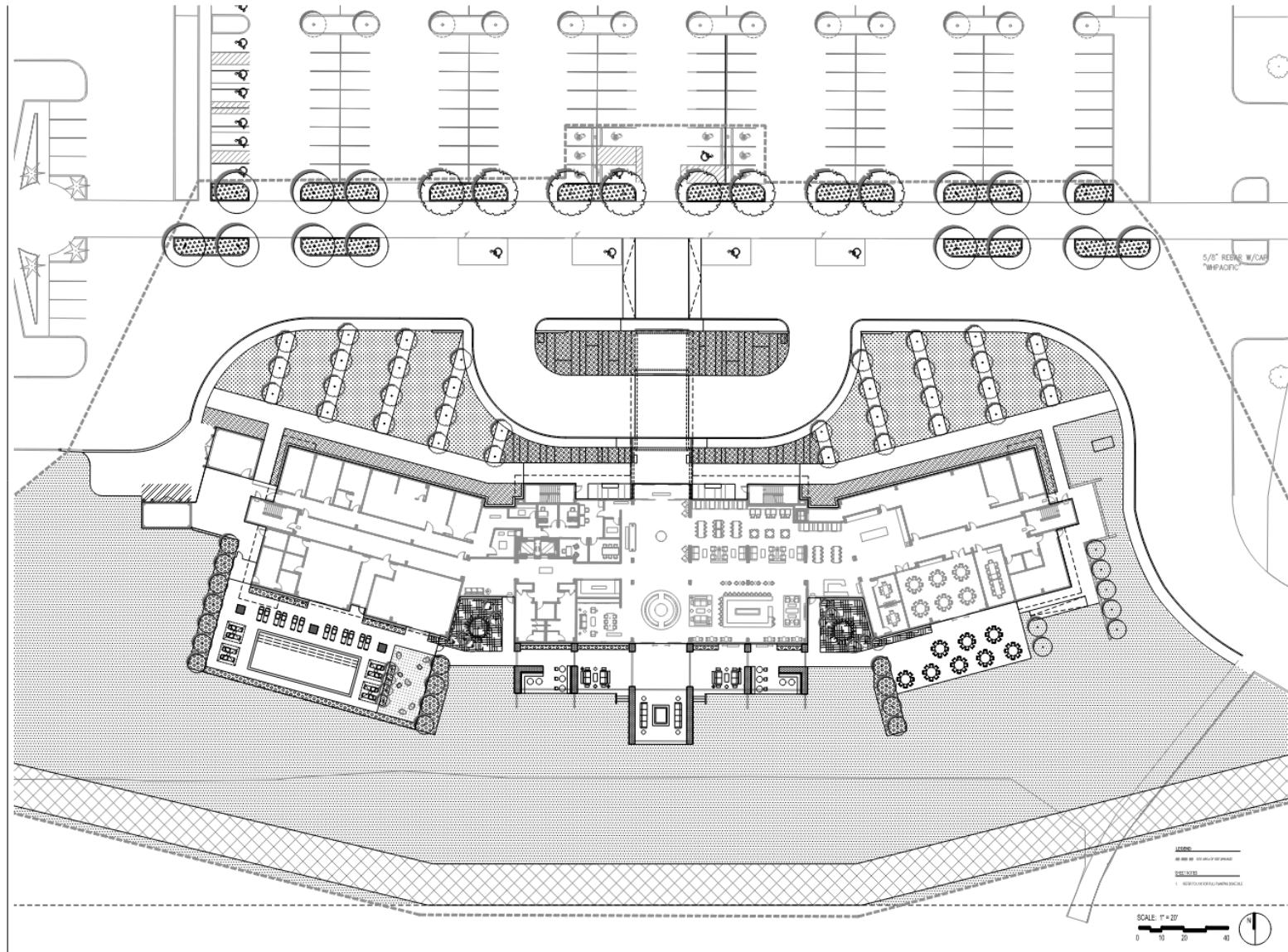
Figure 2: Zoning Map



Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

Figure 3. Landscape Plan



Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

Summary of Criteria

Decisions and/or recommendations for approval of the land use application are dependent upon whether the application meets state regulations, the McMinnville Comprehensive Plan and the McMinnville Municipal Code (MMC). The application can either meet these criteria as proposed, or a condition of approval can be provided that either outlines what needs to occur to meet the criteria or when something needs to occur to meet the criteria.

The development is proposed on land zoned General Commercial (C-3) Planned Development which is required to be landscaped by MMC Section 17.57.030. Therefore, landscaping is required subject to the criteria and standards described in MMC Chapter 17.57-Landscaping.

II. CONDITIONS:

1. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan with trash/recycling enclosures designed as required by MMC Chapter 17.61. (MMC 17.56.050(A)(3)).
2. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan in compliance with the conditions of approval and receive approval of the landscape plan. (MMC 17.57.050(A)(1))
3. Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to the issuance of the building permit. (MMC 17.57.050(C))
4. A temporary occupancy permit may be issued prior to the complete installation of all required landscaping subject to the standards of MMC 17.57.050(D).
5. Prior to the issuance of a certificate of occupancy or return of security, landscaping shall be inspected by the Planning Director and designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))
6. All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).
7. Prior to the issuance of a building permit, the applicant shall submit proof from collection agency that solid waste and recycling enclosures meet minimum size requirements. (MMC 17.61.040)
8. Prior to the issuance of a building permit, the applicant shall submit revised plans with landscaping on three (3) sides of the solid waste and recycling enclosure structure of climbing vines and screening shrubs or hedges with a minimum height of three (3) feet at the time of planting. (MMC 17.61.030(C))
9. Gates must remain closed at all times except at times of service. (MMC 17.61.030(F))
10. Prior to the issuance of a building permit, the applicant shall submit revised landscape plans indicating a "No Parking" placed visibly on the gates of the enclosure. (MMC 17.61.030(G))

- 11. Prior to the issuance of a building permit, the applicant shall demonstrate solid waste and recycling enclosure locations are compatible with the City of McMinnville’s Fire Code. (MMC 17.61.030(H))
- 12. This approval is for landscaping only, and the applicant is responsible for obtaining any other required permits.

III. ATTACHMENTS:

- 1. (L 48-24) Application and Attachments (on file with the Planning Department)

IV. COMMENTS:

Agency Comments

This matter was referred to the following public agencies for comment: McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light.

The following comments were received:

City of McMinnville Engineering Division

If final approved civil plans conflict with previously approved landscape and irrigation plans, the landscape and irrigation plans will need to be revised to reflect final civil design.

Any landscape and irrigation required for any stormwater detention facilities will be reviewed by the City Engineering Department with the civil engineering design submittal.

City of McMinnville Public Works:

No comments have been received as of March 13, 2025.

McMinnville Water and Light

Power: No Issues

Water: MW&L Civil Engineering does not have any concerns with what is being designed for this project. The tie in point with the public water system is a significant distance to the north from the build site and is already laid out. All of the proposed water line will be privately owned.

Public Comments

No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance which does not require public notification. No public comments were received prior to the Planning Director’s decision.

V. FINDINGS OF FACT - PROCEDURAL FINDINGS

- 1. The application was received on December 16, 2024.

Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

2. Notice of the application was referred to the following public agencies for comment on January 27, 2025. McMinnville Public Works, McMinnville Engineering, and McMinnville Water and Light. Comments received from public agencies are addressed in the Decision Document.
3. No public notice of the application was provided by the City of McMinnville, as Landscape Plan Review applications are reviewed by the process described in Section 17.57.050 of the McMinnville Zoning Ordinance, which does not require public notification. No public comments were received prior to the public meeting.
4. A public meeting was held by the Landscape Review Committee on March 19, 2025, to review the application and proposed landscape plan.

VI. FINDINGS OF FACT - GENERAL FINDINGS

1. **Location:** 500 NE Captain Michael King Smith Way, Tax Lot R4423 -00601, -00602, -01301
2. **Size:** The project area is approximately 214,000 square feet.
3. **Comprehensive Plan Map Designation:** Commercial
4. **Zoning:** General Commercial (C-3) Planned Development
5. **Overlay Zones/Special Districts:** Three Mile Lane Planned Development Overlay District (Ordinance No. 5126)
6. **Current Use:** Vacant
7. **Inventoried Significant Resources:**
 - a. **Historic Resources:** None
 - b. **Other:** None
8. **Other Features:** SWI Soils are identified in the project area and the applicant should contact DSL.
9. **Utilities:** Utilities are available to the site.
10. **Transportation:** The property is accessed by private easement through neighboring properties to connect to Cumulus Avenue. The subject property does not have street frontage.

VII. CONCLUSIONARY FINDINGS:

The Conclusionary Findings are the findings regarding consistency with the applicable criteria for the application. The applicable planning factors for a Landscape Plan Review are specified in Section 17.57.070 of the Zoning Ordinance. The applicant standards for Large Format Review are found in Chapter 17.56. The applicable standards for parking lot landscaping are specified in Section 17.56.050(4). The applicable standards for Solid Waste and Recycling Enclosures are specified in Section 17.61.030. The applicable policies of the Three Mile Lane Area Plan (Ordinance No. 5126) are identified as 7, 15, and 16.

In addition, the goals, policies, and proposals in Volume II of the Comprehensive Plan are to be applied to all land use decisions as criteria for approval, denial, or modification of the proposed request. Goals and policies are mandated; all land use decisions must conform to the applicable goals and policies of Volume II. "Proposals" specified in Volume II are not mandated but are to be undertaken in relation to all applicable land use requests.

Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

Comprehensive Plan Volume II:

The following Goals, Policies, and Proposals from Volume II of the Comprehensive Plan provide criteria applicable to this request:

The implementation of most goals, policies, and proposals as they apply to this application are accomplished through the provisions, procedures, and standards in the city codes and master plans, which are sufficient to adequately address applicable goals, policies, and proposals as they apply to this application.

The following additional findings are made relating to specific Goals and Policies:

GOAL X 1: *TO PROVIDE OPPORTUNITIES FOR CITIZEN INVOLVEMENT IN THE LAND USE DECISION MAKING PROCESS ESTABLISHED BY THE CITY OF McMinnville.*

Policy 188.00: The City of McMinnville shall continue to provide opportunities for citizen involvement in all phases of the planning process. The opportunities will allow for review and comment by community residents and will be supplemented by the availability of information on planning requests and the provision of feedback mechanisms to evaluate decisions and keep citizens informed.

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED. McMinnville continues to provide opportunities for the public to review and obtain copies of the application materials and completed staff report prior to the McMinnville Landscape Review Committee review of the request and recommendation at an advertised public meeting. All members of the public have access to provide testimony and ask questions during the public review and hearing process.

McMinnville Zoning Ordinance

The following Sections of the McMinnville Zoning Ordinance provide criteria applicable to the request:

Chapter 17.56 Large Form Commercial Development

17.56.010 Purpose. *While McMinnville recognizes the inevitable commercial growth taking place within the City and the ensuing change to the cityscape, it is committed to preserving the character and values of the City, thus continuing to make McMinnville an inviting place to live and work. This ordinance aims to diminish the negative aesthetic impacts of large-scale commercial development on the City.*

Large commercial establishments typically locate at highly visible locations on major public streets. As a result of this, their design and layout determines much of the character and attractiveness of major streetscapes in the City. This ordinance is a response to concerns about the impact of large-format commercial establishments on McMinnville’s landscape. To date, much of the built commercial environment in McMinnville is largely defined by typical small-town characteristics: architectural variety, pedestrian scale and accessibility, substantial façade articulation, extensive glazing, and landscaping. The goals and standards of this chapter are

intended to encourage large-scale commercial development that reflects McMinnville's traditional design elements.

Specifically, the goals of this ordinance are to:

- A. Establish standards which will ensure that large-scale commercial development in McMinnville is compatible with surrounding commercial and residential development.*
- B. Permit commercial development which is visually appealing with regard to site and building design.*
- C. Encourage large-scale commercial development to use energy-efficient building and layout designs.*
- D. Create a pedestrian-friendly environment within large-scale commercial developments.*
- E. Achieve reasonably sized parking areas enhanced with substantial landscaping and parking lot trees.*

APPLICANT'S RESPONSE: The proposed hotel location is set back over 700' from the nearest public street (NE Cumulus Avenue); however, the hotel will be visible from Three Mile Lane/Oregon Highway 18, which is immediately south of NE Cumulus Avenue. The proposed hotel design reflects the site's character and aviation theme as well as the City of McMinnville goals through the use of architectural variety, pedestrian scale development, façade articulation, glazing, and landscaping as shown on Exhibit 3. The building has been designed with energy efficiency in mind through the use of energy efficient windows and doors, cool-roof technology, solar-ready roof design, and high efficiency water heating. The proposed development also considers pedestrian connectivity and pedestrian amenities with the addition of walkways, canopies for weather protection, trees and landscaping, and lighting. Pedestrian pathways are available through the campus to allow patrons to circulate among buildings, and no additional parking is proposed as part of this application as the campus has sufficient parking. The purpose of this section is met.

FINDING: SATISFIED WITH CONDITIONS. Subject to conditions of approval detailed below, the proposed landscape plan is consistent with the purpose of this chapter. In addition, the Chapter includes standards unrelated to landscaping and will be subject to review as part of separate permits.

Section 17.56.050(A)(3) Loading Facilities. *To aid in mitigating negative visual impacts commonly associated with off-street loading facilities, such facilities shall be visually screened by either a wall designed to architecturally complement the building exterior, an evergreen vegetative screen, or a combination of these two options. Solid waste and recycling enclosures shall be designed as required by Chapter 17.61(Solid Waste and Recycling Enclosure Plan) of the McMinnville Zoning Ordinance.*

APPLICANT'S RESPONSE: The hotel loading area and trash/recycling enclosure are located on the west side of the hotel behind a landscaping area that includes perimeter plantings (shown in L-Series sheets/landscape plans of Exhibit 3) and the trash/recycling is also within an enclosure that has been designed to complement the building exterior. This standard is met.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #1: The proposed plans show trash/recycling enclosures to the west of the proposed hotel. As proposed, the enclosures

are not designed as required by Chapter 17.61. Findings for Chapter 17.61 are provided below.

CONDITION OF APPROVAL #1: Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan with trash/recycling enclosures designed as required by MMC Chapter 17.61. (MMC 17.56.050(A)(3)).

17.56.050(C)(2)(c). *Continuous six-foot-wide pedestrian walkways shall be provided from the sidewalk along the adjacent public or private street(s) to the principal customer entrance(s) of all large commercial structures. These pedestrian walkways shall feature abutting landscaped areas of no less than five feet in width for no less than 50 percent of the length from the building to the adjacent street.*

APPLICANT'S RESPONSE: As shown on Sheet L200 of Exhibit 3, a continuous 6' wide walkway is proposed from the adjacent private street to the principal customer entrance. The walkway has abutting landscaped area of more than 5' in width along the entire length of the building (see Sheet L101 of Exhibit 3). This standard is met.

FINDING: SATISFIED. The landscape plan indicates a pathway to the nearest street, Cumulus Avenue, with abutting landscaping in compliance with standards.

17.56.050(C)(3). *Parking spaces shall be provided at no more than 120 percent of the minimum required by Chapter 17.60 (Off-Street Parking and Loading). Additionally, all parking areas shall be designed in a manner that is attractive, easy to maintain, and minimizes the visual impact of off-street parking. Bicycle parking accommodations shall be provided as required by Chapter 17.60.140 (Off-Street Parking and Loading) of the McMinnville Zoning Ordinance.*

APPLICANT'S RESPONSE: The parking area is internal to the site and located behind the proposed hotel so there is minimal visual impact from the street. This proposal also includes visual improvements to the parking lot, including improved landscape planters, which will add to the attractive design of the parking area.

FINDING: SATISFIED. The applicant intends to use the existing parking area in the center of the site; no new parking area is proposed.

17.56.050(C)(4)(a). *All parking facilities shall include landscaping to equal not less than ten percent (10%) of the gross site area supporting the proposed commercial development; exclusive of building footprint(s).*

APPLICANT'S RESPONSE: The proposed landscape plan on Sheet L200 of Exhibit 3 includes tabulations for area of disturbance, gross planting area, and planting area percentage for the site and the parking area. Within the 214,000 SF Area of Disturbance, the proposed planting area is 107,252 SF or 50%. The proposed area of disturbance within the parking area is 21,858 SF with 3,068 SF of planting area or 14%. This standard is met.

FINDING: SATISFIED. The applicant exceeds the minimum 10% of the gross site area to be landscaped and satisfies this standard.

17.56.050(C)(4)(b). *Landscaped peninsulas and islands shall be evenly distributed throughout all parking areas, and separated by no more than 60 feet, one from another. Such landscaped areas shall be provided with raised curbs, be a minimum of five feet in width, and shall each contain at least one deciduous tree. To achieve the maximum canopy coverage, all trees shall be non-columnar in form or as may be approved by the Landscape Review Committee.*

APPLICANT'S RESPONSE: The proposed new landscape islands along the southern border of the parking area are distributed evenly and separated by less than 60'. The landscape areas are within raised curbs and are at least 8' wide. Each proposed landscape island has two deciduous trees including Wildfire Black Tupelo and Silverleaf Oak species. Other existing landscape islands around the parking lot will remain in their present configuration. This standard is met.

FINDING: SATISFIED. The applicant submitted landscape plan complies with landscaped peninsulas and islands comply with the above standards.

Chapter 17.57 Landscaping

17.57.010 Purpose and intent. *The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:*

- A. *Provide guidelines and standards that will:*
 - 1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
 - 2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
 - 3. *Mitigate the loss of natural resources.*
 - 4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
 - 5. *Create safe, attractively landscaped areas adjacent to public streets.*
 - 6. *Require the planting of street trees along the City's rights-of-way.*
 - 7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
 - 8. *Provide shade, and seasonal color.*
 - 9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*

- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.

The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.

APPLICANT'S RESPONSE: The following responses describe how the proposed landscape plans advance the purpose and intent of the MMC landscape requirements. The landscape plans shown in the L-Series sheets in Exhibit 3 show how the landscape plans enhance, protect, and promote the economic, ecological, and aesthetic environment through the use of shade and wind protection, visual screens and buffers, increased tree canopy, and reduction in soil erosion and stormwater runoff. The proposed landscape is designed to soften the appearance of structures, increase visual appeal, create natural weather protection, break up different areas of use, and add to the natural scenery and views.

FINDING: SATISFIED WITH CONDITIONS. Subject to conditions of approval detailed below, the proposed landscape plan is consistent with the purpose of this chapter.

17.57.030 Zones where required. *Landscaping shall be required in the following zones except as otherwise noted:*

- A. *R-4 (Multiple-Family Residential zone, except the construction of a Single-Family or Two-Family Residential unit);*
- B. *C-1 (Neighborhood Business zone);*
- C. *C-2 (Travel Commercial zone);*
- D. *C-3 (General Commercial zone);*
- E. *O-R (Office/Residential zone);*
- F. *M-L (Limited Light Industrial zone);*
- G. *M-1 (Light Industrial zone);*
- H. *M-2 (General Industrial zone).*

APPLICANT'S RESPONSE: The applicant has submitted plans including proposed landscaping within the proposed area of the new hotel and associated parking area modifications. See Exhibit 3.

FINDING: APPLICABLE. The proposed development is within the General Commercial (C-3) Planned Development; therefore, landscaping is required subject to landscaping requirements of commercial zones and the criteria and standards described in Chapter 17.57 – Landscaping.

17.57.050 Plans - Submittal and Review – Approval – Completion Time Limit.

17.57.050(A). *At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the Building Department to be forwarded to the Planning Department.*

1. *No building permit shall be issued until the landscaping plan has been approved.*
2. *The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;*

APPLICANT'S RESPONSE: The applicant has included landscape plan drawings as the L-Series sheets in the submitted development plan set (Exhibit 3). This requirement is met.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #2. The applicant must comply with the above standards by submitting a revised landscape plan that is in compliance with the conditions of approval prior to the issuance of a building permit.

CONDITION OF APPROVAL #2. Prior to the issuance of a building permit, the applicant shall submit a revised landscape plan in compliance with the conditions of approval and receive approval of the landscape plan. (MMC 17.57.050(A)(1))

17.57.050(C). *The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the Planning Department and included within the permanent file;*

APPLICANT'S RESPONSE: The submitted L-Series sheets in the plan set (Exhibit 3) identify landscape planting areas and plant specifications consistent with City requirements. The applicant acknowledges that any changes will be reflected in plans submitted for construction permitting, consistent with this requirement.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #3. The proposed conditions of approval make the landscape plan compatible with this chapter's purpose, intent, and requirements. The applicant is required to submit a revised landscape plan for review and approval prior to the issuance of a building permit. If the applicant seeks modification of the approved landscape plan it must be agreed to in writing prior to the issuance of a building permit.

CONDITION OF APPROVAL #3: Any proposed modifications to the landscape plan shall be indicated and specified on the landscape plan and agreed to in writing by the applicant prior to the issuance of the building permit. (MMC 17.57.050(C))

17.57.050(D). *Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the Planning Director is filed with the City assuring such installation within a time specified by the Planning Director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the Planning Director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the City, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the City Attorney. If the installation of the landscaping is not completed within the period specified by the Planning Director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the City to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the City shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the City;*

APPLICANT'S RESPONSE: This provision contains procedural direction for the implementation of construction plans following permit issuance. The applicant acknowledges that a financial surety may be required if temporary building occupancy is requested prior to completion of all site landscaping requirements (such as deferral of plantings to the appropriate planting season to promote survival/establishment of plant specimens), consistent with this provision.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #4. The issuance of a temporary occupancy permit prior to the complete installation of landscaping may be permitted by the Planning Director. If permitted by the Planning Director, the amount of security, time frame, and potential use of the security to finalize landscaping must comply with this criterion.

CONDITION OF APPROVAL #4: A temporary occupancy permit may be issued prior to the complete installation of all required landscaping subject to the standards of MMC 17.57.050(D).

17.57.050(E). *All completed landscape projects shall be inspected by the Planning Director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the Planning Director or their designee, as long as they do not alter the character and aesthetics of the original plan.*

APPLICANT'S RESPONSE: This provision contains procedural direction for the implementation of construction plans following permit issuance. The applicant acknowledges that compliance confirmation is required prior to occupancy certificate or release of financial surety.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #5. Issuance of an occupancy permit or return of security requires the inspection of the landscape project by the Planning Director or their designee which finds the landscaping in compliance with the approved

plans. Minor changes in the landscape plan shall be allowed by the Planning Director or their designee in some cases.

CONDITION OF APPROVAL #5: Prior to the issuance of a certificate of occupancy or return of security, landscaping shall be inspected by the Planning Director and designee and found to be in compliance with the approved plans. Minor alterations to the landscape plan may be allowed as determined by the Planning Director or their designee as long as they do not alter the character and aesthetics of the approved plans. (MMC 17.57.050(E))

17.57.060 Plans - Information to be Included. The following information shall be included in the plans submitted under Section 17.57.050:

- A. Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the rip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;
- B. The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;
- C. The percentage of the gross area to be landscaped;
- D. Any equipment proposed for recreation uses;
- E. All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;
- F. The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;
- G. All of the information on the plot plan for the building permit.

APPLICANT'S RESPONSE: The applicant's proposed landscape plans can be found in the L-Series sheets in Exhibit 3. The plans have been prepared to meet these submittal requirements and provide substantial evidence of compliance with Code provisions. This requirement is met.

FINDING: SATISFIED.

- A. **Satisfied:** No trees over six inches in diameter are located in the project area.
- B. **Satisfied:** The location and variety of new plantings has been identified.
- C. **Satisfied:** The applicant has indicated that the percentage of landscaping in the site area will be 50% and 14% in the parking area.
- D. **Satisfied:** The applicant has indicated the location of a pedestrian path.
- E. **Satisfied:** The project area currently contains a pedestrian path.
- F. **Satisfied:** The applicant provided an irrigation plan as sheet L300.
- G. **Satisfied:** The plans provide sufficient information, the applicant will be responsible for ensuring that future building permit plan applications comply with the approved landscape plans.

17.57.070 Area Determination – Planning Factors.

Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

17.57.070(A)(2). *Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*

APPLICANT'S RESPONSE: The proposed landscape plan Sheet L200, includes tabulations for area of disturbance, gross planting area, and planting area percentage for the site and the parking area. Within the 214,000 SF Area of Disturbance, the proposed planting area is 107,242 SF or 50%. The proposed area of disturbance within the parking area is 21,858 SF with 3,068 SF of planting area or 14%. Therefore, this well exceeds the minimum requirement. This standard is met.

FINDING: SATISFIED. The proposal exceeds the minimum requirement of seven percent of the gross area as landscaped.

17.57.070(A)(4). *A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection 2 of this section.*

APPLICANT'S RESPONSE: Within the area of disturbance (to construct the hotel and modify a small portion of the adjacent parking), the proposed development plan (Exhibit 3) proposes new landscape planters with plantings along the southern perimeter of the parking area and walkway. As discussed in the response above in subsection (A)(2), the proposed landscaping exceeds standards. This standard is met.

FINDING: SATISFIED. The proposal exceeds the minimum requirement of seven percent of the gross area as landscaped.

17.57.070(B). *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in Section 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

17.57.070(B)(1). *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

APPLICANT'S RESPONSE: The proposed development site is located far from any public right-of-way or boundary of another owner's property, so there is low potential for any significant visual impact of the proposed development. The proposed landscape plans have been designed to enhance the natural environment and visual appeal of the affected area (area of disturbance), increase tree canopy coverage, provide visual screens and buffers, increase the existing parking lot landscaping, aid in energy conservation through shade and wind reduction, and reduce soil erosion and discharge of stormwater runoff thereby meeting the intent of the code as stated in MMC 17.57.010. See the L-Series sheets in Exhibit 3. This standard is met.

FINDING: SATISFIED. The subject site is zoned as General Commercial (C-3) Planned Development with surrounding sites zoned as General Commercial (C-3). The surrounding area is composed of uses associated with the Evergreen campus and the proposed hotel use. The proposed use is compatible with the surrounding uses.

17.57.070(B)(2). *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

APPLICANT'S RESPONSE: Full screening of the proposed hotel is not a design objective because it is preferable for the building to be easily seen to enable visitors to locate it within the Evergreen campus. As shown on Sheet L101 of Exhibit 3, the proposed landscaping includes screening of unsightly areas such as the loading and garbage area through the use of enclosures that complement the proposed building. The hotel itself is surrounded by decorative and environmentally enhancing plantings such as trees, shrubs, and ground cover. The building design and landscape plan work together to create a visually appealing area that complements the rest of the uses on the overall Evergreen Campus site and blends in with the surrounding natural beauty. Screening of the parking areas to reduce headlight glare (as viewed from the public right-of-way on NE Cumulus Avenue and/or Three Mile Lane) will be achieved by the intervening hotel building located. This standard is met.

FINDING: SATISFIED. The subject site is located within the Evergreen campus and proposes a use associated with the campus. The project area is approximately 800 feet from Cumulus Avenue. The proposal meets the screening requirements.

17.57.070(B)(3). *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

APPLICANT'S RESPONSE: The proposed hotel is located in an area which was previously excavated for hotel construction. The proposed parking area reconfiguration will have little impact on existing vegetation, natural areas, and grade as the area is currently made up of impervious surface. Existing landscape trees will be preserved in landscape islands. The proposed landscape design will greatly increase the amounts of trees, shrubs, and ground cover in the affected area. This standard is met.

FINDING: STATISFIED. The proposed landscape plan and applicant's response demonstrates compliance with this standard.

17.57.070(B)(4). *The development and use of islands and plantings therein to break up parking areas.*

APPLICANT'S RESPONSE: New parking lot perimeter landscaping and tree planter islands are proposed along the southern border of the existing parking area consistent with applicable standards, as shown in the L-Series drawings in Exhibit 3. This standard is met.

FINDING: SATISFIED. The applicant has proposed the placement of landscaped islands with trees within the proposed parking area and in adjacent landscaped areas. The project satisfies this criterion.

17.57.070(B)(5). *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

APPLICANT'S RESPONSE: The applicant is not proposing a subdivision or a shopping center, so no street trees are proposed. Proposed on-site tree species can be found on Sheet L-100 of Exhibit 3. None of the prohibited tree species is proposed near the parking area. This standard is met.

FINDING: SATISFIED. The proposed landscape plan and applicant's response demonstrates compliance with this standard.

17.57.070(B)(6). *Suitable watering facilities or irrigation systems must be included in or near all planted areas.*

APPLICANT'S RESPONSE: The landscape plans include irrigation information on Sheet L300 of Exhibit 3. As shown, all proposed landscape area will be properly irrigated to ensure survival and growth, to be a design-build item for the contractor at time of development. This standard is met.

FINDING: SATISFIED. The proposed irrigation plan and applicant's response demonstrates compliance with this standard.

17.57.070(C). *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement.*

APPLICANT'S RESPONSE: The irrigation plan included in Exhibit 3 (Sheet L300) notes that all planting areas are to be watered by a fully automatic underground irrigation system. The applicant acknowledges responsibility to perform landscaping maintenance including weeding, pruning, mowing, and replacing dead specimens on an ongoing basis. This standard is met.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #6. This is a requirement of the Zoning Ordinance and has also been incorporated as a condition of approval.

CONDITION OF APPROVAL #6: All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement in compliance with MMC 17.57.070(C).

Chapter 17.58 Trees

17.58.010 Purpose. *The purpose of this ordinance is to establish and maintain the maximum amount of tree cover on public and private lands in the city; reduce costs for energy, stormwater*

Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

management, and erosion control; provide tree-lined streets throughout the city; select, situate and maintain trees appropriately to minimize hazard, nuisance, damage, and maintenance costs; to enhance the appearance, beauty and charm of the City; to increase property values and build stronger ties within neighborhoods; to implement applicable adopted Downtown Improvement Plan provisions; to promote a diverse, healthy, and sustainable community forest; and to educate the public regarding community forest issues. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).

APPLICANT'S RESPONSE: Within the area of disturbance, there are no existing landscape trees (see Sheet C1.0 of Exhibit 3). New parking lot landscape islands with proposed new trees are proposed along the southern border of the parking area (see Sheet L200 of Exhibit 3). There are no other trees within the area of disturbance

FINDING: NOT APPLICABLE. No street trees are required as part of the application and no trees are located within the project area.

17.58.020 Applicability. *The provisions of this ordinance shall apply to:*

- A. *Individual significant or historic trees as defined in this ordinance.*
- B. *All trees with trunks located completely or partially within any public area or right-of-way;*
- C. *All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review; (Ord. 5027 §2, 2017; Ord. 4654B §1, 1997).*

APPLICANT'S RESPONSE: No response.

FINDING: APPLICABLE. Those trees on the subject site and adjacent right-of-way are subject to the standards of Chapter 17.58.

Section 17.58.040 Tree Removal/Replacement

- A. *The removal or major pruning of a tree, if applicable under Section 17.58.020, shall require City approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the City. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal or major pruning. Applications shall be reviewed by the City Manager or City Manager's Designee (hereafter "Manager") or the Landscape Review Committee as provided in this Chapter, including Section 17.58.050. Only applications for Complex Tree Removal Permits shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 (thirty) days of submittal, except as authorized in Section 17.58.050. Requests for tree removal within the Downtown Tree Zone shall be submitted to the City. Such requests shall be acted upon as soon as practicable, with consideration given to public safety, value of the tree to the public, and work schedules. The Manager should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or Manager, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in Section 17.58.050. A decision of the committee or Manager may be appealed to the Planning Commission if written notice of the appeal is filed with the City within 15 (fifteen) days of the committee's or Manager's decision. A decision made by the*

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Manager in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks, or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.

- B. Trees subject to this ordinance which are approved for removal or pruning shall be removed or pruned following accepted arboricultural pruning practices, such as those published by the International Society of Arboriculture (ISA) and any standards adopted by the City. The Manager, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.*
- C. The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.*
- D. Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the City as part of the City's annual tree planting program.*
- E. The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two-inch-thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.*
- F. The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Manager's or Landscape Review Committee's decision. The Manager or Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.*
- G. Other conditions may be attached to the permit approval by the Manager or Landscape Review Committee as deemed necessary.*
- H. The planting of street trees shall be subject to the design drawings and specifications developed by the City in May 2014, as may be subsequently amended. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the City to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict. (Ord. 5027 §2, 2017; Ord. 4816 §2, 2004; Ord. 4654B §1, 1997).*

APPLICANT'S RESPONSE: No street trees or public trees are located on or near the site, and there are no existing trees within the area of disturbance (see Sheet C1.0 of Exhibit 3), so no tree protection measures are needed. This section does not apply.

FINDING: SATISFIED. No street or private trees are proposed to be disturbed as part of this application.

17.58.075 Protection of Trees.

- A. *It shall be unlawful for any person to remove, destroy, break, or injure any street tree or public tree. Individuals convicted of removing or destroying a tree without City approval shall be subject to paying to the City an amount sufficient to fund the planting and establishment of a tree, or trees, of similar value. The value of the removed or destroyed tree shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers.*
- B. *It shall be unlawful for any person to attach or keep attached to any street or public tree or to the guard or stake intended for the protection of such tree, any rope, wire, chain, sign, or other device, except as a support for such tree.*
- C. *During the construction, repair, alteration or removal of any building or structure it shall be unlawful for any owner or contractor to leave any street tree or public tree in the vicinity of such building or structure without a good and sufficient guard or protectors as shall prevent injury to such tree arising out of or by reason of such construction or removal.*
- D. *Excavations shall not occur within the drip line of any street tree or public tree without approval of the City, applying criteria developed by the Landscape Review Committee. Utility pole installations are exempted from these requirements. During such excavation or construction, any such person shall guard any street tree or public tree within the drip line, or as may be required by the Manager or Landscape Review Committee.*
- E. *All building material or other debris shall be kept outside of the drip line of any street tree or public tree.*

APPLICANT'S RESPONSE: No street trees or public trees are located on or near the site, and there are no existing trees within the area of disturbance (see Sheet C1.0 of Exhibit 3), so no tree protection measures are needed. This section does not apply.

FINDING: SATISFIED. No street trees or private trees are proposed to be disturbed as part of this application.

17.58.080 Street Tree Planting—When Required. *All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in Section 17.58.090.*

APPLICANT'S RESPONSE: The proposed development is located internal to the large Evergreen campus site, over 700' from the NE Cumulus Avenue public street frontage area. The proposal does include a new sidewalk along NE Cumulus Avenue. The applicant understands from City staff that the City approved installation of smaller-scale vegetation to be planted in lieu of street trees in order to preserve views of the adjoining vineyards and the architectural vista of the prominent campus buildings. Consistent with this prior interpretation, no street trees are proposed with this application. This section does not apply.

FINDING: NOT APPLICABLE. A curb-side planting strip is not located within Cumulus Avenue.

Chapter 17.52 Airport Overlay Zone

17.52.060 Horizontal Zone Restrictions. *The following uses are prohibited in the Horizontal Zone:*

Any structure which exceeds a height greater than 309 feet above MSL except that a structure may be constructed to a vertical height no greater than 35 feet above the ground in the Eola Hills. (Ord. 4512 §1(part), 1992).

APPLICANT'S RESPONSE: No response.

FINDING: NOT APPLICABLE. No structure is reviewed as part of this application.

Chapter 17.54. General Provisions

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The installation of landscaping is subject to standards found within Chapter 17.54 General Provisions, including Section 17.54.080 Clear Vision Area. As proposed, no plant exceeds the maximum permitted height within the clear vision area.

Chapter 17.60. Off-Street Parking and Loading

17.60.080. Design Requirements

17.60.080(D)(2). *When a parking area in a commercial or industrial zone abuts a property in a residential zone, a site-obscuring fence or wall, either permanent or of living material, shall be placed along the affected property line. The responsibility for placement of the fence or wall lies with the commercial or industrial property.*

APPLICANT'S RESPONSE: None.

FINDING: NOT APPLICABLE. The subject site is zoned commercial by commercial zoning. The standards of this section do not apply.

Chapter 17.61. Solid Waste and Recycling Enclosure Plan

17.61.020 Applicability and Exemptions.

A. The requirements of this chapter shall apply to all new commercial, industrial and multi-dwelling developments of three (3) or more dwelling units.

APPLICANT'S RESPONSE: None.

FINDING: APPLICABLE. The project is subject to standards within Chapter 17.61 as the applicant has proposed commercial development, which triggers applicability requirements

as defined in Section 17.61.020(A). The applicant has indicated two recycling/trash enclosures west of the primary structure. The proposal does not meet the screening requirements and additional information is required to ensure compliance with standards.

Section 17.61.030(A). *The location of an enclosure must allow for collection agency drive-in access. A fifty-foot (50) access approach is recommended. In addition to the approach, either an exit that allows the truck to move forward or a turn area with a minimum radius of 46.5 feet is preferred. Both approach and location shall be unobstructed and free of overhead wires and low hanging trees. An eighteen-foot (18) minimum height clearance above the enclosure approach is required and a thirty-two-foot (32) vertical clearance is required above the container itself. The enclosure shall be of sufficient size to store trash and recycling receptacles, the size of which shall be determined by the collection agency and will be based on proposed use. A minimum distance of two feet (2) is required between the container and existing or proposed structures. The enclosure shall be a minimum of six feet (6) tall or six inches (6) higher than the top of the tallest container.*

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #7. The enclosure's location allows for at least a fifty (50) foot approach and is free of overhead wires and low-hanging trees. The enclosure size has not been provided nor proof that the collection agency has approved the minimum size.

CONDITION OF APPROVAL #7: Prior to the issuance of a building permit, the applicant shall submit proof from collection agency that solid waste and recycling enclosures meet minimum size requirements. (MMC 17.61.040)

Section 17.61.030(B). *Solid waste enclosures shall not be located within twenty feet (20) of a required front or exterior yard and should be placed at the rear of a building whenever possible. Should an enclosure be placed within a required landscaped front or exterior yard, additional landscaping must be provided elsewhere on the property to compensate for the encroachment into the required landscaped yard. Any modifications to required landscaping must meet the approval of the Landscape Review Committee.*

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. The solid waste enclosures are proposed to the side (west) of the building parallel to Cumulus Avenue, with no structure between the enclosures and the street. The enclosure is not proposed within twenty (20) feet of a required front or exterior yard and the placement satisfies this standard.

Section 17.61.030(C). *Any trash or recycling enclosure which is visible from the street must provide landscaping around three (3) sides of the structure. Climbing vines and screening shrubs or hedges are appropriate, and landscaping must be a minimum of three feet (3) in height at the time of planting.*

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #8. The solid waste enclosure is proposed west of the building and visible from Cumulus Avenue. The proposed plans do not meet minimum standards. The enclosures are not surrounded on all three (3) sides by landscaping; where landscaping is adjacent, they are wildflowers to be seeded. The proposed wildflowers are not climbing vines and screening shrubs or hedges and will not be three (3) feet in height at the time of planting. The applicant is required to provide landscaping as described in this section.

CONDITION OF APPROVAL #8: Prior to the issuance of a building permit, the applicant shall submit revised plans with landscaping on three (3) sides of the solid waste and recycling enclosure structure of climbing vines and screening shrubs or hedges with a minimum height of three (3) feet at the time of planting. (MMC 17.61.030(C))

Section 17.61.030(D). *Where a commercial or industrial zone abuts a residential zone, enclosures must be placed a minimum of thirty feet (30) from any residential structure or as otherwise approved by the Planning Director.*

APPLICANT'S RESPONSE: None.

FINDING: NOT APPLICABLE. The subject site does not abut a residential zone.

Section 17.61.030(E). *Generally, the design of the structure should match the exterior surface of the building and can be constructed of masonry, wood or concrete blocks in combination with plant material capable of forming a complete evergreen hedge. The floor of the enclosure shall be a concrete holding pad which must extend eight feet (8) beyond the gates.*

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED. Enclosures are proposed with a parapet cap to match the hotel and siding to match the hotel in compliance with standards. The floor of the enclosure is proposed as a concrete holding pad to extend twelve (12) feet beyond the gates, in compliance with standards.

Section 17.61.030(F). *Gates that screen the containers are required and must remain closed at all times except at times of service.*

APPLICANT'S RESPONSE: None.

FINDING: SATISFIED WITH CONDITIONS. Plans have identified gates to be installed. A condition is included to ensure compliance with operation standards.

CONDITION OF APPROVAL #9: Gates must remain closed at all times except at times of service. (MMC 17.61.030(F))

Section 17.61.030(G). *Parking is prohibited in front of the enclosure and all parked vehicles must be located at a safe distance. A "No Parking" sign must be visibly placed on the gates of the enclosure.*

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #10. The provided plans do not indicate a “no parking” sign. Revised plans are required to meet standards.

CONDITION OF APPROVAL #10: Prior to the issuance of a building permit, the applicant shall submit revised landscape plans with a trash enclosure in compliance with MMC 17.61.030(G).

Section 17.61.030(H). *Solid waste and recycling enclosures must be placed in a location that is compatible with the City of McMinnville’s Fire Code.*

APPLICANT’S RESPONSE: None.

FINDING: SATISFIED WITH CONDITION OF APPROVAL #11. The applicant shall comply with City of McMinnville’s Fire Code for the placement of solid waste enclosures.

CONDITION OF APPROVAL #11: Prior to the issuance of a building permit, the applicant shall demonstrate solid waste and recycling enclosure locations are compatible with the City of McMinnville’s Fire Code. (MMC 17.61.030(H))

Three Mile Lane Area Plan¹ (Ordinance No. 5126)

Policies. *The following policies shall guide development and future planning decisions in the Three Mile Lane area. These policies implement the Three Mile Lane Area Plan goals and describe how Great Neighborhood Principles are expected to be expressed in the future growth and development of the Three Mile Lane Area.*

1. Require future development to be consistent with the design elements of the Three Mile Lane Area Plan.

7. Require native landscape plantings with seasonal variation and tree plantings that include shade streets with mature tree canopy.

15. Proposed site landscape for new development should strive to reflect patterns of wine industry—eg, rows of vines, southern orientation, shelter belts of trees – and consider functional site planning of vineyard and farm complexes as conceptual models.

16. New development should consider adjacency to agricultural fields and respect this heritage through careful transitions.

APPLICANT’S RESPONSE: The Urban Design Elements section of the Three Mile Lane Area Plan has the following applicable commentary:

Tourist Commercial

¹https://www.mcminnvilleoregon.gov/sites/default/files/fileattachments/planning/page/23174/ordinance_no_5126_-_exhibit_a_-_3mlap_area_plan_document_-_final_november_8_2022.pdf

Attachment 1 – (L 48-24) Application and Attachments (on file with the Planning Department)

Attachment 2 – Additional Submittal Materials (received March 13, 2025)

The Evergreen complex continues to draw visitors to McMinnville who support other local businesses in the Three Mile Lane area and beyond. The Area Plan foresees the continuation and intensification of tourism-related uses as allowed by existing zoning designations. East of Evergreen, land is currently zoned for commercial uses along the highway and has the possibility of hosting more tourism- and travel-related commercial uses in the vicinity of the Aviation & Space Museum and waterpark. The Area Plan envisions activities and uses related to visitors and the traveling public that could boost tourism and be mutually beneficial to existing attractions. A cluster of these uses in the northeast part of the study area could have a synergistic effect, strengthening McMinnville's and the region's reputation as a destination.

Key Urban Design Elements:

- Connectivity to the Evergreen complex. An important design element of this visitor-oriented area is connectivity to existing Evergreen tourist uses. Providing a safe walking and biking connection parallel to OR 18 will help integrate future development with the Evergreen attractions, which will continue to attract significant amounts of visitors.
- "Gateway" location. In addition, with a prominent location on the east entrance to McMinnville, this development opportunity area should be required to meet the City's Great Neighborhood Principles with high-quality design.

The Three Mile Lane Area Plan discusses encouraging tourism and travel-related uses in the vicinity of the Aviation & Space Museum and waterpark with uses relating to visitors and the travelling public that will boost tourism and benefit existing attractions. The proposed hotel will help to realize this Three Mile Lane Area Plan objective. The proposed hotel and accompanying development include additional pedestrian connections within the Evergreen campus and along NE Cumulus Avenue which connects the campus to OR 18. Furthermore, given the site's prominent location and visibility, the proposed hotel has been designed with high-quality design in mind and will add to the scenic and attractive feel of the area. The additional trees, landscaping, and attractive materials and lighting of the building will be a great addition to a "gateway" area for the City of McMinnville, complementing the existing architecture of the surrounding campus.

FINDING: SATISFIED. The development is located within the Three Mile Area Plan and is subject to those policies. Below are the applicable policies and the project's compliance.

Policy 7 – **Satisfied.** Proposed plans provide native landscaping plantings with seasonal variation and tree plantings that include shade streets with mature tree canopy.

Policy 15 – **Satisfied.** The project proposes a walking path and landscape area between the existing agricultural fields and would reflect the patterns of the wine industry.

Policy 16 – **Satisfied.** The project proposes a walking path and landscaped area between the existing agricultural fields, providing a careful transition.

TG



Planning Department
231 NE Fifth Street o McMinnville, OR 97128
(503) 434-7311 Office o (503) 474-4955 Fax
www.mcminnvilleoregon.gov

Office Use Only:
File No. L 48-24
Date Received 12/16/2024
Fee \$2,055.00
Receipt No. 210834
Received by AW

569-24-000282-PLNG

Landscape Plan Review Application

Applicant Information

Applicant is: [x] Property Owner [] Contract Buyer [] Option Holder [] Agent [] Other

Applicant Name McMinnville Properties LLC Phone (503) 781-2975

Contact Name Steve Scott Phone
(If different than above)

Address 7401 SW Washo Court, Suite 200

City, State, Zip Tualatin, OR 97062

Contact Email Steve.Scott@mcminnvilleproperties.com

Property Owner Information

Property Owner Name McMinnville Properties LLC Phone (503) 612-1563
(If different than above)

Contact Name Wayne Marschall Phone

Address

City, State, Zip

Contact Email Wayne.Marschall@TheStollerGroup.com

Site Location and Description

(If metes and bounds description, indicate on separate sheet)

Property Address 500 NE Captain Michael King Smith Way, McMinnville, OR 97128

Assessor Map No. R4 4 - 23 - 00601, 00602, 01301 Total Site Area 57 acres

Subdivision Block Lot

Comprehensive Plan Designation Commercial Zoning Designation General Commercial (C-3)

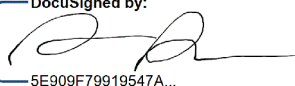
Landscaping Information

- 1. Total Landscaped Area: 83,516 SF (as measured within the area of disturbance)
- 2. Percent Landscaped: 44%% (as measured within the area of disturbance)
- 3. Building Floor Area:
 New Structure: 103,063 SF Existing Structure: _____ Addition: _____
- 4. Architect Name Charles Brucker Phone (503) 334-2080
~~(Landscape Architect, Engineer, or Other Designer)~~
 Contact Name Mackenzie (Att: Brian Varricchione) Phone (971) 346-3742
 Address 1515 SE Water Ave., Suite 100
 City, State, Zip Portland, OR 97214
 Contact Email bvaricchione@mcknze.com

In addition to this completed application, the applicant must provide the following:

- Two (2) copies of the proposed landscape plan containing the information listed in the information sheet and Chapter 17.57 (Landscaping) of the Zoning Ordinance.*
- Payment of the applicable review fee, which can be found on the Planning Department web page.*

I certify the statements contained herein, along with the evidence submitted, are in all respects true and are correct to the best of my knowledge and belief.

DocuSigned by:

5E909F79919547A...
 Applicant's Signature _____

12/11/2024

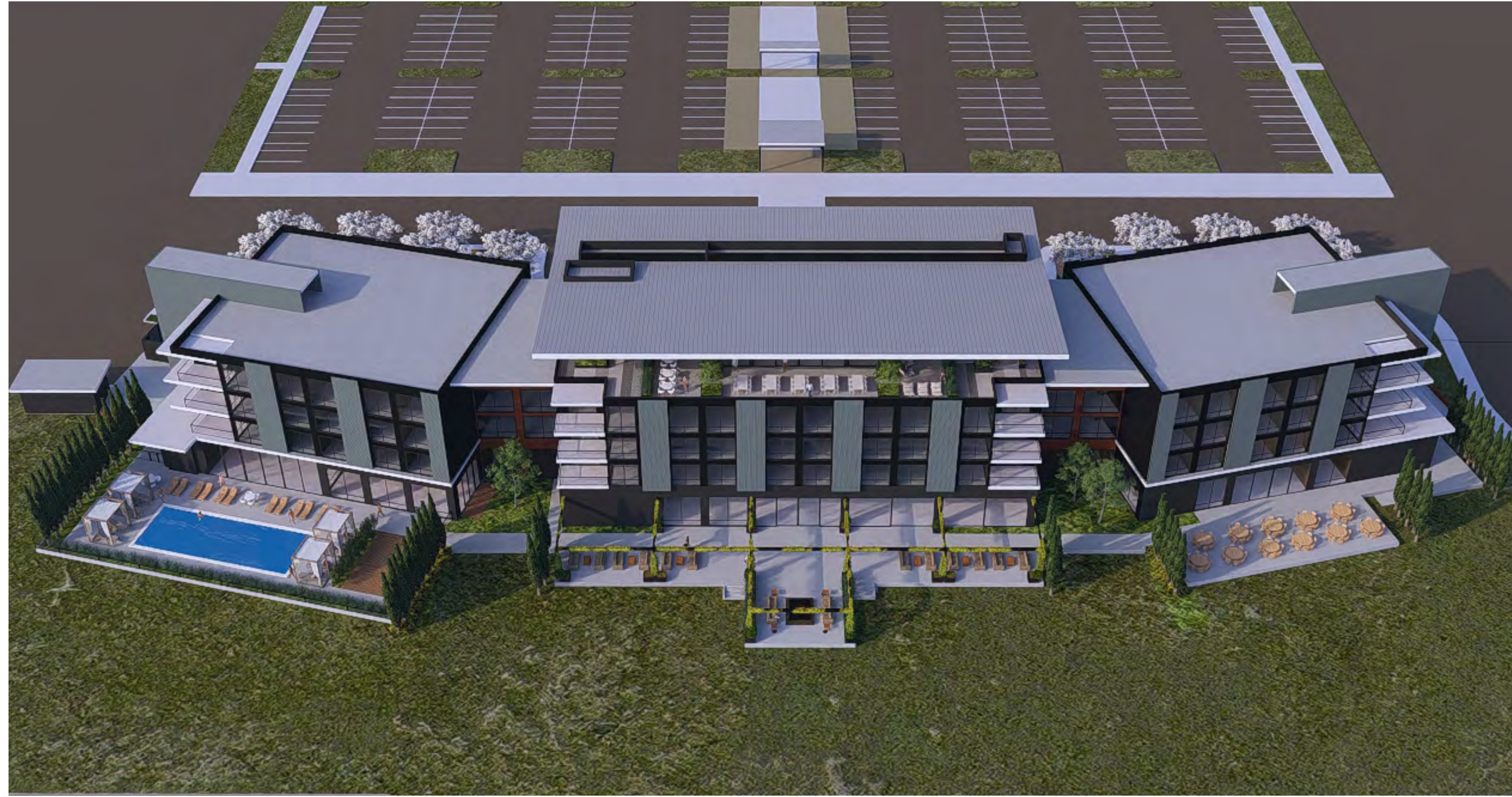
 Date

DocuSigned by:

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 Property Owner's Signature _____

12/10/2024

 Date



5 STORY
108 GUEST UNITS

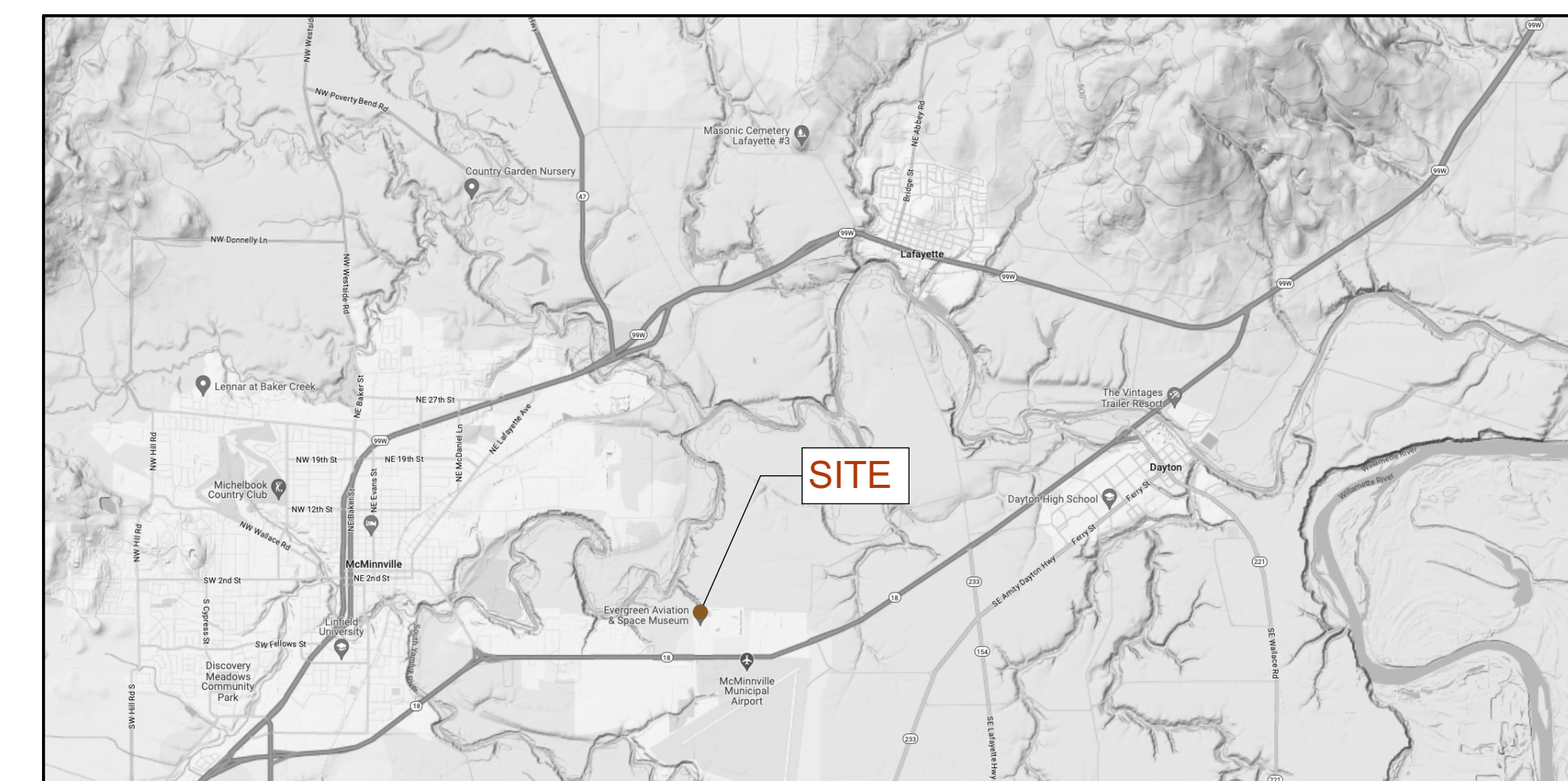
DECEMBER 2024

LAND USE SET

MARRIOTT PROJECT #: 68614
MCMINNVILLE • OREGON • U.S.A.

VICINITY MAP

EVERGREEN CAMPUS • MCMINNVILLE • OR • 97128



PROJECT TEAM

FRANCHISE

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PHONE: 301-380-3000

OWNER

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PHONE: 503-781-2975

HOTEL MANAGEMENT

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PHONE: 503-436-2480

CONTACT: STEVE SCOTT
VICE PRESIDENT

CONTACT: PATRICK NOFIELD
PRESIDENT

GENERAL CONTRACTOR

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PROJECT EXECUTIVE

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CONTACT: MICHAEL ABBOTT, AIA, NCARB
PRINCIPAL

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SENIOR PROJECT ENGINEER

STRUCTURAL ENGINEER

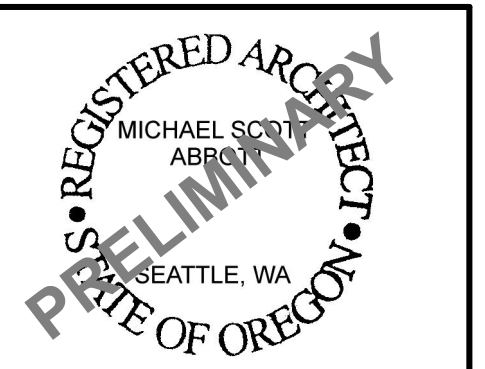
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LANDSCAPE ARCHITECT

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PHONE: 503-334-2080

CONTACT: CHARLES BRUCKER, PLA, ASLA, LEED AP
PRINCIPAL



ABBOTT
ARCHITECTURE

Woodinville, WA
P 206.778.7008

AC HOTEL • MARRIOTT
McMinnville • Oregon • USA

30% - MARRIOTT REVIEW SET 10/22/24 LAND USE SET 12/06/24	
DATE 12/06/24	PROJECT 2303
DRAWN BY	LOGO/FNAME COVER SHEET
CS-001	

LAND USE SET - NOT FOR CONSTRUCTION

DRAFTING LEGEND

ELEVATION REFERENCES		01 DOOR NUMBER REFERENCE
INTERIOR ELEVATION REFERENCE	8 WINDOW TYPE	2 WALL REFERENCE
EXTERIOR ELEVATION REFERENCE	DATUM ELEVATION	4 COLUMN GRID NUMBER
DETAIL ELEVATION REFERENCE	3421 BATHROOM ACCESSORY MARK NO.; REFER TO THE DESIGN GUIDE PROJECT MANUAL MASTER SECTION 10800.	318 FINISH TAG; REFER TO THE IFI WITHIN THE DESIGN GUIDE PROJECT MANUAL MASTER.
DETAIL REFERENCES	X-000 FURNISHING REFERENCE NO.; REFER TO THE INTERIOR DESIGN SPECIFICATION MANUAL.	R16 LIGHT FIXTURE MARK NO., TYPICAL. SEE LIGHT FIXTURE MATRIX IN DESIGN GUIDE PROJECT MANUAL MASTER.
DETAIL REFERENCE	SNK-04 PLUMBING FIXTURE MARK NO., TYPICAL. SEE PLUMBING FIXTURE MATRIX IN DESIGN GUIDE PROJECT MANUAL MASTER.	LOBBY ROOM NAME
BUILDING SECTION REFERENCE	8'-8" CEILING HEIGHT - ABOVE FIN. FLOOR	MARRIOTT STANDARD DETAIL
REVISION NUMBER REFERENCE		
REVISION NUMBER REFERENCE		
CHANGE BULLETIN NO.		

GENERAL INFORMATION

OWNER:	MCMINNVILLE PROPERTIES 500 NE CAPTAIN MICHAEL KING SMITH WAY MCMINNVILLE, OR 97128
PROJECT ADDRESS:	500 NE CAPTAIN MICHAEL KING SMITH WAY MCMINNVILLE, OR 97128
PARCEL NUMBER:	R4423 01301 AND PORTIONS OF R4423 00601 AND R4423 00602
PROJECT DESCRIPTION:	108 GUEST SUITE HOTEL BUILDING WITH LEVEL ONE & TWO AMENITIES INCLUDING: RESTAURANT, MEETING ROOMS, INDOOR POOL
JURISDICTION:	CITY OF MCMINNVILLE, OREGON
ZONING:	C-3 (GENERAL COMMERCIAL) THREE MILE LANE PD OVERLAY ZONE AIRPORT OVERLAY ZONE
REQUIRED SETBACKS:	
FRONT:	NONE
SIDE YARD:	NONE
REAR YARD:	NONE
HEIGHT LIMIT:	125 FEET (per ZC 1-09)
LANDSCAPE MINIMUM:	15%
LOT SIZE: (RECORDED)	302,742 SF (6.95 ACRES)
SITE AREA OF DISTURBANCE	214,000 SF (4.91 ACRES)

SHEET INDEX - LAND USE SET

GENERAL	
CS001	COVER SHEET
CS002	DATA & INFORMATION SHEET
CIVIL	
C10	CIVIL - EXISTING CONDITIONS / DEMO PLAN
LANDSCAPE	
L100	LANDSCAPE - PLANTING SCHEDULE
L101	LANDSCAPE - PLANTING PLAN
L200	LANDSCAPE - SITE PLAN
L201	LANDSCAPE - MATERIAL PLAN
L202	LANDSCAPE - SITE LIGHTING PLAN
L203	LANDSCAPE - ROOF MATERIAL PLAN
L300	LANDSCAPE - DESIGN-BUILD IRRIGATION P LAN
L401	LANDSCAPE - PLANTING DETAILS
L402	LANDSCAPE - PLANTING DETAILS
L501	LANDSCAPE - IRRIGATION DETAILS
ARCHITECTURAL	
A203	3D MODEL VIEWS
A204	3D MODEL VIEWS

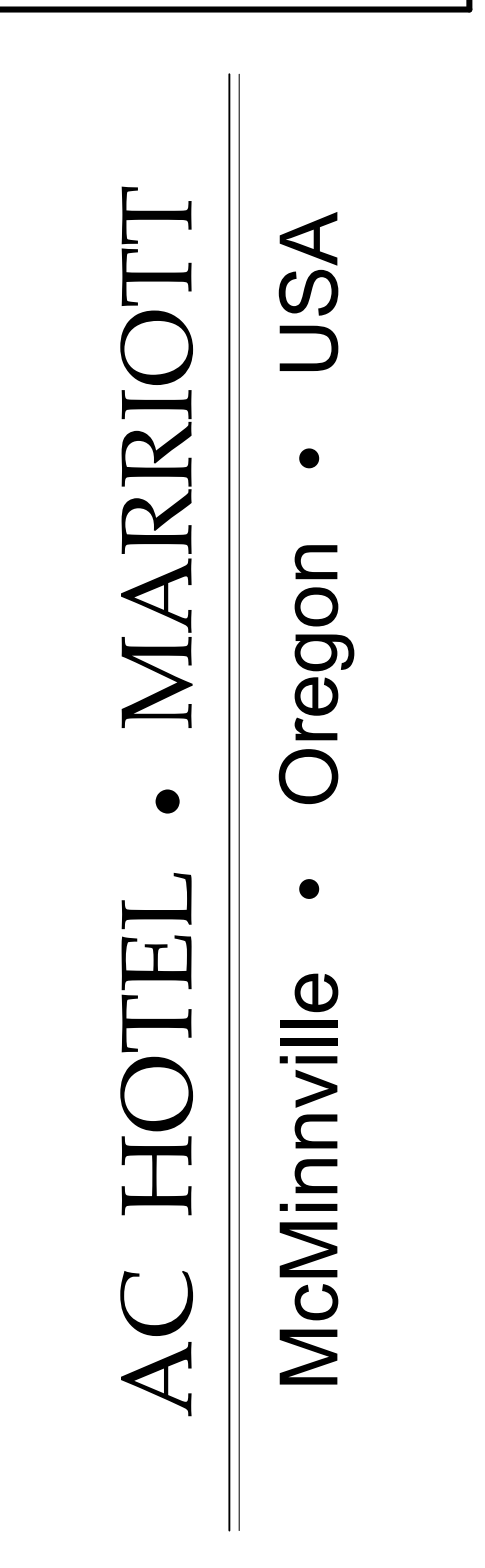
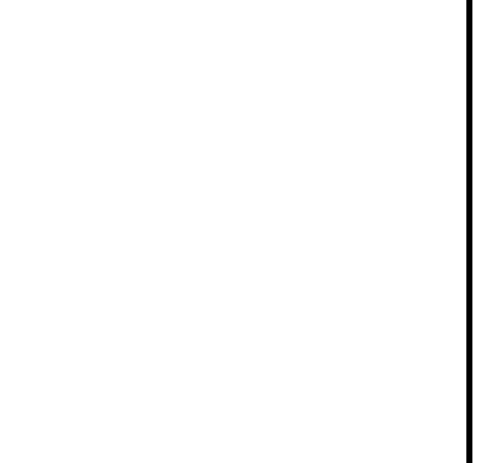
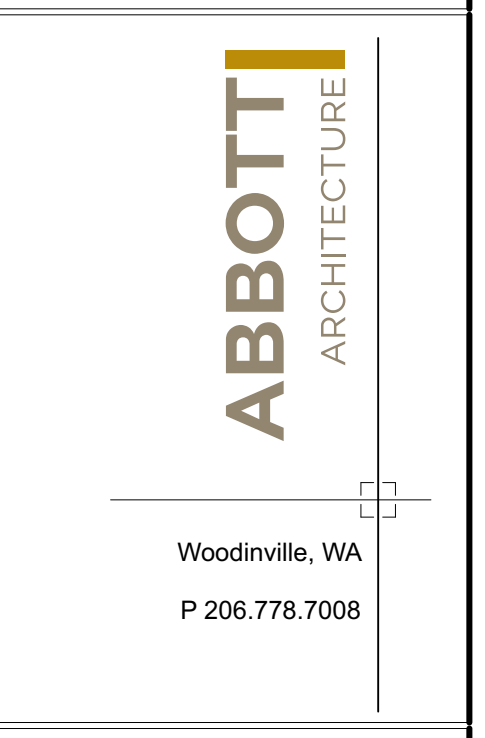
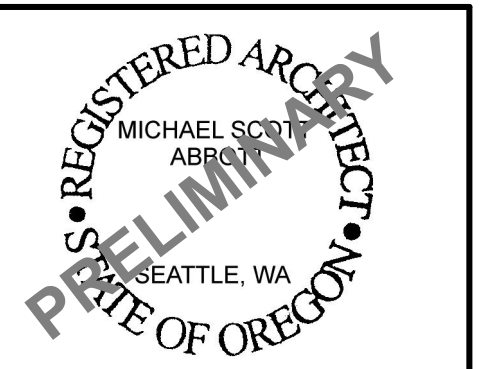
AREA SUMMARY

SITE TOTALS	
TOTAL SITE AREA	302,742 SF (6.95 ACRES)
PROPOSED BUILDING AREA (GROSS)	
- LEVEL ONE	25,500 SF
- LEVEL TWO	23,634 SF
- LEVEL THREE	23,634 SF
- LEVEL FOUR	23,634 SF
- LEVEL FOUR	5,661 SF
-BUILDING FOOTPRINT	25,500 SF
PROPOSED OUTDOOR AREAS	
- EXTERIOR VERANDA	14,600 SF
- LEVEL 5 TERRACE	1,350 SF
-LANDSCAPED AREA	107,242 SF

ARCHITECT'S RIGHTS & CONTRACTORS RESPONSIBILITIES

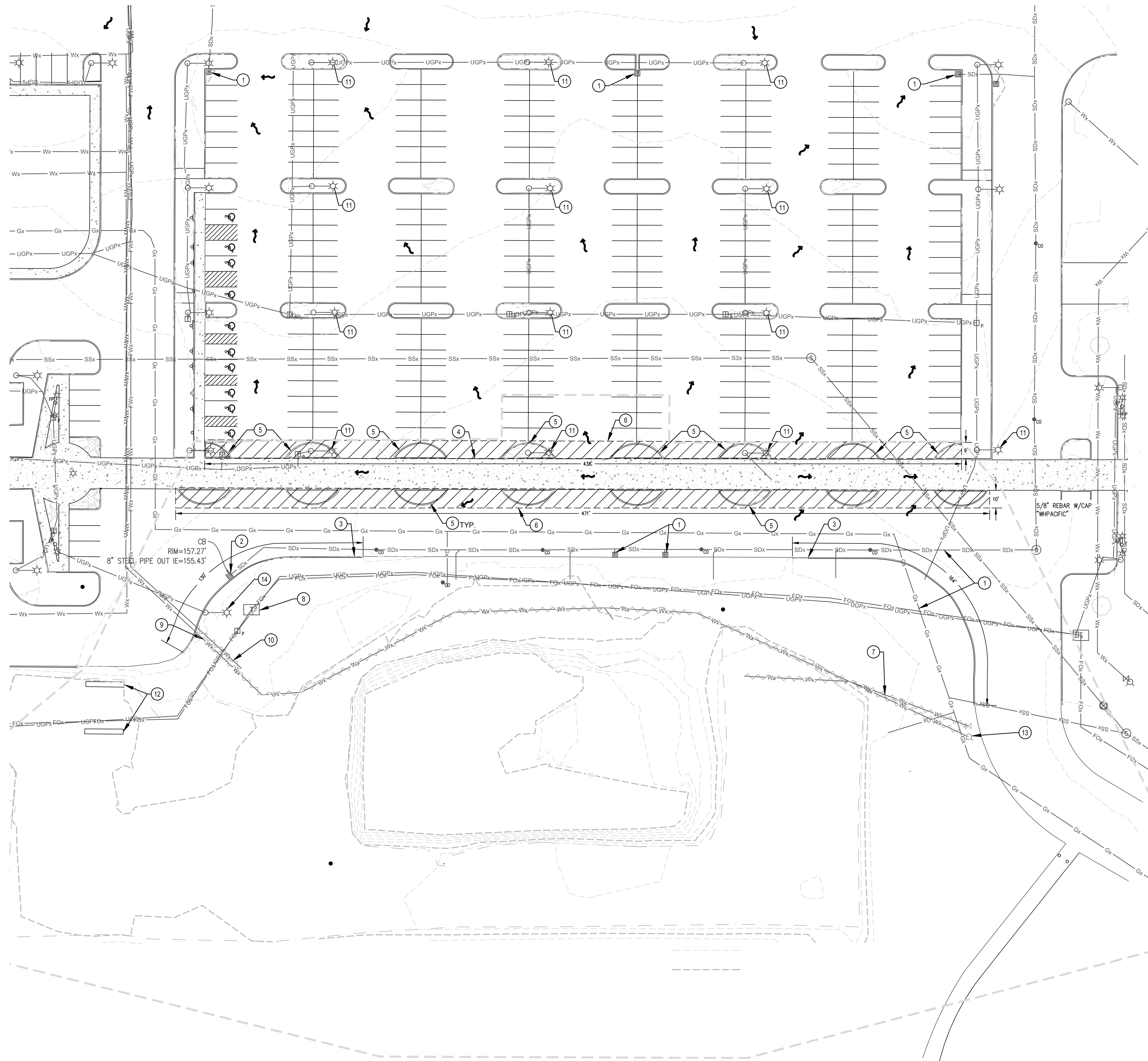
The following drawings and specifications and ideas, designs, and arrangements represented thereby are and shall remain the property of ABBOTT ARCHITECTURE,LLC and no part thereof shall be copied, disclosed to others, or used in connection with any work or project other than the specific project for which they have been prepared and developed, without the written consent of ABBOTT ARCHITECTURE,LLC. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions: Contractors shall verify, and be responsible for, all dimensions and conditions on the job and the Architect: ABBOTT ARCHITECTURE,LLC must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to the Architect for approval before proceeding with fabrication. ©



500 NE CAPTAIN MICHAEL KING SMITH WAY MCMINNVILLE, OR 97128	
DATE 12/06/24	PROJECT 2303
30% - MARRIOTT REVIEW SET 10/22/24 LAND USE SET 12/06/24	DRAWN BY LANDSCAPE
	DATE SHEET DATA SHEET
CS-002	

LAND USE SET - NOT FOR CONSTRUCTION

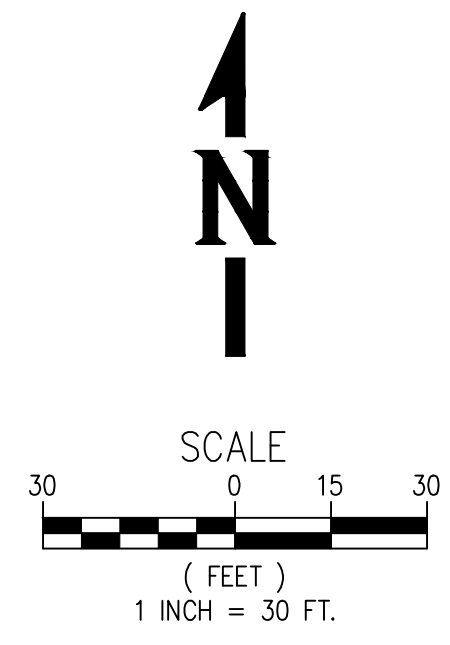


CONSTRUCTION KEYNOTES:

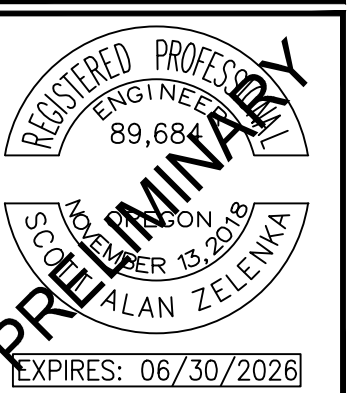
- ① PROTECT EXISTING UTILITIES
- ② REMOVE EXISTING CATCH BASIN
- ③ SAWCUT AND REMOVE EXISTING CURB
- ④ PROTECT EXISTING CAMPUS WALKWAY DURING CONSTRUCTION
- ⑤ SAWCUT AND REMOVE EXISTING ISLANDS IN PARKING LOT
- ⑥ SAWCUT AND REMOVE EXISTING PAVEMENT
- ⑦ REMOVE 76LF AND 540 LF OF EXISTING WATER LINES
- ⑧ PROTECT EXISTING TRANSFORMER
- ⑨ CUT AND CAP WATER LINE
- ⑩ CUT AND CAP FIRE LINE
- ⑪ PROTECT EXISTING LIGHT POLES
- ⑫ DEMO AND REMOVE CONCRETE SLABS
- ⑬ REMOVE AND RELOCATE EXISTING FIRE HYDRANT SEE UTILITY PLAN SHEET C4.0. CONNECT FIRE HYDRANT TO EXISTING WATER LINE AND PROTECT DURING CONSTRUCTION
- ⑭ REMOVE AND RELOCATE LIGHT POLE. SEE UTILITY PLANS.

LEGEND:

- LIMITS OF WORK
- SAWCUT PAVEMENT
- DEMO UTILITY
- ⊙ EXISTING MONITORING WELL
- ⊙ EXISTING IRRIGATION VALVE
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING CATCH BASIN
- ⊙ EXISTING LIGHT
- ⊙ EXISTING TREE
- ⊙ CATCH BASIN
- ⊙ POWER VAULT
- ⊙ TELEPHONE VAULT
- ⊙ WATER VALVE
- ⊙ EXISTING FIRE HYDRANT
- FLOW LINE
- CONSTRUCTION ENTRANCE
- REMOVE EXISTING ASPHALT
- SF SEDIMENT FENCE
- Gx EXISTING GAS LINE
- OHPx EXISTING OVERHEAD POWER LINE
- UGPx EXISTING UNDERGROUND POWER LINE
- OHTx EXISTING OVERHEAD TELECOMMUNICATIONS LINE
- UGTx EXISTING UNDERGROUND TELECOMMUNICATIONS LINE
- UCx EXISTING UNDERGROUND TELECOMMUNICATIONS CONDUIT
- FOx EXISTING FIBER OPTICS
- SSx EXISTING SANITARY SEWER LINE
- SDx EXISTING STORM LINE
- Wx EXISTING WATER LINE
- FWx EXISTING FIRE LINE
- - - 120 EXISTING MAJOR CONTOUR
- - - 121 EXISTING MINOR CONTOUR



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NO.	BY	DATE	REMARKS

SHEET INFO	
DESIGNED	---
DRAWN	EMB
CHECKED	SAZ
APPROVED	SAZ
LAST EDIT	12/10/2024
PLOT DATE	12/10/2024
SUBMITTAL	11/20/2024

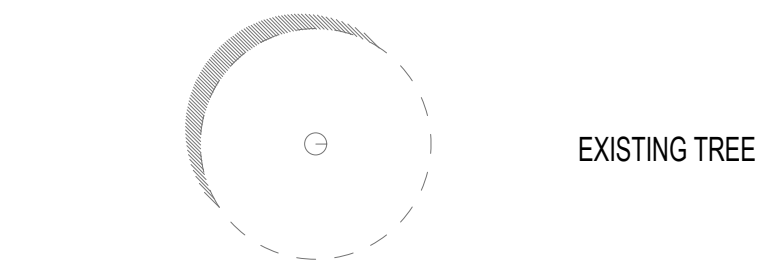
EXISTING CONDITIONS AND DEMO PLAN
LAND USE REVIEW SET
 CITY OF MCMINVILLE
 MCMINVILLE PROPERTIES

PROJECT NUMBER: C1.0 C000282.00_EX CONDITIONS
 DRAWING FILE NAME: C1.0 C000282.00_EX CONDITIONS
 SCALE: 1"=30'

SHEET NUMBER
C1.0

PLANT SCHEDULE							
SYMBOL	%	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	CONTAINER CLASS	SPACING	NOTES
HOTEL ENTRANCE PLANTING - SHADE/ SUN							
	10	HELLEBORUS FOETIDUS	STINKING HELLEBORE	12" SPRD.	#1	24" O.C.	POLLINATOR
	10	SALVIA OFFICINALIS 'PURPURASCENS'	PURPLE LEAF SAGE	6" SPRD.	#1	8" O.C.	
	10	SARCOCOCCA HOOKERIANA HUMILIS	LOW FRAGRANT SWEETBOX	12" SPRD.	#2	36" O.C.	
	15	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	12" SPRD.	#1	18" O.C.	
	10	NANDINA DOMESTICA 'HARBOUR DWARF'	HARBOR DWARF HEAVENLY BAMBOO	12" SPRD.	#3	36" O.C.	
	10	LAVENDULA ANGSTIFOLIA 'BOWLES EARLY'	BOWLES EARLY LAVENDER	12" HT x12" SPRD	#2	24" O.C.	POLLINATOR
	10	SPIRAEA JAPONICA	JAPANESE SPIREA	12" HT x12" SPRD	#2	36" O.C.	POLLINATOR
	10	LONICERA PILEATA	PRIVET HONEYSUCKLE	18" HT. x 12" SPRD.	#2	36" O.C.	
	15	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	15" SPRD.	#2	24" O.C.	PNW NATIVE; POLLINATOR;
HOTEL PERIMETER PLANTING - SHADE/ PART SHADE							
	30	FRAGARIA VESCA	WOODLAND STRAWBERRY	12" SPRD.	#1	24" O.C.	EVERGREEN GROUNDCOVER
	20	EPIEDIUM GRANDIFLORUM	'DARK BEAUTY BISHOPS HAT'		#1	24" O.C.	POLLINATOR
	20	EPILOBIUM CANUM	CALIFORNIA FUSCHIA		#1	24" O.C.	POLLINATOR
	20	EPILOBIUM SEPTENTRIONALE 'SELECT MATTOLE'	CALIFORNIA FUSCHIA 'SELECT MATTOLE'		#1	24" O.C.	POLLINATOR
	50	SARCOCOCCA HOOKERIANA HUMILIS	LOW FRAGRANT SWEETBOX	12" SPRD.	#2	36" O.C.	
	50	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	12" SPRD.	#2	36" O.C.	PNW NATIVE; WELL FOLIAGED
VERANDA PLANTING - FULL SUN							
	10	ECHINACEA PURPUREA	PURPLE CONEFLOWER		#1	24" O.C.	POLLINATOR
	30	CISTUS SALVIFOLIUS 'PROSTRATUS'	SAGELEAF ROCKROSE	12" SPRD.	#2	36" O.C.	EVERGREEN LOW SHRUB
	30	ARCTOSTAPHYLOS X MEDIA	MANZANITA	12" HT	#2	36" O.C.	EVERGREEN LOW SHRUB
	20	LAVENDULA ANGSTIFOLIA 'BOWLES EARLY'	BOWLES EARLY LAVENDER	12" HT x12" SPRD	#2	24" O.C.	POLLINATOR
	20	EUONYMUS JAPONICUS 'GREEN SPIRE'	GREEN SPIRE EUONYMUS	24" HT. x 8" SPRD.	#3	24" O.C.	
	40	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	12" HT X12" SPRD.	#1	24" O.C.	
	40	MUHLENBERGIA 'PINK FLAMINGO'	PINK FLAMINGO MULLY	18" HT X 18" SPRD.	#2	36" O.C.	
	40	MISCANTHUS SINENSIS 'YAKU JIMA'	MAIDEN GRASS	12" HT X12" SPRD.	#1	36" O.C.	
VERANDA POCKET GARDEN PLANTING - FULL SUN							
	30	RUDEBECKIA HIRTA 'GOLDSTURM'	BLACK EYED SUSAN	12" HT X12" SPRD.		24" O.C.	POLLINATOR
	30	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	12" SPRD.	#1	24" O.C.	EVERGREEN GROUNDCOVER
	30	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF	12" SPRD.	#1	18" O.C.	
	40	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	15" SPRD.	#2	24" O.C.	PNW NATIVE; POLLINATOR;
	40	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	12" SPRD.	#2	36" O.C.	PNW NATIVE; WELL FOLIAGED
	30	RIBES SANGUINEUM	RED FLOWERING CURRANT	18" HT. ; 4 CANES	#3	AS SHOWN	PNW NATIVE; POLLINATOR; HIGH SCREEN SHRUB
	30	SYMPHORICARPOS ALBUS	COMMON SNOWBERRY	15" HT. ; 4 CANES	#3	36" O.C.	
	30	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA WILD LILAC	18" HT. x 12" SPRD.	#15	48" O.C.	POLLINATOR
RAISED PLANTER PLANTING - FULL SUN							
	40	BOUTELLOJA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA GRASS	12" HT X12" SPREAD	#1	24" O.C.	
	40	EUONYMUS JAPONICUS 'GREEN SPIRE'	GREEN SPIRE EUONYMUS	24" HT. x 8" SPRD.	#3	24" O.C.	
	40	MAHONIA EURYBRACTEATA 'SOFT CARESS'	SOFT CARESS MAHONIA	18" SPRD.	#2	36" O.C.	
	40	CEPHALOTAXUS HARRINGTONIA	JAPANESE PLUM YEW	18" SPRD.	#2	36" O.C.	
	20	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	12" HT x12" SPRD	#2	24" O.C.	VINE

PLANT SCHEDULE							
SYMBOL	%	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	CONTAINER CLASS	SPACING	NOTES
PARKING ISLAND - FULL SUN							
	40	ARCTOSTAPHYLOS X MEDIA 'MARTHA EWAN'	MARTHA EWAN MANZANITA	15" SPRD.	#2	36" O.C.	
	40	LEPTOSPERMUM RUPESTRE 'SQUIGGLY'	ALPINE TEA TREE	15" SPRD.	#2	36" O.C.	
	40	NANDINA DOMESTICA 'HARBOUR DWARF'	HARBOR DWARF HEAVENLY BAMBOO	12" SPRD.	#3	36" O.C.	
	40	COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	15" SPRD.	#2	36" O.C.	PNW NATIVE; EVERGREEN LOW SHRUB
	20	CEANOTHUS THYRSIFLORUS var. GRISEUS 'YANKEE POINT'	YANKEE POINT CALIFORNIA LILAC	15" SPRD.	#3	36" O.C.	EVERGREEN GROUNDCOVER; POLLINATOR
ECO-LAWN							
		3-WAY PERENNIAL RYE MIX SEED	SUNMARK 'CELEBRATION'			8LBS/ 1,000SF	
WILDFLOWER MEADOW							
		PT 652 PACIFIC NORTHWEST WILDFLOWER MIX PRO TIME LAWN SEED				8LBS/ ACRE	



TREE SCHEDULE

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE (HT.X SPRD.)	SPACING	QUANTITY	NOTES
	ACCI	ACER CIRCINATUM	VINE MAPLE	8" HT.; 3/4" CAL.	AS SHOWN	11	
	NYSS	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK TUPELO	2.5" CAL.; 10'-12' HT.	AS SHOWN	14	
	PSME	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HT.	AS SHOWN	2	
	PONI	POPULUS NIGRA	LOMBARDY POPLAR	2" CAL.	AS SHOWN	22	
	PRYE	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2" CAL.	AS SHOWN	34	
	QUHY	QUERCUS HYPOLEUCOIDES	SILVERLEAF OAK	2" CAL.	AS SHOWN	8	

PLANTING NOTES:

- VERIFY LOCATION OF EXISTING TREES TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN.
- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST TWO (2) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT THE CONDITIONS ARE SUITABLE TO PROMOTE HEALTHY PLANT GROWTH. DO NOT PROCEED IF CONDITIONS DETRIMENTAL TO HEALTHY GROWING ENVIRONMENT ARE PRESENT, INCLUDING OVER-COMPACTED SOILS, ADVERSE DRAINAGE CONDITIONS, DEBRIS, OR OTHER HARMFUL CIRCUMSTANCES. PROCEEDING WITHOUT NOTIFICATION DENOTES ACCEPTANCE.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF GROWING CONDITIONS AND PLANT MATERIALS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS, METHODS, AND MATERIALS.
- VERIFY PLANT QUANTITIES SHOWN ON THE PLANS BASED ON GRAPHIC REPRESENTATION. QUANTITIES SHOWN ARE FOR CONTRACTOR CONVENIENCE ONLY.
- PROVIDE POSITIVE DRAINAGE FOR ALL PLANTING AREAS.
- UNLESS OTHERWISE INDICATED, ALL PLANTINGS SHALL BE TRIANGULARLY SPACED.
- LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS WHERE PLANTS ARE MASSED. LABEL FOR MASS INDICATES TOTAL NUMBER OF PLANTS IN GROUP, EVEN IF THE GROUP IS SPREAD OVER MORE THAN ONE SHEET.
- WHERE SPACING DIMENSIONS ARE INDICATED AS A RANGE, USE GRAPHICALLY INDICATED NUMBER OF PLANTS DISTRIBUTED EVENLY WITHIN THE AREA SHOWN ON THE DRAWINGS.

AC HOTEL - MARRIOTT
MCMINNVILLE - OREGON - USA

PLACE

735 NW 18th Avenue
Portland, OR 97209
503.334.2080
www.place.la

PROJECT ADDRESS
500 NE CAPTAIN MICHAEL KING SMITH WAY
MCMINNVILLE, OR 97128

SUBCONSULTANTS

REVISIONS

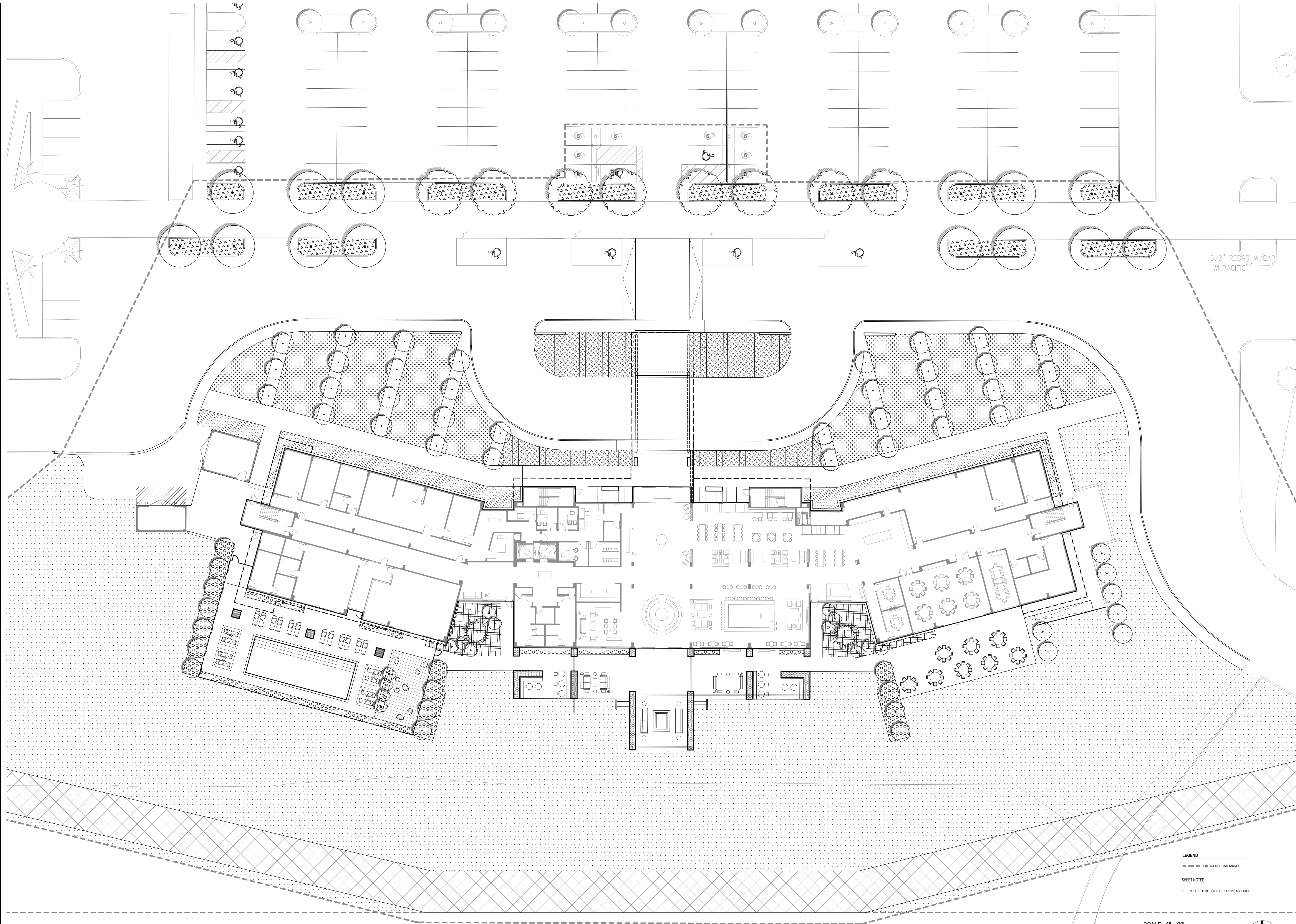
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12/06/2024

PROJECT NUMBER:
24025

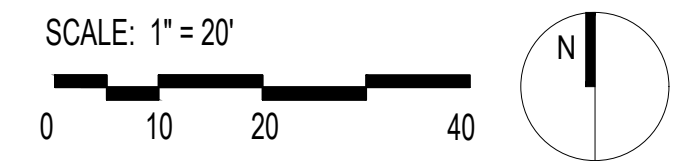
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PLANTING SCHEDULE
LAND USE
SCALE:
AS NOTED

DRAWING NUMBER

L100



LEGEND
 --- SITE AREA OF DISTURBANCE
SHEET NOTES
 1. REFER TO L100 FOR FULL PLANTING SCHEDULE



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PROJECT ADDRESS
 500 NE CAPTAIN MICHAEL KING
 SMITH WAY
 MCMINNVILLE, OR 97128

SUBCONSULTANTS

REVISIONS

NO.	DATE	DESCRIPTION

DATE:
 12 / 06 / 2024

PROJECT NUMBER:
 24025

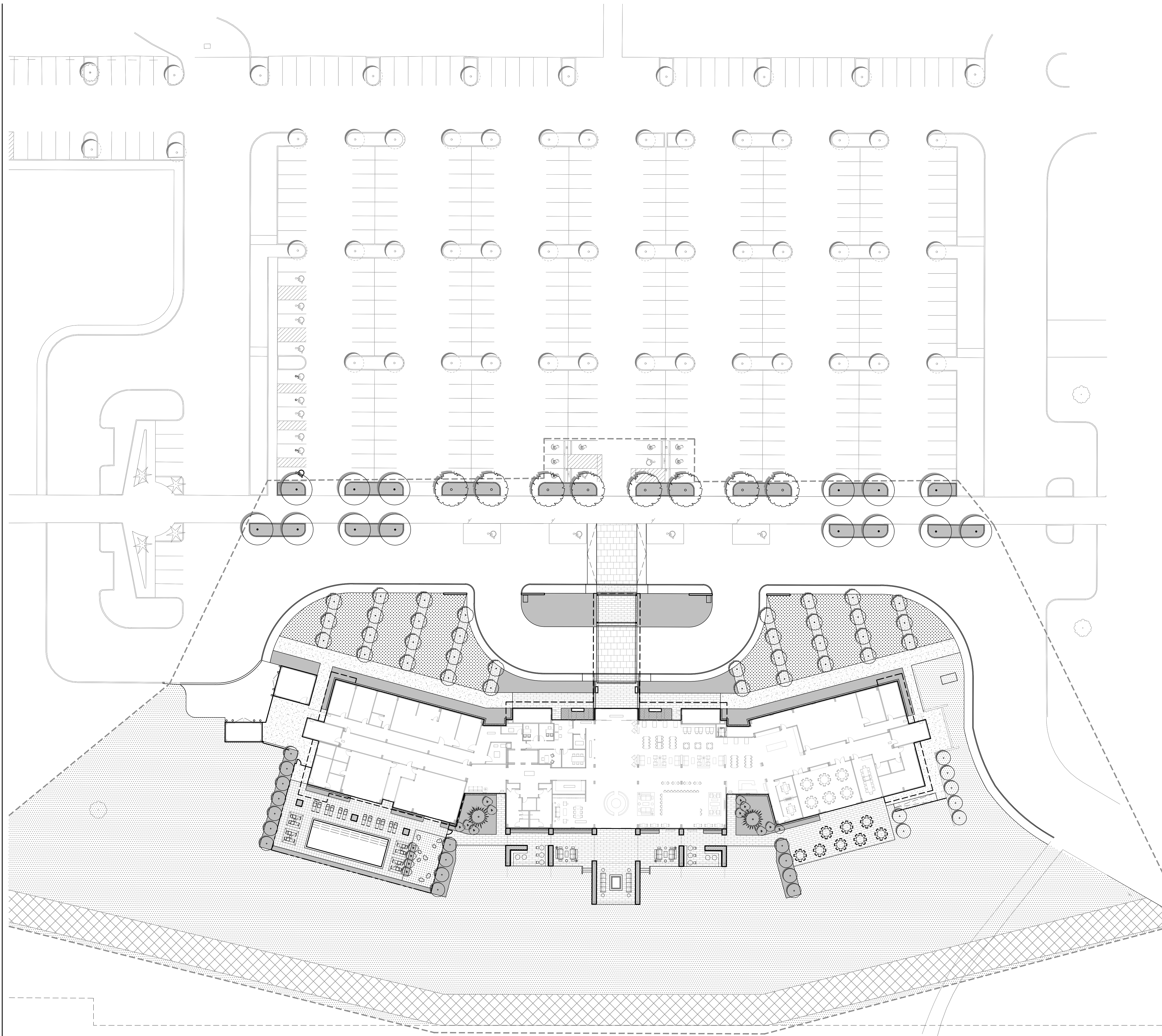
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 PLANTING PLAN
 LAND USE

SCALE:
 AS NOTED

DRAWING NUMBER

L101

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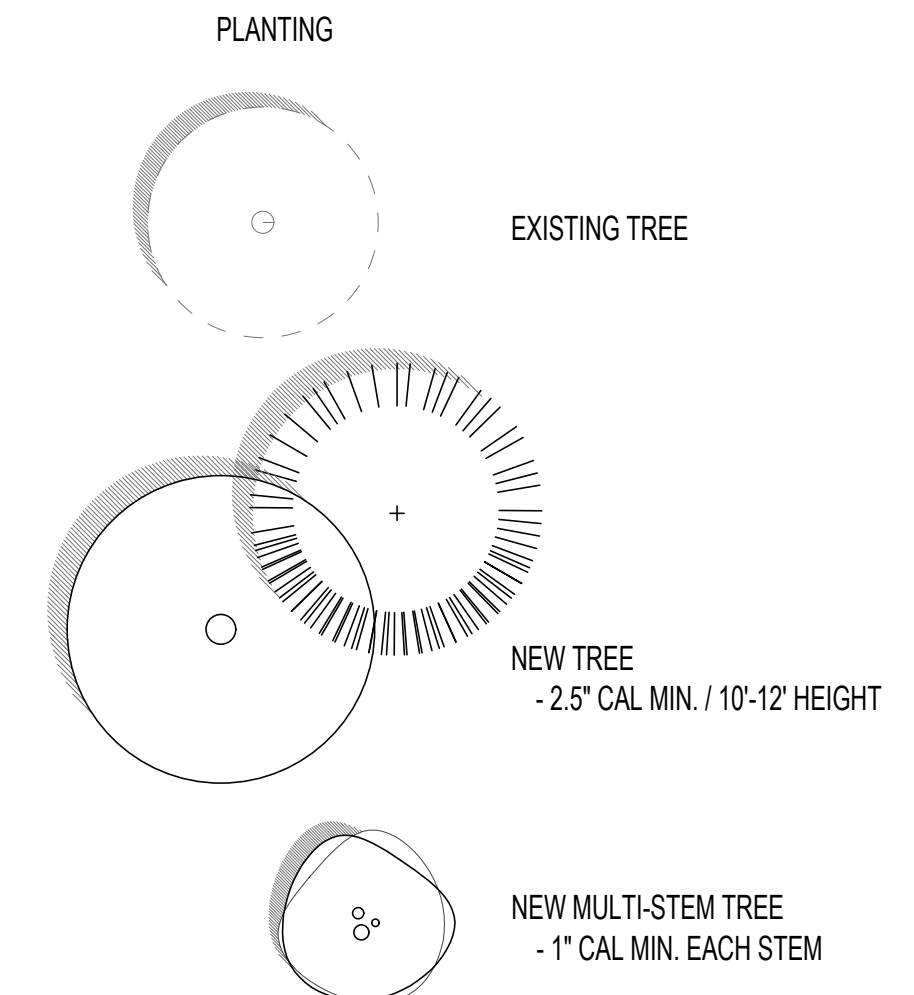


AREA TAKE-OFF

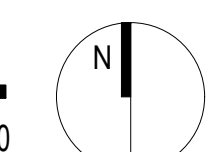
----- SITE AREA OF DISTURBANCE
----- PARKING AREA OF DISTURBANCE

AREA OF DISTURBANCE / LIMIT OF WORK: 214,000 SF
BUILDING FOOTPRINT AREA: 25,500 SF
LANDSCAPE AREA: 107,242 SF
LAYDOWN AND WORK AREA: 81,258 SF
SITE PLANTING PERCENTAGE: 50%

PARKING AREA OF DISTURBANCE: 21,858 SF
PARKING GROSS PLANTING AREA: 3,068 SF
PARKING PLANTING PERCENTAGE: 14%



SCALE: 1" = 30'



AC HOTEL - MARRIOTT
MCMINNVILLE - OREGON - USA

PLACE

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Portland, OR 97209
503.334.2080
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PROJECT ADDRESS
500 NE CAPTAIN MICHAEL KING
SMITH WAY
MCMINNVILLE, OR 97128

SUBCONSULTANTS

REVISIONS

DATE:
12 / 06 / 2024

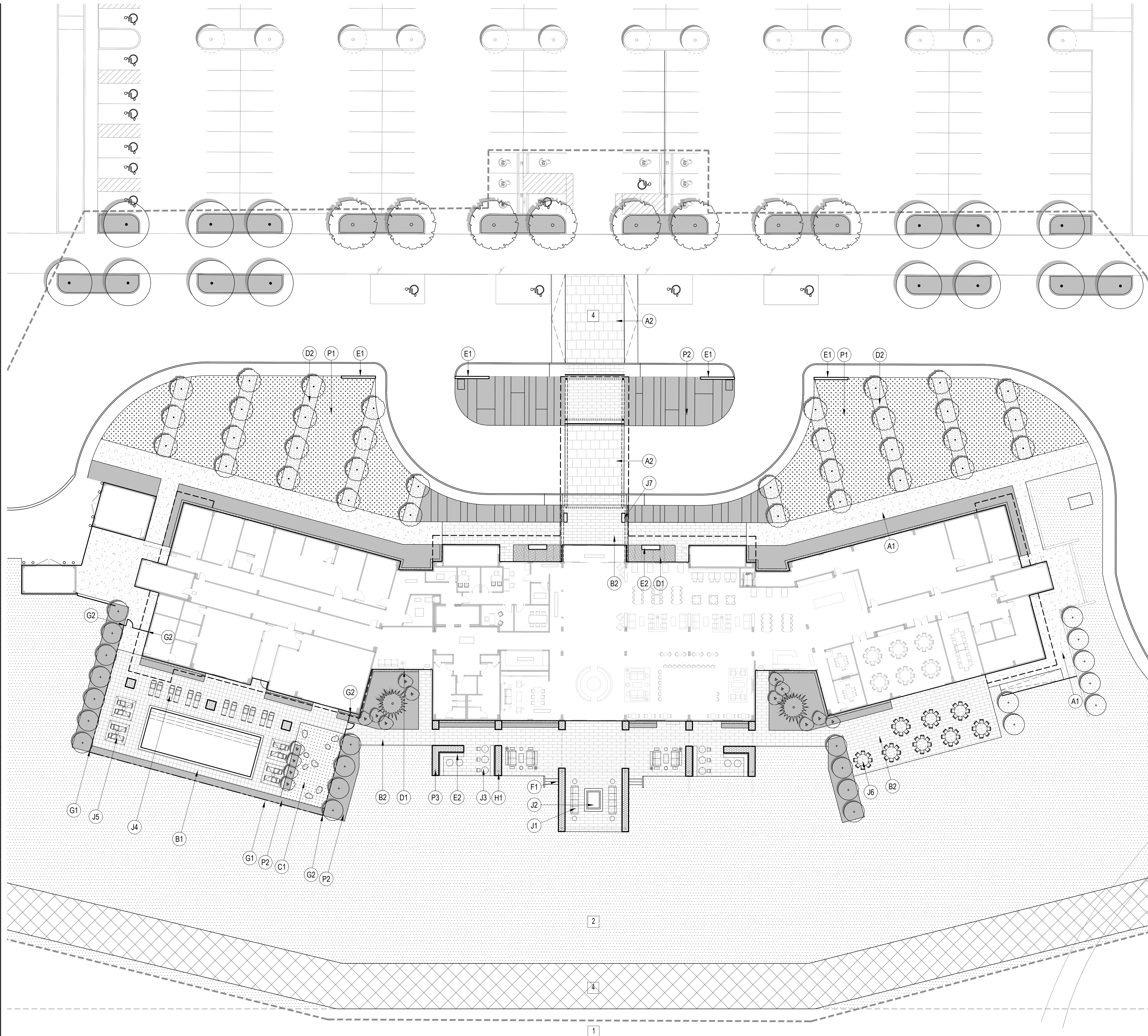
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SHEET TITLE:
SITE PLAN
LAND USE

SCALE:
AS NOTED




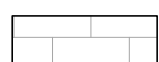
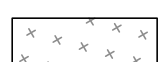


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





MATERIALS SCHEDULE









PAVEMENTS

-  A1 CONCRETE PAVING - PEDESTRIAN
-  A2 DECORATIVE CONCRETE PAVING - VEHICULAR
-  B1 PORCELAIN PAVER TYPE 1 - 24X24
-  B2 PORCELAIN PAVER TYPE 2 - 12X24
-  C1 SYNTHETIC TURF
-  D1 CRUSHED ROCK - W/ METAL EDGER
-  D2 BARK MULCH

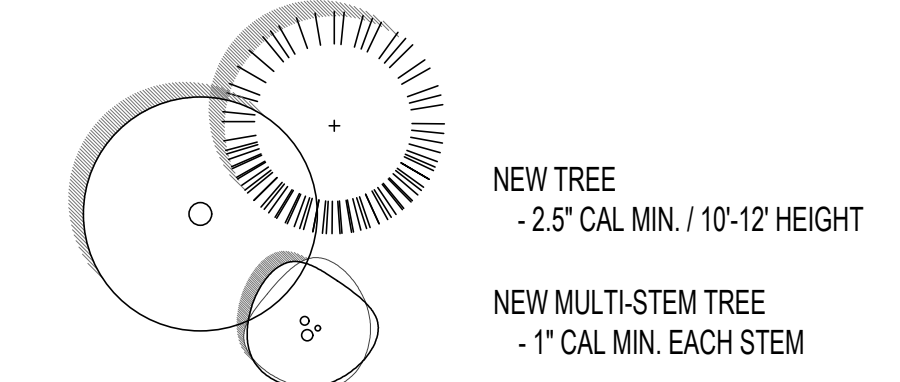
WALLS, STAIRS, RAILINGS, AND CURBS

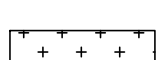


-  E1 SITE WALL - 24" MAX HEIGHT
-  E2 SEAT WALL - 18" HT. - CONCRETE WALL W/ WOOD TOP
-  F1 CONCRETE STAIRS WITH HANDRAILS - BROOM FINISH, SAWCUT JOINTS - CONTRAST/TACTILE WARNING AT NOSING
-  G1 SECURITY FENCE AND GATE - PERFORATED METAL PANELS - 60" GATE, 48" FENCE - B.O.D.: BOK
-  G2 SECURITY FENCE - ALUMINUM PICKETS 1", 4" O.C. - 24" FENCE, 24" WALL

SITE FURNISHINGS (FOR REFERENCE)





-  H1 STEEL PLANTER - B.O.D.: TOURNESOL
-  J1 LOUNGE FURNITURE - B.O.D.: KETTAL, LANDSCAPE COLLECTION
-  J2 FIRE PIT - B.O.D.: KETTAL, FIRE PIT
-  J3 TABLES + CHAIRS - B.O.D.: LANDSCAPE FORM, HARPO
-  J4 POOL LOUNGE CHAIRS - B.O.D.: KETTAL, PAD DECKCHAIR
-  J5 CABANAS - B.O.D.: KETTAL, LOUNGE PAVILION
-  J6 BANQUET TABLE
-  J7 BENCH - B.O.D.: FORMS AND SURFACES, FLIGHT BENCH

PLANTING

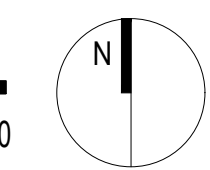


-  P1 LAWN
-  P2 SHRUB AND GROUNDCOVER
-  P3 PLANTER PLANTING

KEY NOTES

-  1 VINEYARD
-  2 WILDFLOWER SEEDING AND GRADING TO BLEND DEVELOPMENT TO EXISTING
-  3 GRASS PAVER, SEE CIVIL
-  4 ELEVATED CROSSING

SCALE: 1" = 20'



**AC HOTEL - MARRIOTT
MCMINNVILLE - OREGON - USA**

PLACE

735 NW 18th Avenue
Portland, OR 97209
503.334.2080
www.place.la

PROJECT ADDRESS
500 NE CAPTAIN MICHAEL KING
SMITH WAY
MCMINNVILLE, OR 97128

SUBCONSULTANTS

REVISIONS

NO.	DESCRIPTION

DATE:
12 / 06 / 2024

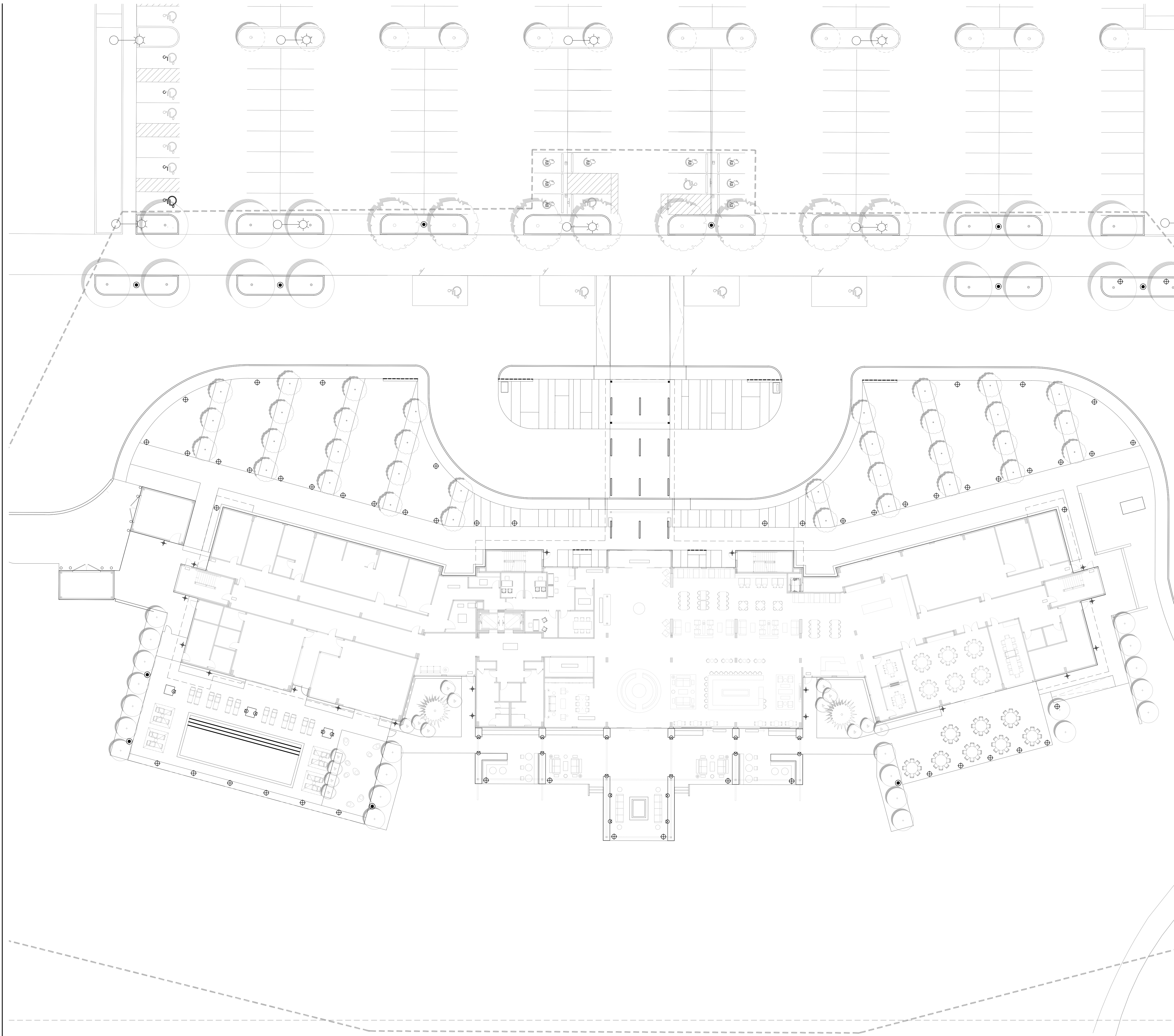
PROJECT NUMBER:
24025

SHEET TITLE:
MATERIAL PLAN
LAND USE

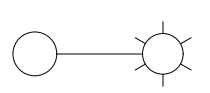



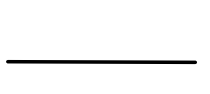
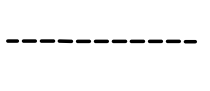
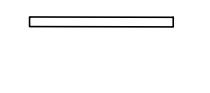

SCALE:
AS NOTED

DRAWING NUMBER

L201



PRELIMINARY LIGHTING SCHEDULE

-  L1 EXISTING POLE LIGHT
-  L2 BOLLARD LIGHT
- 30" HT, 3000K, W/ HOODS
- B.O.D.: LUMIERE 1900-OA
-  L3 POLE LIGHT
- 8' HT, 3000K, W/ HOODS
- B.O.D.: BEGA 84 747 K3
-  L4 PLANTER EMBEDDED LIGHT
-  L5 POOL EMBEDDED LINEAR LIGHT
-  L6 WALL EMBEDDED LINEAR LIGHT
-  L7 PORTE COCHERE LIGHTING
- B.O.D.: EDGE 3 RECESSED
-  L8 WALL MOUNT LIGHT
- B.O.D.: ATLANTIS 1649SK-LED

AC HOTEL - MARRIOTT
MCMINNVILLE - OREGON - USA

PLACE
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PROJECT ADDRESS
500 NE CAPTAIN MICHAEL KING
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SUBCONSULTANTS

REVISIONS

DATE:
12 / 06 / 2024

PROJECT NUMBER:
24025

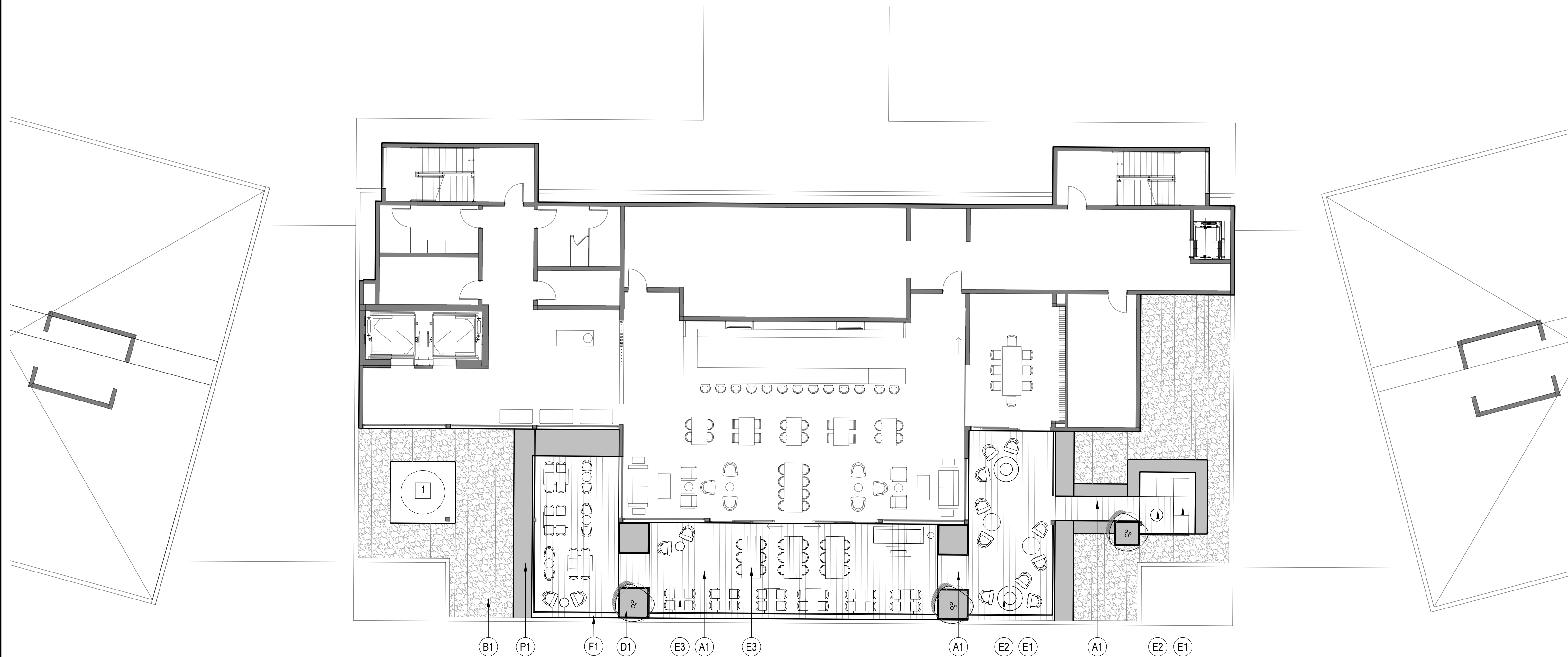
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PRELIMINARY LIGHTING PLAN
LAND USE

SCALE:
AS NOTED

DRAWING NUMBER


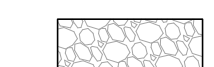
L202









MATERIALS SCHEDULE

PAVEMENTS

-  A1 WOOD DECKING
- THERMORY, BENCHMARK THERMO-ASH
-  B1 DECORATIVE CRUSHED ROCK
- THREE COLOR

SITE FURNISHINGS (FOR REFERENCE)

-  C1 FIBERGLASS PLANTER
- BASIS OF DESIGN: TOURNESOL
-  E1 LOUNGE FURNITURE
- BASIS OF DESIGN: KETTAL, LANDSCAPE COLLECTION
-  E2 FIRE PIT
- BASIS OF DESIGN: KETTAL, FIRE PIT
-  E3 TABLES + CHAIRS
- BASIS OF DESIGN: LANDSCAPE FORM, HARPO

FENCING, RAILING

-  F1 GUARD RAIL
- 42" HT.

PLANTING

-  P1 ROOF PLANTING
- IN PLANTER

KEY NOTES

-  1 SCULPTURE ART, TBD.

PROJECT ADDRESS

500 NE CAPTAIN MICHAEL KING
SMITH WAY
MCMINNVILLE, OR 97128

SUBCONSULTANTS

REVISIONS

NO.	DATE	DESCRIPTION

DATE:
12/16/2024

PROJECT NUMBER:
24025

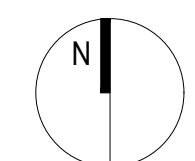
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ROOFDECK MATERIAL PLAN
LAND USE

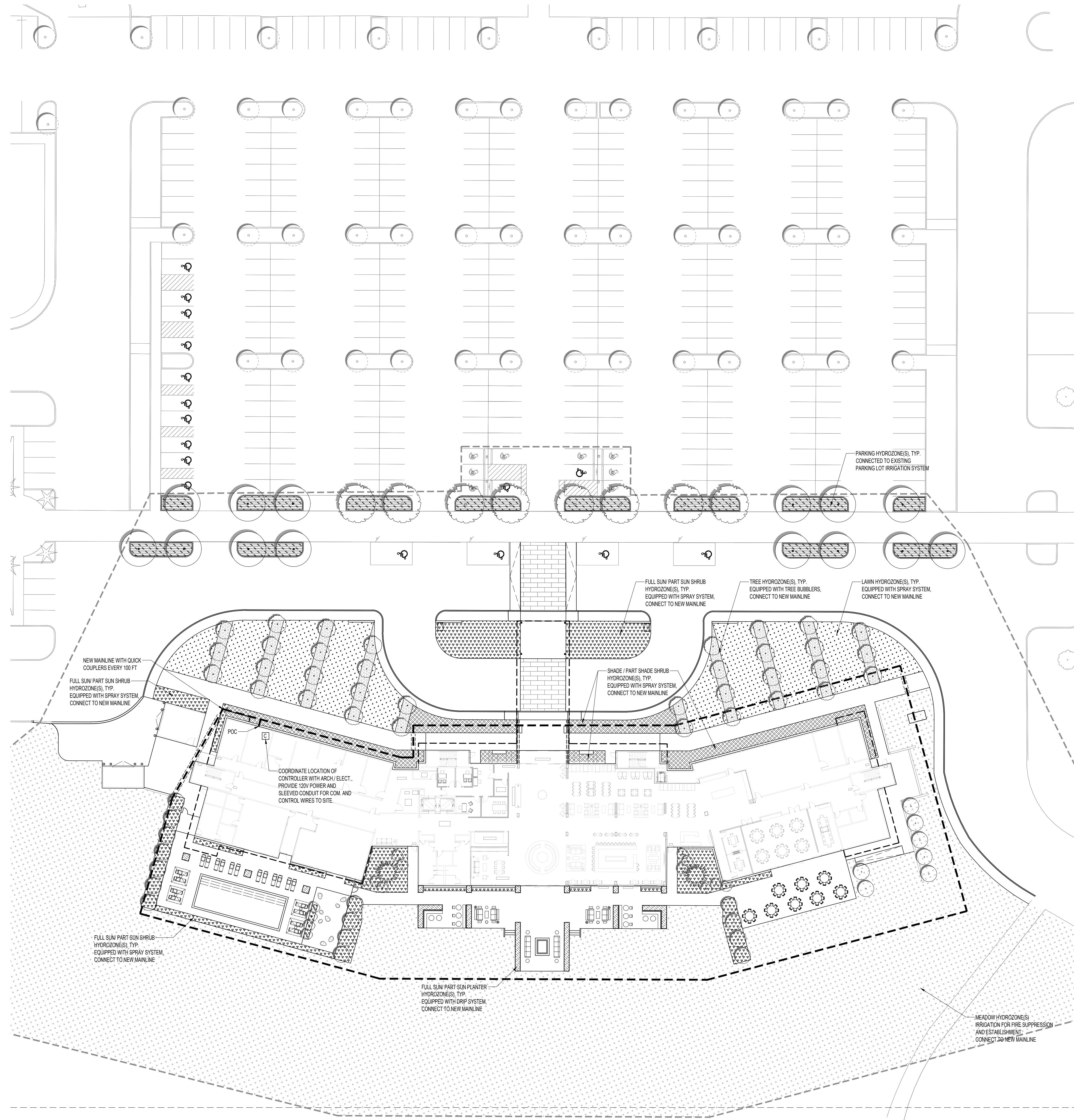
SCALE:
AS NOTED

DRAWING NUMBER

L203

SCALE: 1" = 10'





IRRIGATION LEGEND

- SHRUB, MEADOW, AND LAWN AREAS SHALL BE ON SEPARATE ZONES. SHRUB ZONES SHALL GROUP PLANTS OF SIMILAR WATER REQUIREMENTS AND EXPOSURE. SEE IRRIGATION PLAN FOR DIAGRAMMATIC ZONE GROUPINGS, FOR REFERENCE ONLY. VERIFY ALL PLANTINGS WITH PLANTING PLANS.

- SITE AREA OF DISTURBANCE
- [Pattern] LAWN
- [Pattern] GRASS
- [Pattern] TREES
- [Pattern] SHADE / PART SHADE SHRUB
- [Pattern] FULL SUN / PART SUN SHRUB
- [Pattern] FULL SUN / PART SUN PLANTER
- [Pattern] INSPECT AND RESTORE EXISTING IRRIGATION SYSTEM TO MEET CURRENT STANDARD

PVC SCHEDULE 40 - PIPE SIZING CHART	
GPM	PIPE SIZE
0-12	1"
13-30	1.5"
31-50	2"

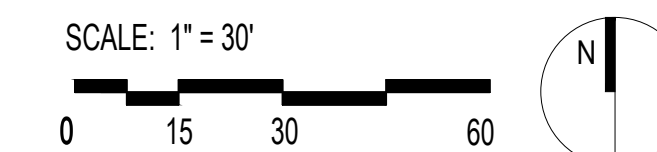
IRRIGATION EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION	MODEL	DETAIL/ SHEET
POC	POINT OF CONNECTION		
C	CONTROLLER: INTERIOR WALL MOUNT		
---	SCHEDULE 40 PVC MAINLINE		
---	SCHEDULE 40 PVC SLEEVE		

IRRIGATION NOTES

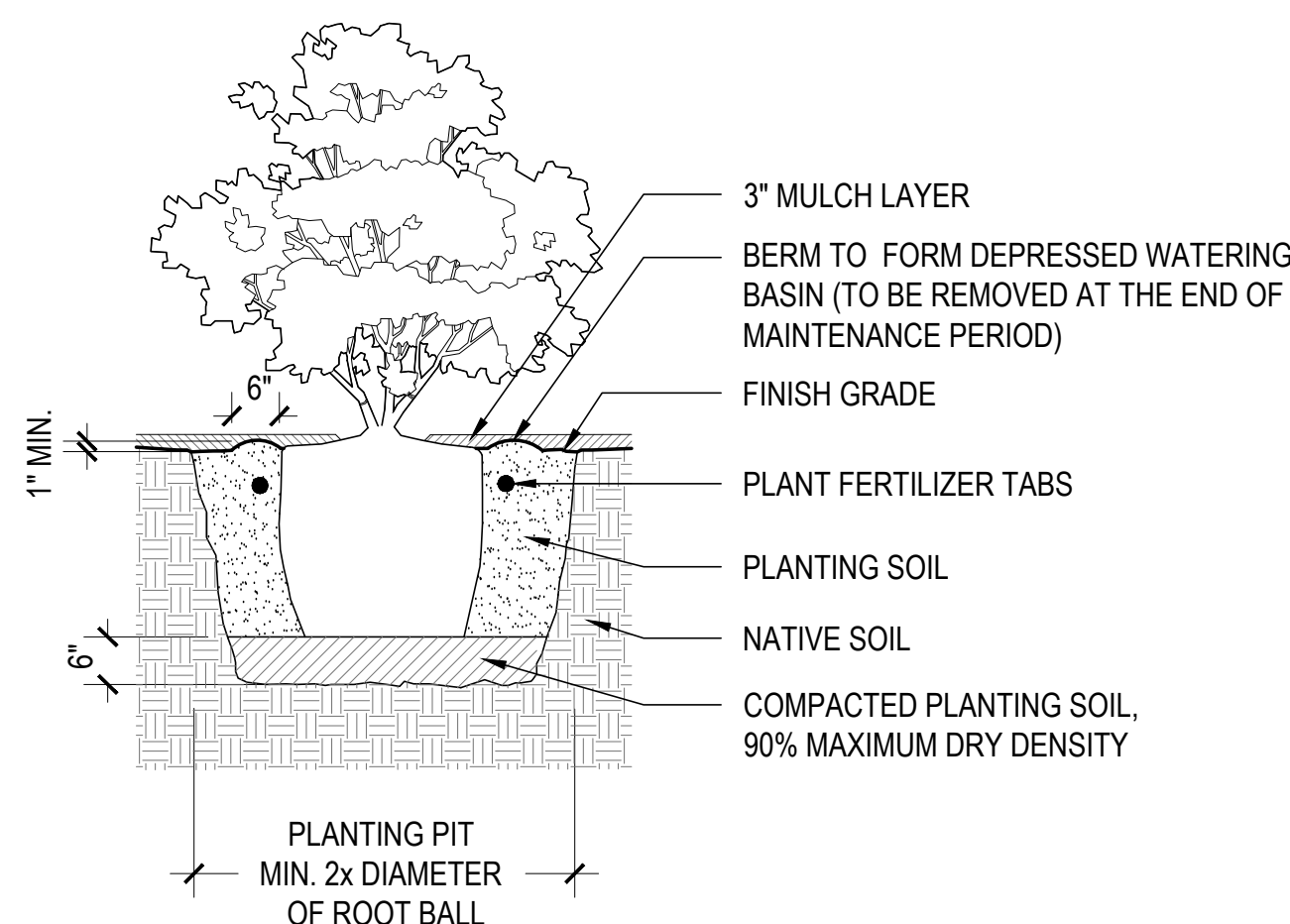
THE DESIGN-BUILD IRRIGATION SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS:

- ALL PLANTING AREAS ARE TO BE IRRIGATED WITH FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. DESIGN AND INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES. COORDINATE ALL WORK WITH OTHER TRADES INVOLVED.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM. SUBMIT APPROPRIATELY SCALED IRRIGATION DESIGN DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
- COORDINATE POINT OF CONNECTION, MAINLINE ROUTING, LOCATION, POWER AND SLEEVES FOR AUTOMATIC CONTROLLER, AND VERIFY AVAILABLE PRESSURE AND FLOW PRIOR TO BEGINNING WORK. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF REQUIREMENTS CANNOT BE MET.
- COORDINATE WITH OTHER SUBCONTRACTORS AND TRADES TO ENSURE PROTECTION OF THE SYSTEM INCLUDING BUT NOT LIMITED TO, WATER SERVICE, WATER METER, BACKFLOW DEVICES, CONTROLLER LOCATION, CONTROLLER ELECTRICAL SERVICE, AND WIRE CONDUITS FOR CONTROLLER.
- VERIFY AND COORDINATE WORK AROUND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION. NOTIFY ALL UTILITY PROVIDERS AT LEAST THREE (3) WORKING DAYS PRIOR TO BEGINNING WORK.
- VERIFY THAT CONDITIONS ARE SUITABLE TO PROVIDE A COMPLETE WORKING SYSTEM. DO NOT PROCEED IF CONDITIONS ARE PRESENT THAT ARE DETRIMENTAL TO THE EQUIPMENT OR WILL NOT SUPPORT A HEALTHY GROWING ENVIRONMENT FOR PLANTS.
- PROVIDE HIGH EFFICIENCY, LOW FLOW, MULTI STREAM ROTARY NOZZLE SPRAY HEADS WITH MAXIMUM 10' RADIUS IN SHRUB AREAS. STRIP HEADS TO BE MAXIMUM 12' SPACING. BASIS OF DESIGN: HUNTER MP-PRS. DRIP TUBE WITH INLINE PRESSURE COMPENSATING EMITTERS, FLUSH VALVES, AND AIR RELIEF VALVES; HUNTER HDL-06-12-PC
- PROVIDE 12" POP-UP BODIES IN SHRUB AND GROUND COVER AREAS, TYP., 6" BODIES WHERE DIRECTLY ADJACENT HEAD-IN PARKING AND BEDS 5' OR LESS WIDE.
- PROVIDE PVC LATERAL LINES, MINIMUM 3/4" DIAMETER. SIZE PIPE TO ENSURE THAT MAXIMUM WATER VELOCITY DOES NOT EXCEED 5 FT./SEC.
- ZONES TO BE MAXIMUM 30 GPM.
- NEW TREES IN TREE PIT NOT WITHIN A PLANTING AREA SHALL BE IRRIGATED ON SEPARATE ZONE WITH SUBSURFACE ROOT WATERING BUBBLER SYSTEM.
- PLACE ALL VALVE BOXES IN PLANTING BEDS WHERE POSSIBLE, AND LOCATE TO ALLOW EASE OF ACCESS FOR MAINTENANCE, CONSIDERING PLANT MATERIAL AND OBSTRUCTIONS. ALL VALVE BOX LIDS TO BE COLOR BLACK WITH BOXES SIZED TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING WIRE, ISOLATION VALVES, AND UNIONS. SET VALVE BOXES IN A UNIFORM MANNER, SQUARE TO ADJACENT PAVING. ALIGN AND EVENLY SPACE GROUPS OF BOXES IN A UNIFORM AND ORDERLY FASHION. ONLY ONE VALVE PER BOX. BOX LOCATIONS SHALL BE STAKED IN FIELD AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- INSTALL ALL IRRIGATION PIPE AND WIRE IN SCHEDULE 40 PVC SLEEVES BELOW ALL PAVED SURFACES OR STRUCTURES SUCH AS WALLS, STAIRS, AND OTHER IMPROVEMENTS. SIZE OF SLEEVES SHALL BE MINIMUM TWICE (2X) THE COMBINED DIAMETER OF PIPE TO BE PLACED IN SLEEVE. MINIMUM SIZE 4" WITH 24" COVER, MINIMUM. COORDINATE PLACEMENT OF SLEEVES WITH OTHER TRADES.
- ADJUST THE ENTIRE SYSTEM TO PROVIDE UNIFORM EVEN COVERAGE. ELIMINATE ALL FOGGING, AND OVERSPRAY ON TO PAVING, STRUCTURES, OR NON-PLANTED AREAS. PROVIDE A COMPLETE WORKING SYSTEM.



NOTE:

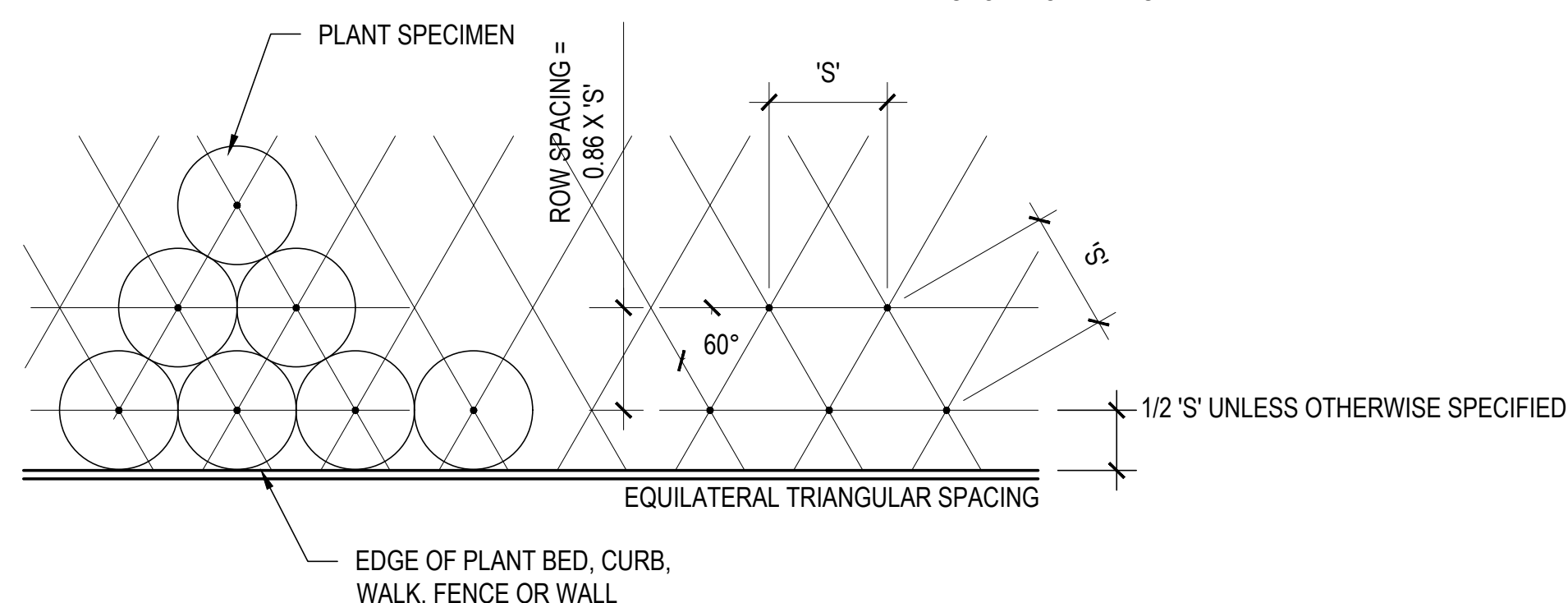
1. PLANTING PITS SHALL BE 2x DIAMETER AND 1-1/2x DEPTH OF ROOTBALL
2. ROOTBALL CROWN TO BE SLIGHTLY ABOVE FINISH GRADE BEFORE MULCH IS APPLIED.
3. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING. ROUGH UP EXTERIOR SURFACE OF ROOT BALL AND EXTEND ANY CIRCLING ROOTS OUTWARDS INTO PLANTING PIT.
4. KEEP MULCH AWAY FROM WOODY STEMS.



4 SHRUB PLANTING

Not to Scale

NOTE:
'S' = SPACING ON CENTER AS SHOWN ON PLANS

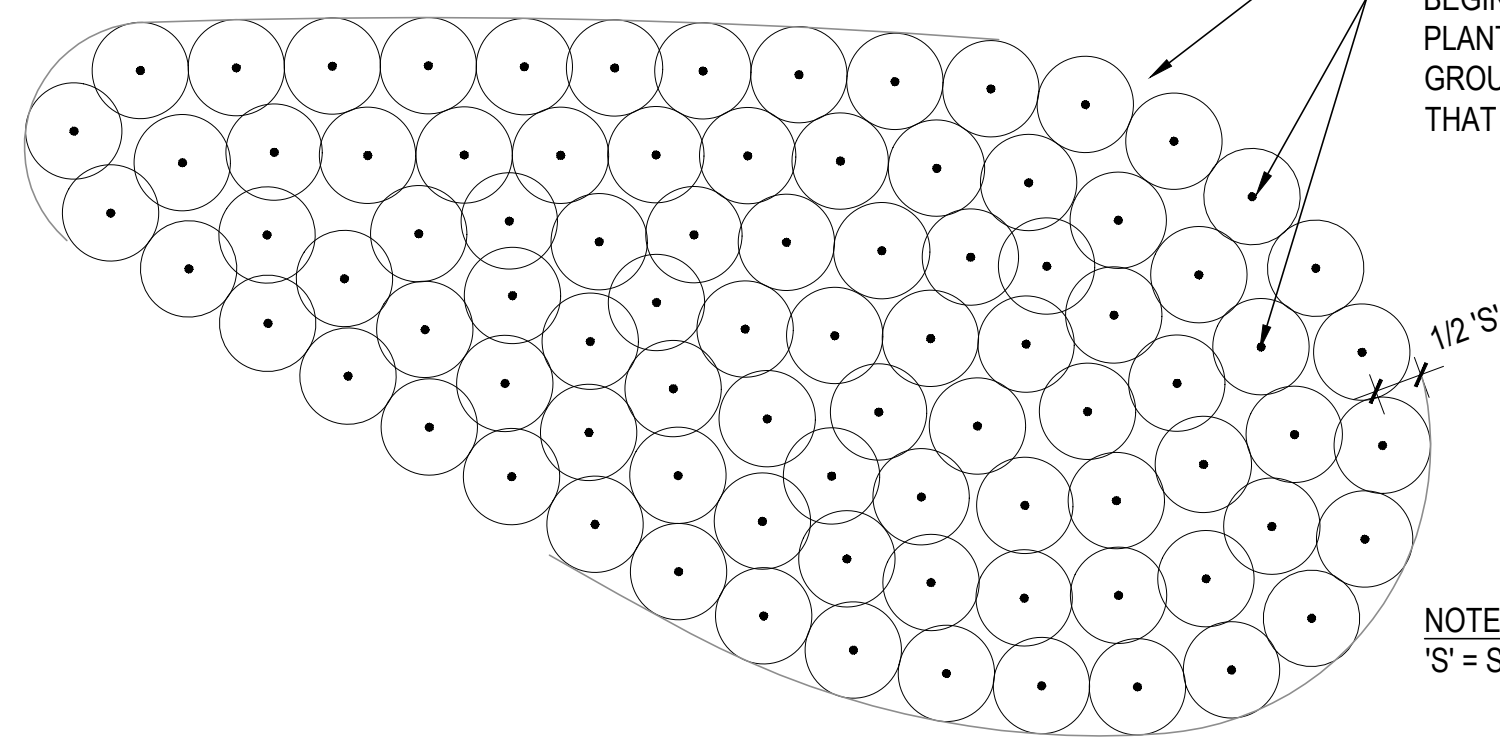


5 GROUND COVER TRIANGULAR SPACING

Not to Scale

EXTENTS OF PLANT GROUPING

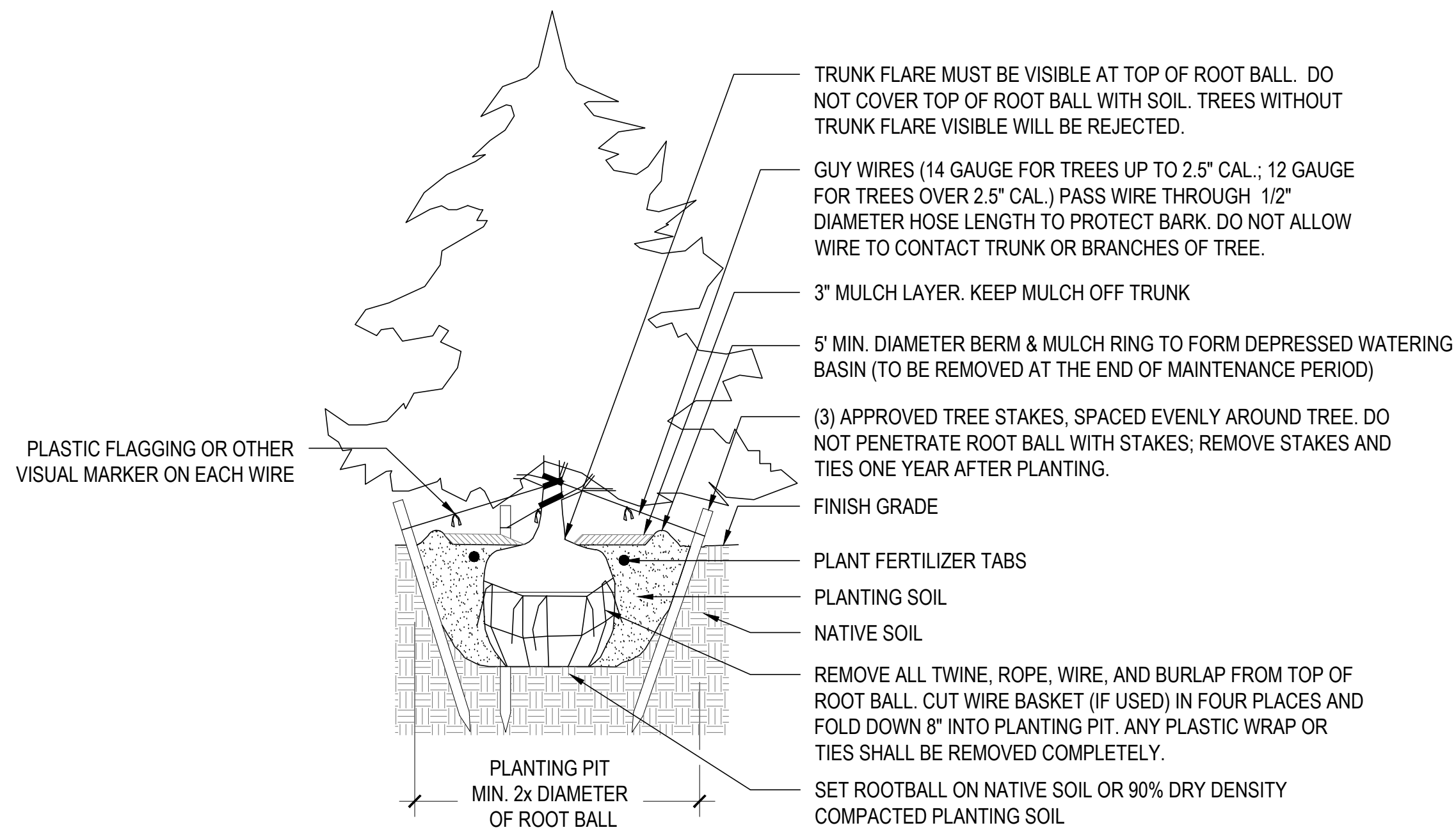
BEGIN LAYOUT FROM OUTSIDE, SPACING PLANTS EVENLY ALONG BOUNDARY OF GROUPING. USE TRIANGULAR SPACING SO THAT ROWS OF PLANTS ARE OFFSET.



NOTE:
'S' = SPACING ON CENTER AS SHOWN ON PLANS

6 GROUND COVER MASS PLANTING

Not to Scale

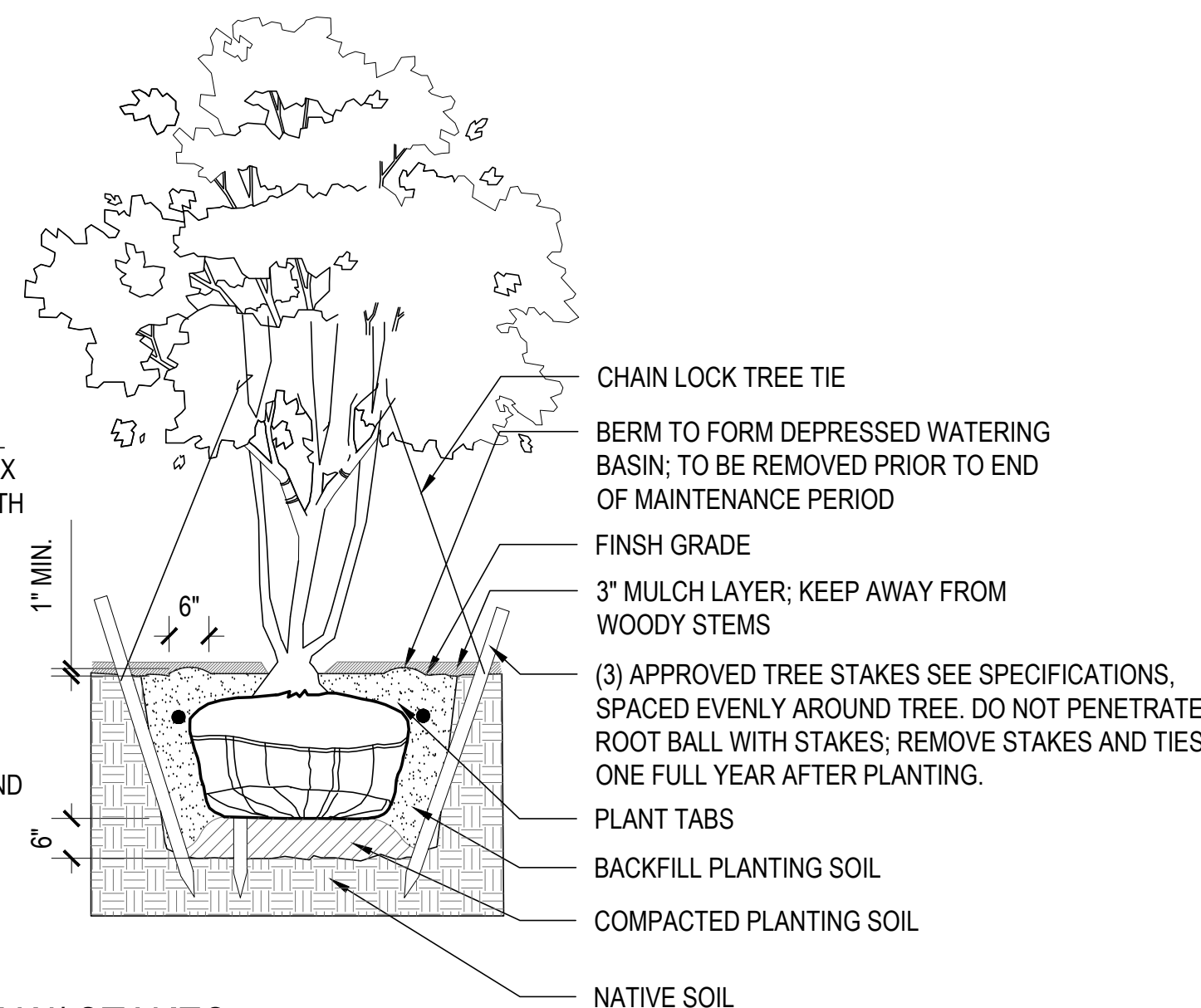


1 CONIFEROUS TREE W/ STAKES

Not to Scale

NOTES:

1. PLANTING PITS SHALL BE 2X DIAMETER AND 1-1/2X DEPTH OF ROOTBALL
2. ROOTBALL CROWN TO BE FLUSH WITH FINISH GRADE
3. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING

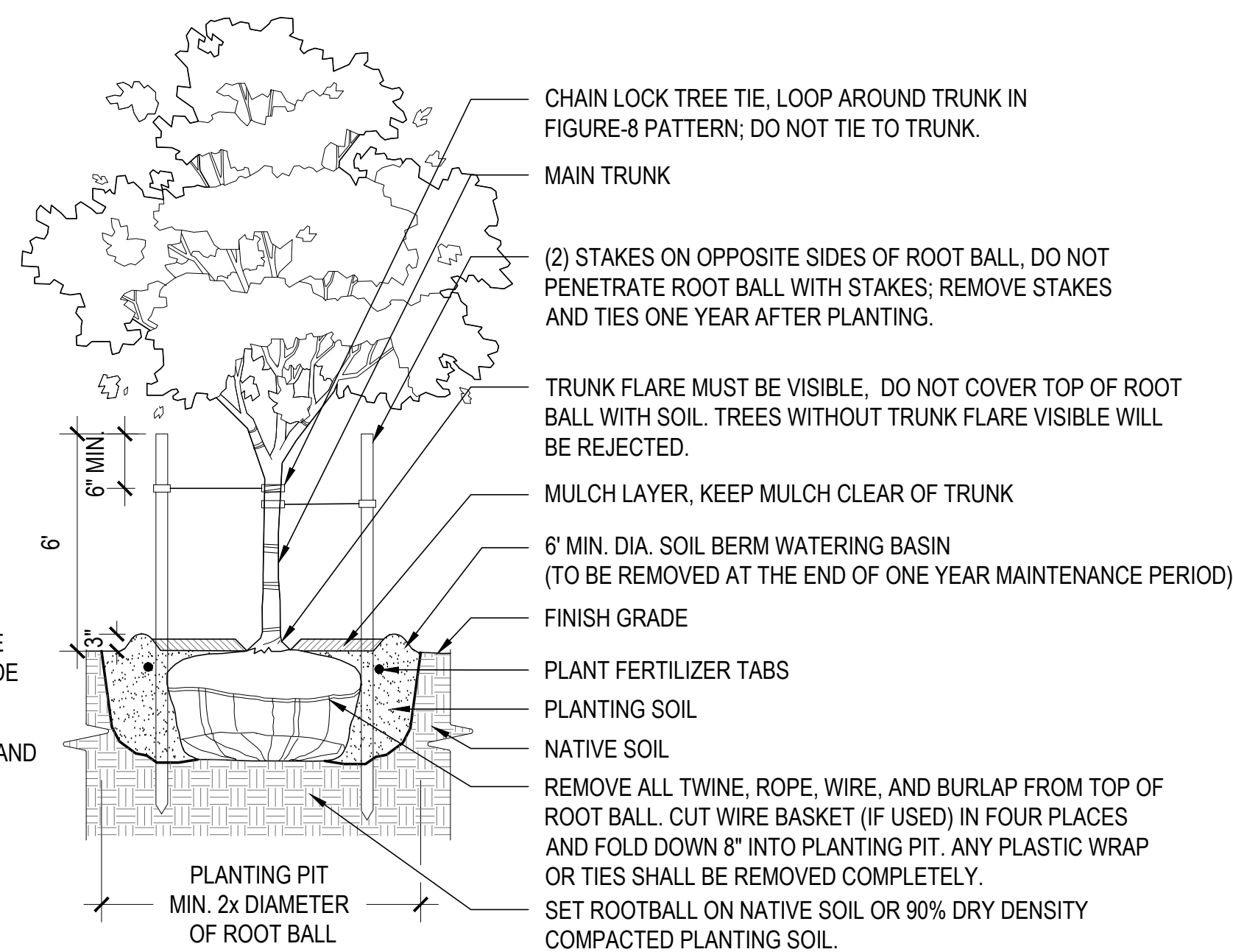


2 MULTI-STEM TREE W/ STAKES

Not to Scale

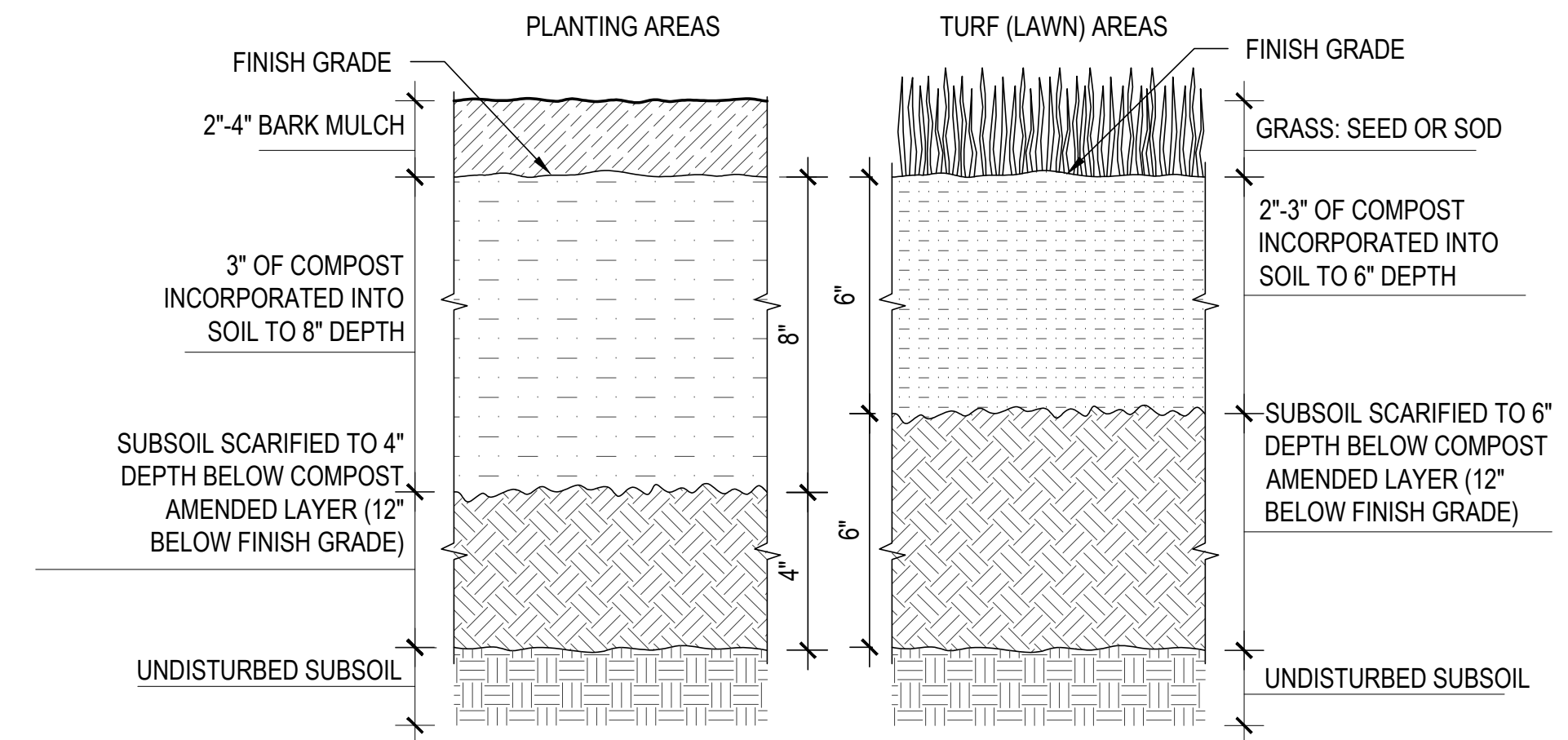
NOTES:

1. ROOTBALL CROWN TO BE FLUSH WITH FINISH GRADE
2. CUT AND REMOVE ALL BINDING FROM THE TOP AND SIDES OF THE ROOTBALL BEFORE BACKFILLING



3 DECIDUOUS TREE W/ STAKES

Not to Scale



NOTES:

1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, SHALL BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
2. SUBSOIL SHOULD BE SCARIFIED (LOOSENE) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE LANDSCAPE ARCHITECT.
3. COMPOST SHALL BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
4. LAWN AREAS SHALL RECEIVE 1 INCH OF COMPOST TILLED IN TO 6-INCH DEPTH, OR MAY SUBSTITUTE 6 INCHES OF IMPORTED SOIL CONTAINING 15% COMPOST BY VOLUME; THEN PLANT GRASS SEED OR SOD PER SPECIFICATION.
5. PLANTING AREAS SHALL RECEIVE 3 INCHES OF COMPOST TILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING WITH 2-4 INCHES OF BARK MULCH OR APPROVED EQUAL.
6. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

1 PLANTING SOIL SECTION

Not to Scale

PROJECT ADDRESS
500 NE CAPTAIN MICHAEL KING
SMITH WAY
MCMINNVILLE, OR 97128

SUBCONSULTANTS

REVISIONS

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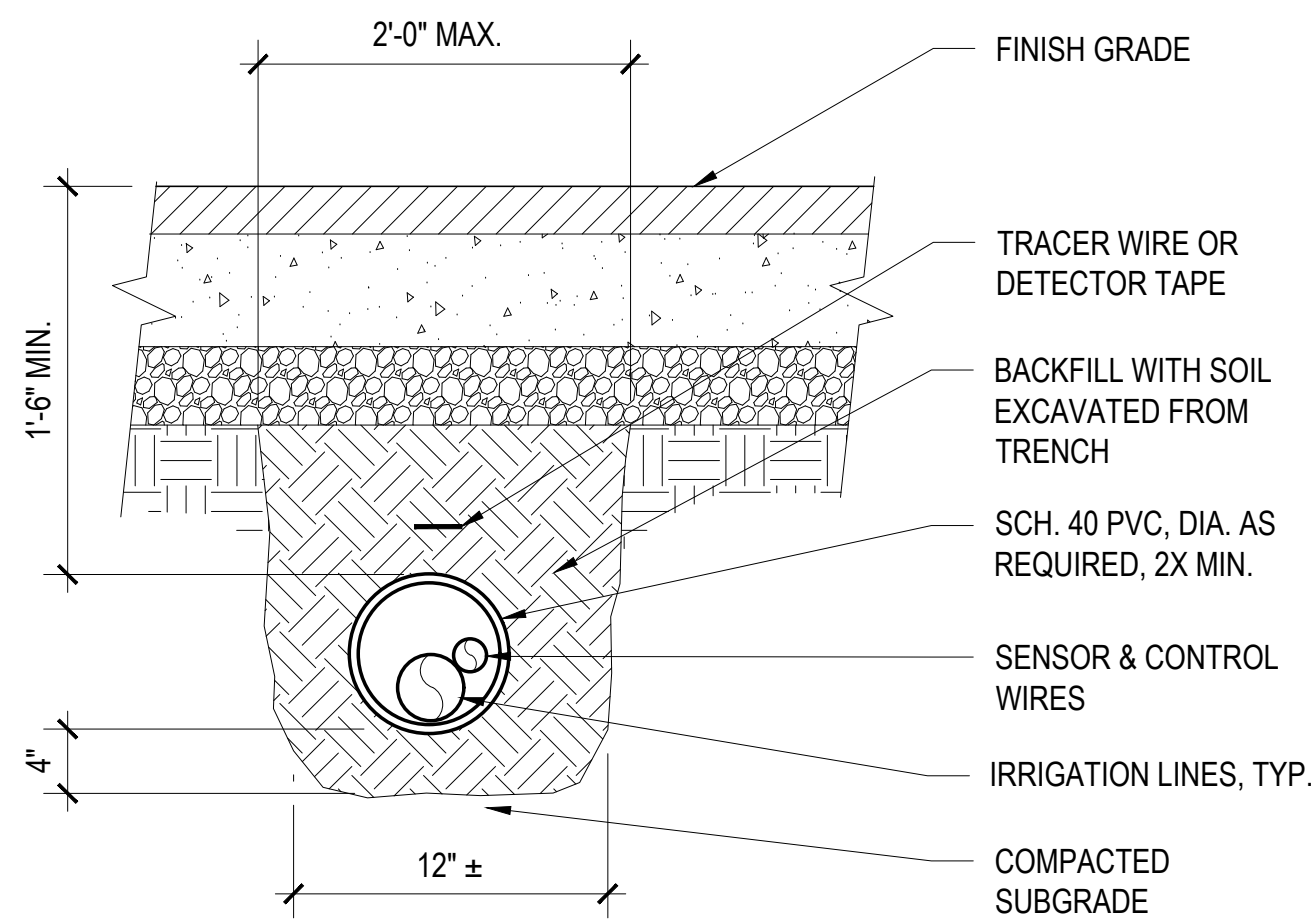
PROJECT NUMBER:
24025

SHEET TITLE:
PLANTING DETAILS
LAND USE

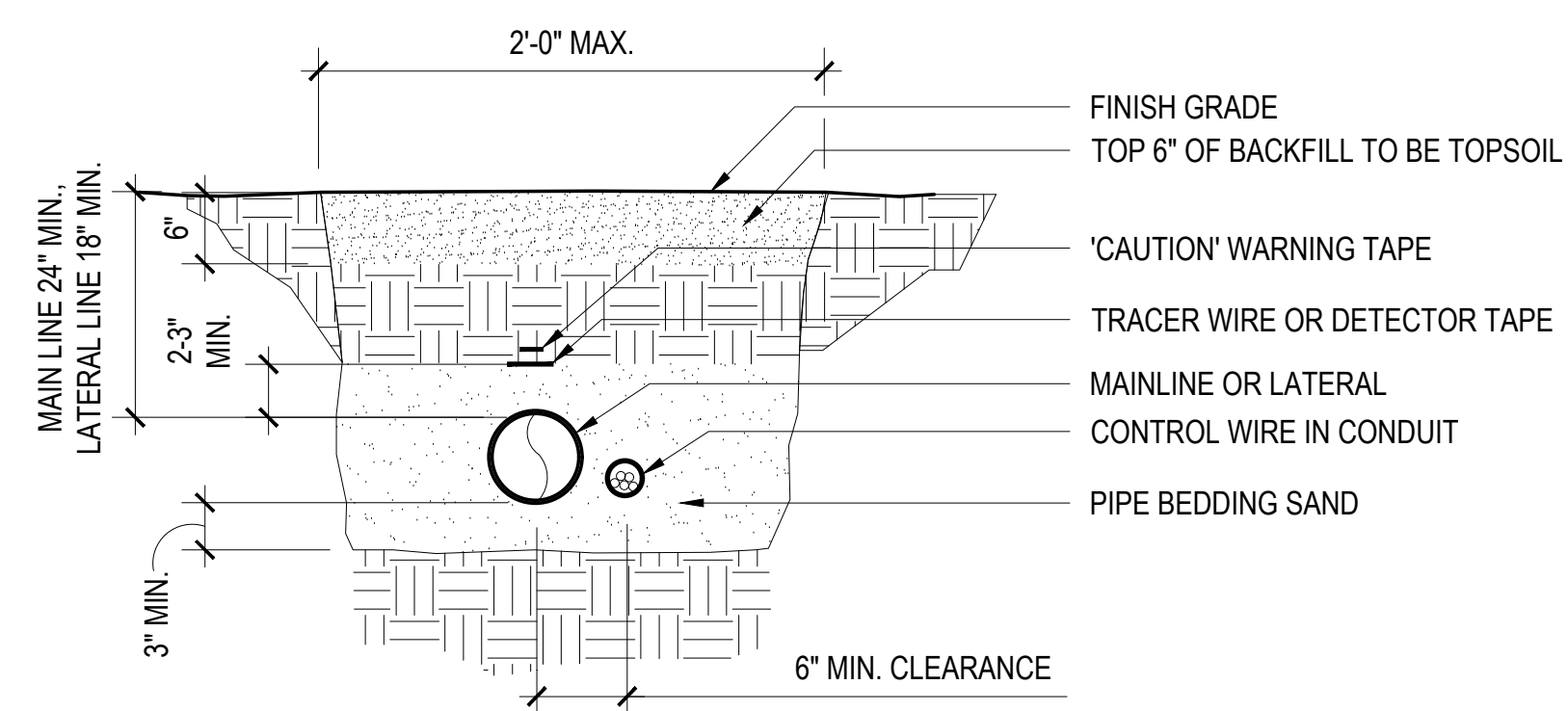
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DRAWING NUMBER

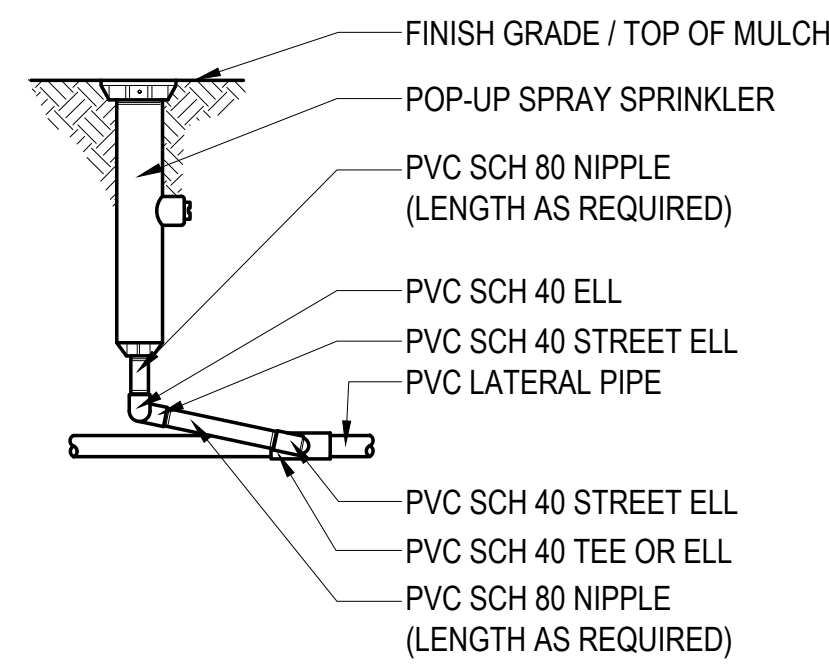
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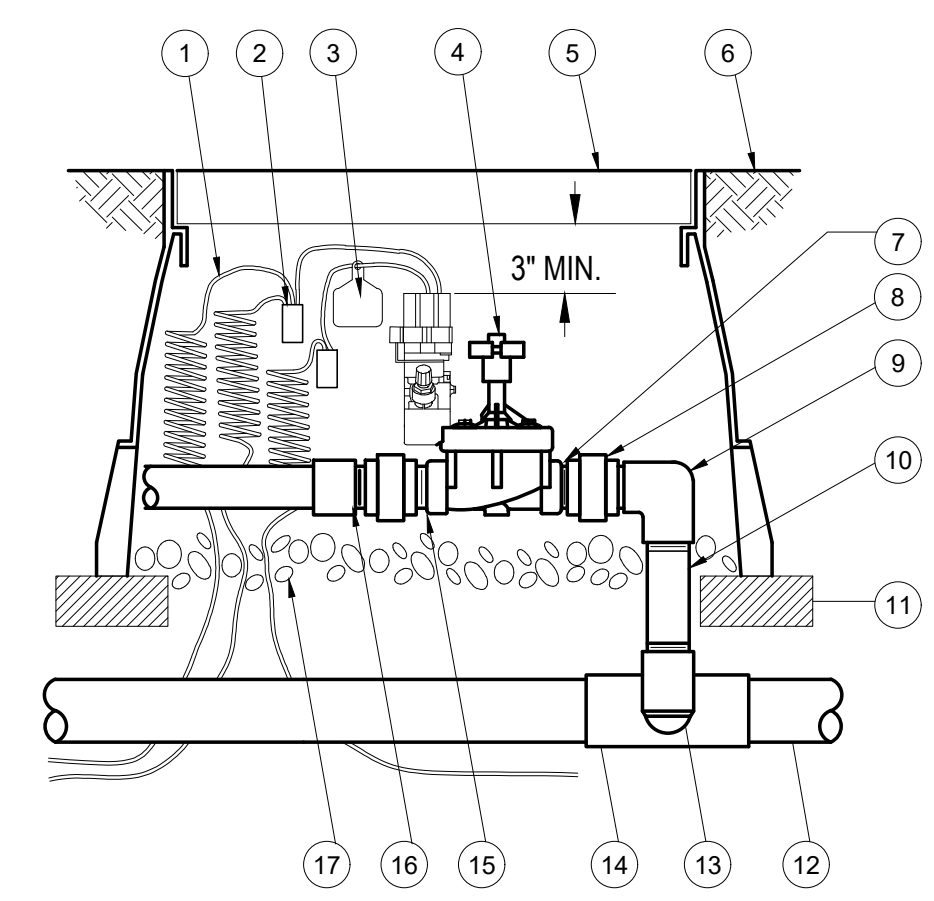
7 SLEEVE
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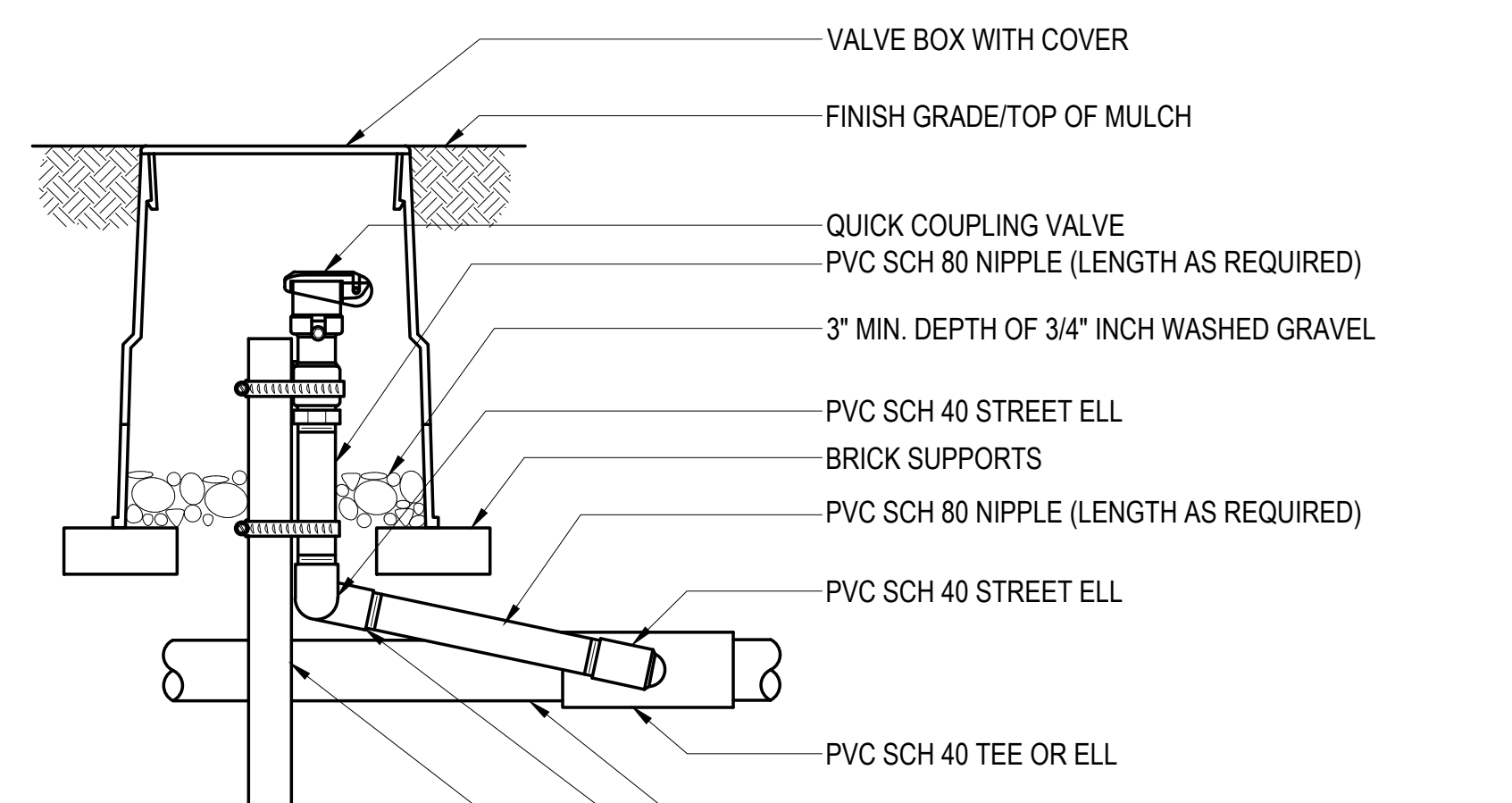
8 TRENCH
NOT TO SCALE



9 POP-UP SPRAY AND ROTOR HEAD
NOT TO SCALE

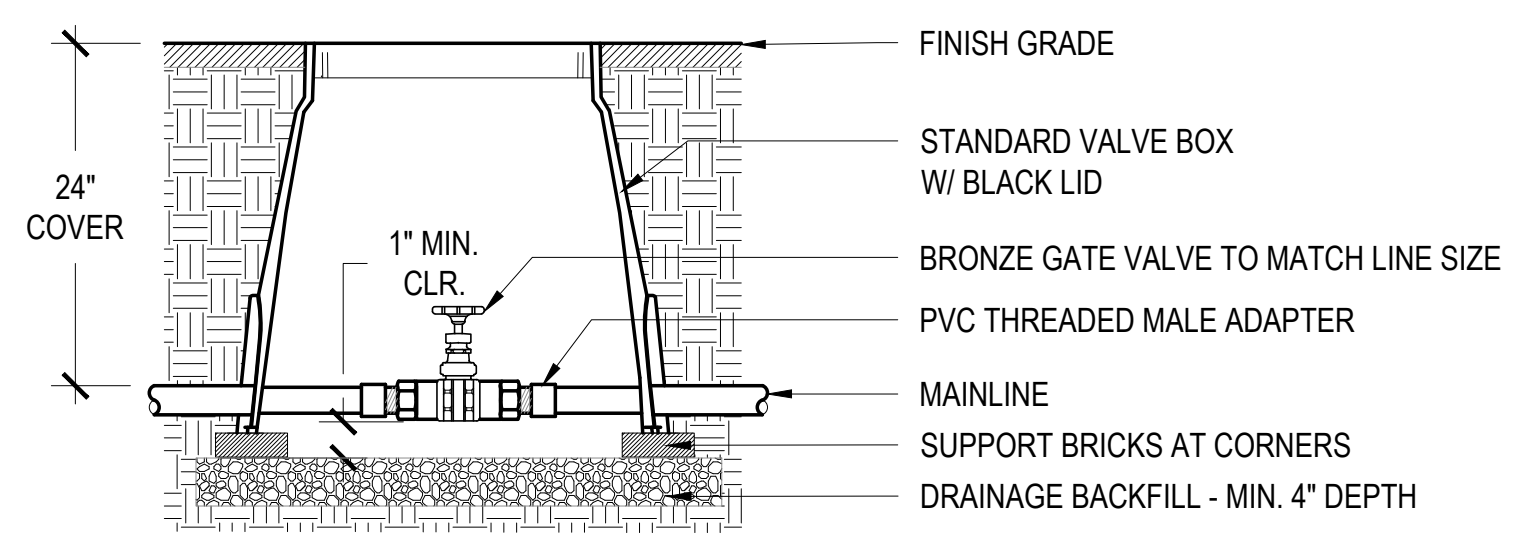


4 REMOTE CONTROL VALVE
NOT TO SCALE



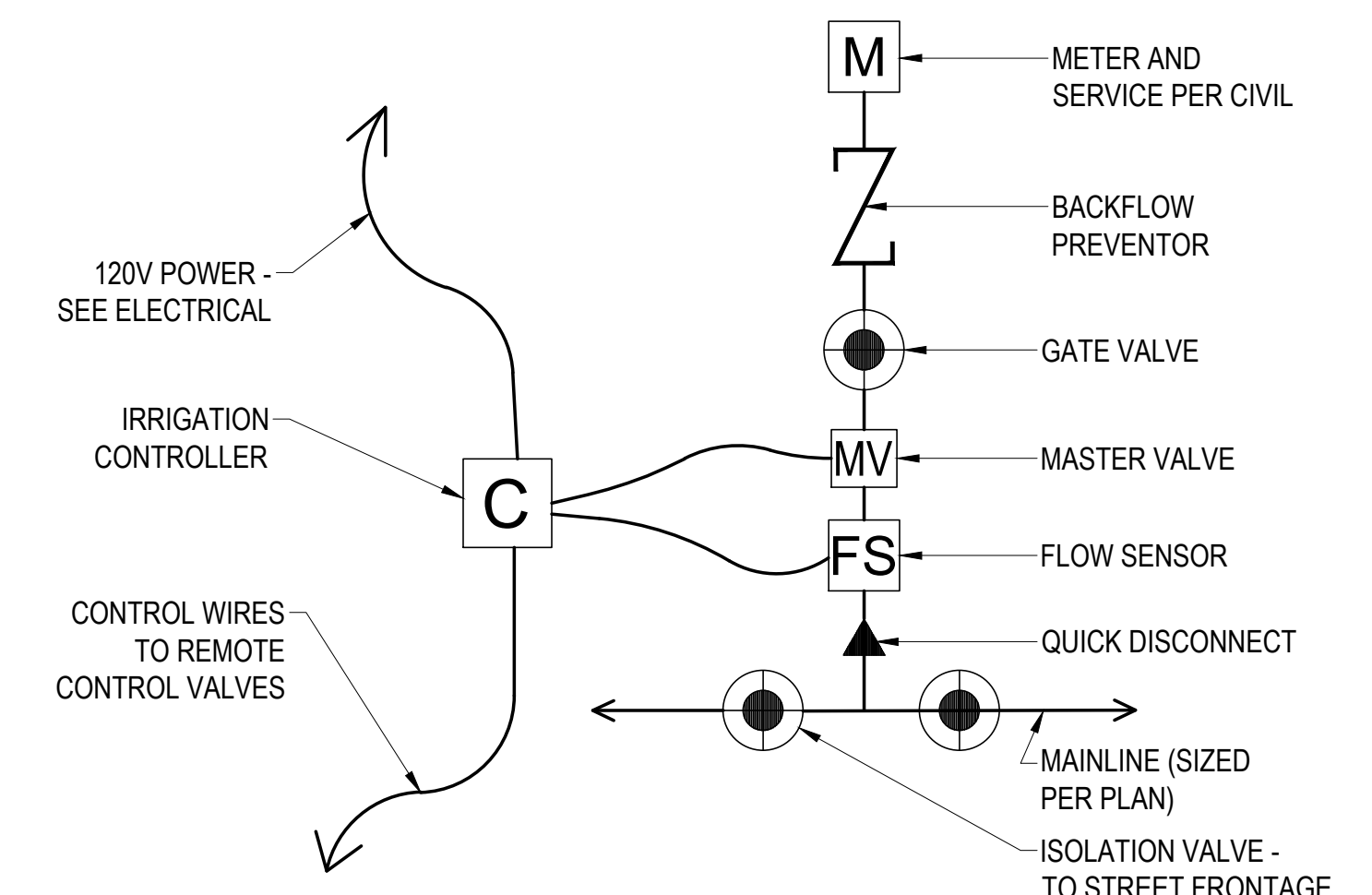
NOTE:
FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

5 QUICK COUPLER
NOT TO SCALE

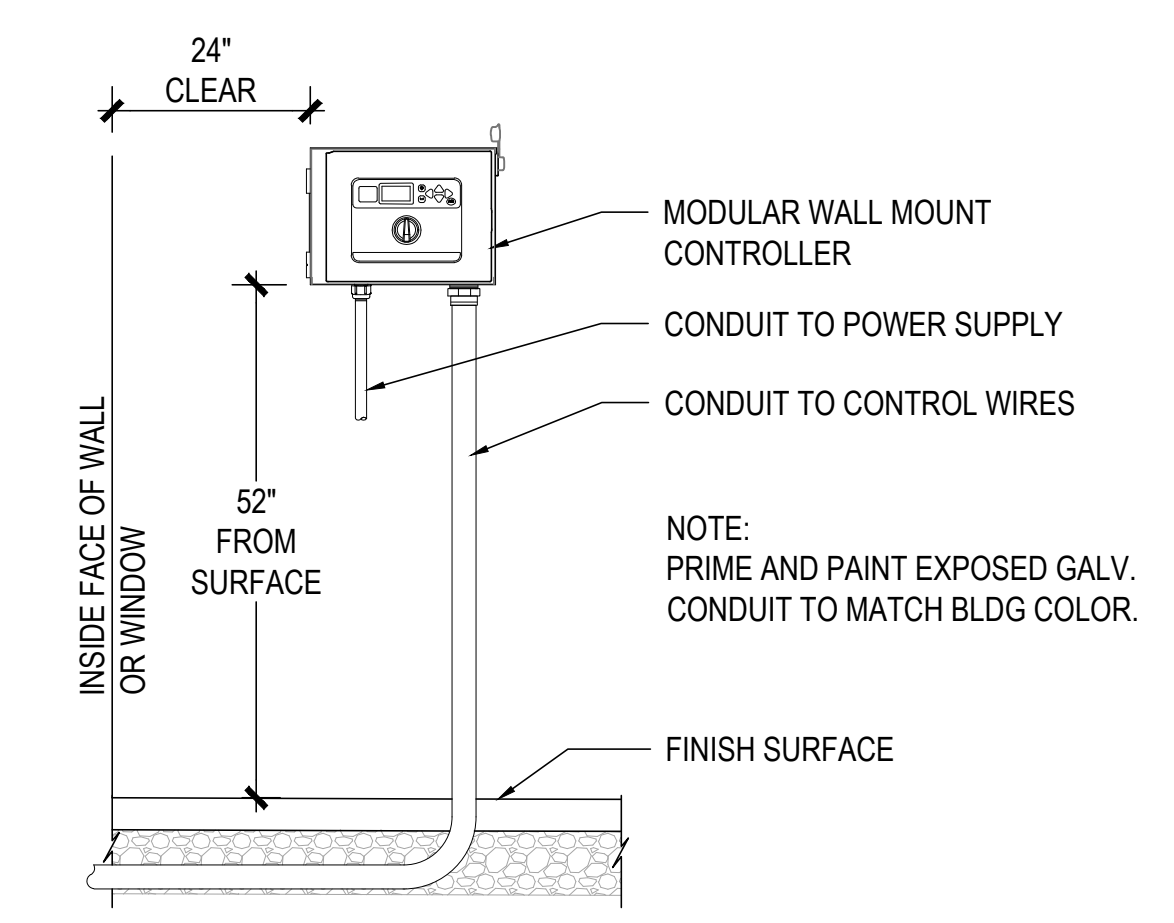


6 MANUAL / ISOLATION VALVE
NOT TO SCALE

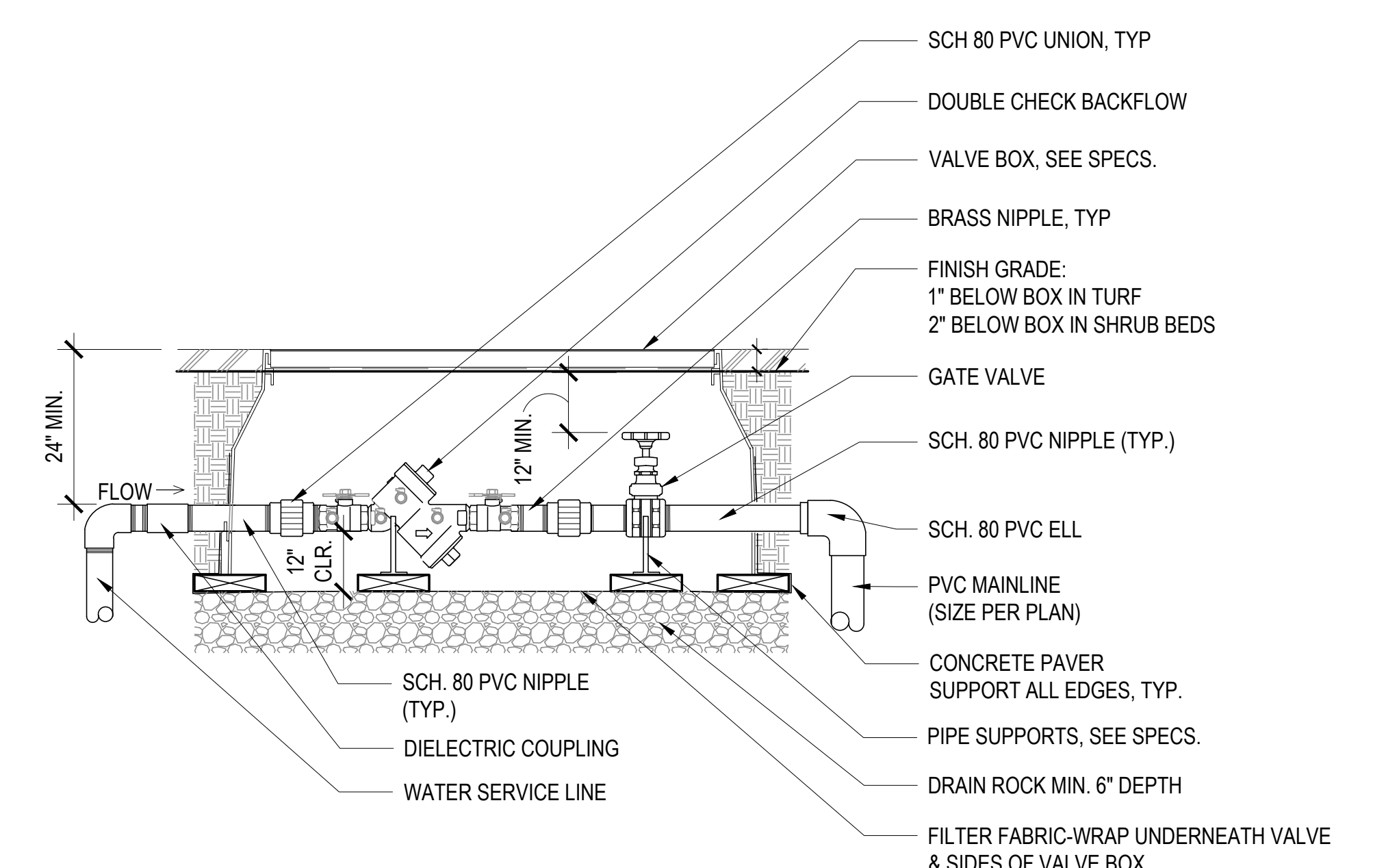
- 1 30-INCH LINEAR LENGTH OF WIRE, COILED
- 2 WATERPROOF CONNECTION: 3M DBY
- 3 ID TAG: WITH ZONE NUMBER
- 4 REMOTE CONTROL VALVE PER SCHEDULE
- 5 VALVE BOX WITH BLACK COVER
- 6 FINISH GRADE/TOP OF MULCH
- 7 PVC SCH 80 NIPPLE (CLOSE)
- 8 PVC SCH 40 UNION EACH SIDE OF VALVE
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 11 BRICK (1 OF 4) AT CORNERS
- 12 PVC MAINLINE PIPE
- 13 SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) & SCH 40 ELL
- 14 PVC SCH 40 TEE OR ELL
- 15 PVC SCH 40 MALE ADAPTER
- 16 PVC LATERAL PIPE
- 17 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL



1 POINT OF CONNECTION
NOT TO SCALE



2 CONTROLLER - WALL MOUNT
NOT TO SCALE



3 BACKFLOW DEVICE
NOT TO SCALE

AC HOTEL - MARRIOTT
MCMINNVILLE - OREGON - USA

PLACE

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SUBCONSULTANTS

REVISIONS

DATE:
12 / 06 / 2024

PROJECT NUMBER:
24025

SHEET TITLE:
IRRIGATION DETAILS
LAND USE

SCALE:
AS NOTED

DRAWING NUMBER

L501

ROOF DECK | ROOF VIEWS



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

PLACE

BIRDEYES | AMENITY



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

PLACE

GROUND FLOOR | POOL



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

PLACE

GROUND FLOOR | POOL



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

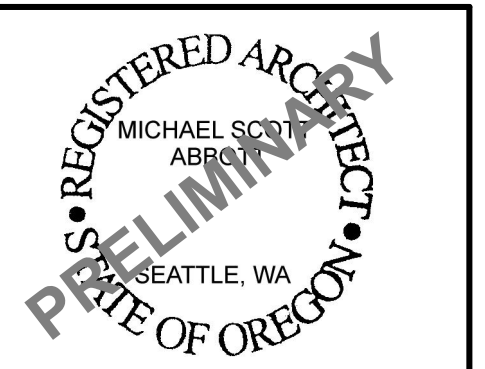
PLACE

GROUND FLOOR | TERRACE



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

PLACE



ABBOTT
ARCHITECTURE

Woodinville, WA
P 206.778.7008

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McMinnville • Oregon • USA

500 NE CAPTAIN MICHAEL
KING SMITH WAY
MCMINNVILLE, OR 97128

LAND USE SET - NOT FOR CONSTRUCTION	
DATE 12/06/24	PROJECT 2303
30% - MARRIOTT REVIEW SET 10/22/24 LAND USE SET 12/06/24	LANDSCAPE NAME MODEL VIEWS - LANDSCAPE
A-203	

GROUND FLOOR | DROP-OFF



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

PLACE

GROUND FLOOR | DROP-OFF



EVERGREEN AC RETREAT MARRIOTT
SEPTEMBER 25, 2024

PLACE

REGISTERED ARCHITECT
MICHAEL SCOTT ABBOTT
SEATTLE, WA
STATE OF OREGON
PRELIMINARY

ABBOTT
ARCHITECTURE

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P 206.778.7008

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McMinnville • Oregon • USA

500 NE CAPTAIN MICHAEL
KING SMITH WAY
MCMINNVILLE, OR 97128

DATE: 12/06/24
PROJECT: 2303
DRAWN BY:
LAYOUT NAME: MODEL VIEWS - LANDSCAPE

30% - MARRIOTT REVIEW SET 10/22/24
LAND USE SET 12/06/24

A-204

LAND USE SET - NOT FOR CONSTRUCTION

LANDSCAPE PLAN REVIEW

To
City of McMinnville

For
AC Hotel by Marriott
Evergreen Campus

Dated
December 11, 2024

Project Number
2240080.00



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PO Box 14310, Portland, OR 97293 | T 503.224.9560 | www.mackenzie.inc



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I. PROJECT SUMMARY

Applicant:	McMinnville Properties, LLC Attention: Steve Scott 7401 SW Washo Court, Suite 200 Tualatin, OR 97062
Owner:	McMinnville Properties, LLC Attention: Wayne Marschall 7401 SW Washo Court, Suite 200 Tualatin, OR 97062
Site Address:	500 NE Captain Michael King Smith Way, McMinnville, OR 97128
Yamhill County Tax Lots:	R4423 01301, R4423 00601, and R4423 00602 Other contiguous campus parcels within City Limits include R4423 00600 and R4423 00800
Assessor Site Acreage:	57 acres for affected tax lots
Site Area:	The area of disturbance is approximately 214,000 square feet (4.9 acres)
Zoning:	General Commercial (C-3) Three Mile Lane Planned Development Overlay Airport Overlay
Comprehensive Plan:	Commercial
Adjacent Zoning:	C-3 to the south and east Yamhill County Exclusive Farm Use District (EFU-80) to the north, west, and south
Existing Structures:	Wings and Waves Waterpark, Evergreen Lodge, Evergreen Lodge Reception Hall, Aviation Museum, and Theater & Event Center are on affected tax lots. Space Museum is on adjoining tax lot.
Request:	Landscape Plan Review for new hotel and associated site improvements
Project Contact:	Mackenzie Attn: Brian Varricchione, Land Use Planner 1515 SE Water Avenue, Suite 100 Portland, OR 97214 (971) 346-3742 bvarricchione@mcknze.com

II. INTRODUCTION

Description of Request

The applicant requests approval of Landscape Plan Review for landscaping associated with a new five-story, 102,063 square feet (SF), 108-room hotel within the Evergreen Campus at 500 NE Captain Michael King Smith Way. The proposed hotel location is in the southeast corner of the site between the waterpark and Aviation Museum, south of an existing parking area. The proposal includes minor changes to the existing parking area including redeveloping existing landscape islands along the southern border of the parking area, the addition of accessible parking spaces, and installation of electric vehicle (EV) parking.

Existing Site and Surrounding Land Use

The approximately 312-acre Evergreen Aviation & Space Museum campus is partially within McMinnville City Limits (92 acres +/-, zoned C-3 General Commercial and 4 acres +/- zoned A-H Agricultural Holding), with the large remainder in unincorporated Yamhill County (216 acres +/- zoned EF-80 Exclusive Farm Use). The property is located immediately north of Oregon Highway 18 (Three Mile Lane) and NE Cumulus Avenue, east of downtown and Chemeketa Community College near the McMinnville Municipal Airport. The campus slopes mildly downhill from east to west along its entirety. There is an approximately 10-foot grade change within the southern part of the campus, generally near to Three Mile Lane, where the existing buildings are located, and there is a significant grade drop in the northwest portion of the site, generally along the Yamhill River.

The portion of the campus within the City limits contains six buildings supporting various operations: the Evergreen Aviation & Space Museum (two buildings); the Wings and Waves Waterpark; the theater/conference center; and the Lodge (two buildings: the chapel and reception hall), with associated circulation, parking, and landscaping. Existing parking lots are distributed throughout the campus, providing nearly 1,500 parking spaces, all of which are within city limits. Also within the City limits area is the building pad that was previously prepared for a hotel approved in 2009, at that time referred to as the Lodge. The hotel itself was never constructed.

The area outside the City contains farmland, vineyards, three agricultural storage and production buildings, a grove of Oregon White Oak trees, a nature trail, and natural areas used by various private and community groups by permission.

The proposal will not affect the site's overall access and circulation system. The campus is accessed from NE Captain Michael King Smith Way, a private roadway that connects to NE Cumulus Drive, which provides access to downtown McMinnville via Three Mile Lane. Three Mile Lane provides regional connections to the Greater Portland Metropolitan region and Oregon Coast via OR-18 and OR-99W.



Figure 1: Campus Aerial Photo

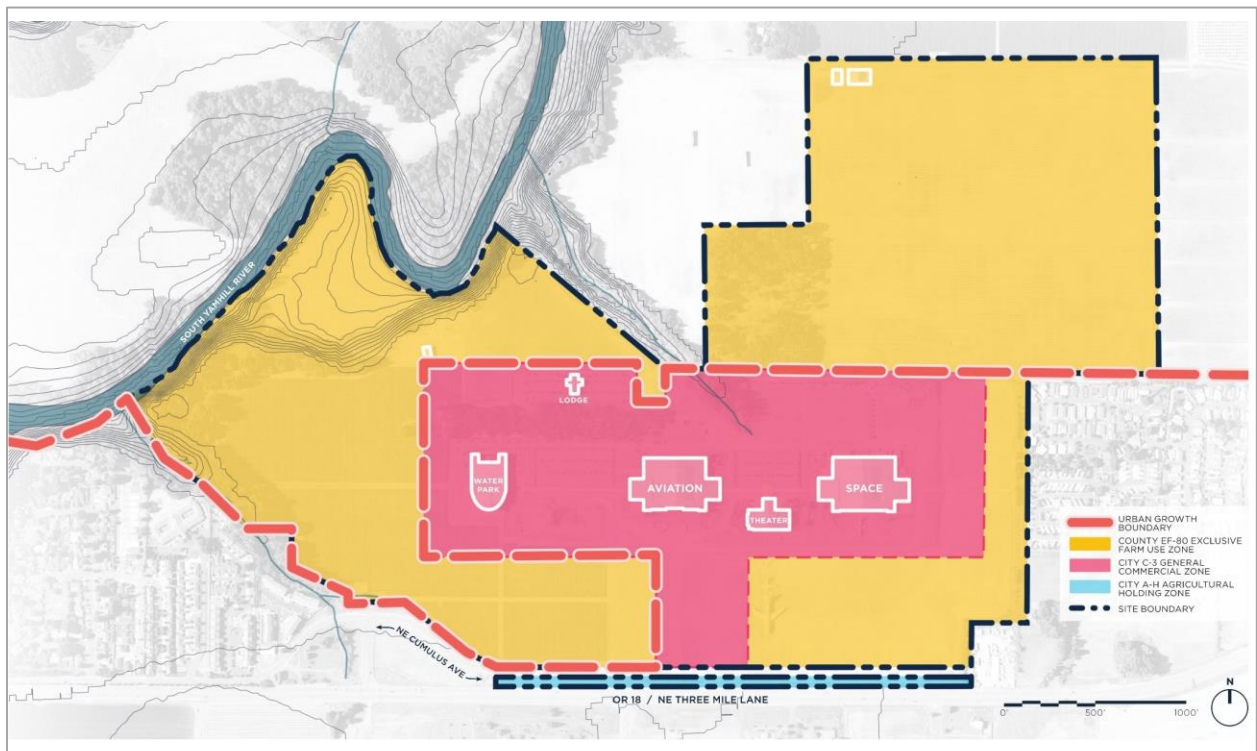


Figure 2: Campus Zoning Map

Prior Approvals

The site is located in the Three Mile Lane Planned Development Overlay District. The Planned Development, established in 1981 by adoption of Ordinance 4131, requires properties to be developed according to the designations of the McMinnville Comprehensive Plan. Ordinance 4131 also implemented numerous policies applicable to all properties in the district. These policies include meeting the goals and policies of the McMinnville Comprehensive Plan, a minimum setback of 120' from the centerline of Highway 18, and development requirements relating to access and landscaping. Ordinance 4131 also established Planned Development amendment procedures for the district. Specific signage provisions for the Three Mile Lane Planned Development Overlay District were amended by Ordinance 4572 in 1994.

The Evergreen Campus was subsequently established in 1998 with adoption of Ordinance 4662, which rezoned a portion of the campus (not including the site of the proposed hotel) from Agricultural Holding (AH) to General Commercial Planned Development (C-3 PD). Ordinance 4662 also imposed numerous development standards including a 15% minimum landscape requirement, a 125' maximum structure height, and lighting, sign, traffic, and other requirements. Ordinance 4662 limits uses on the site to “those integral to the proposed Captain Michael King Smith Evergreen Aviation Educational Center and uses as described in the applicant's submitted land use application dated December 15, 1997.”

The Planned Development was amended in 2000 with adoption of Ordinance 4718 to rezone a portion of the property (not including the site of the proposed hotel) to a new “C-3 PD” zone. Ordinance 4718 imposed a condition specifying that changes to the adopted site plan would require a Major or Minor Planned Development Amendment, with Major amendments to be decided by the Planning Commission and minor amendments by the Planning Director. An amendment is deemed minor or major by the Planning Director.

In 2004, Ordinance 4810 amended the Planned Development to allow the construction of the campus theater, meeting space, additional display area, and associated parking adjacent to the existing Evergreen Aviation Museum.

In 2009, Ordinance 4915 amended the Planned Development to rezone a 30-acre portion of the campus (including the site of the hotel proposed via the current application) from County Exclusive Farm Use-80 (EF-80) to City C-3 PD, to accommodate the future construction of a waterpark and overnight lodge. Ordinance 4915 limits building heights to a maximum height of 125' and imposes specific landscaping, parking, and utility requirements for the affected area. Responses to the conditions of approval from this ordinance are provided later in this narrative. The property owner also received Development Review approval for the waterpark and hotel (then known as the lodge) in May 2009, but the hotel was never constructed.

The most recent major amendment to the Planned Development occurred in 2012 by Ordinance 4949, which added an Adventure Park and ancillary improvements on the campus master plan. Ordinance 4949 imposed additional stormwater and sanitary sewer requirements on the adventure park.

In 2023, the City approved a minor amendment to the Planned Development to authorize a reception hall associated with the Lodge, pursuant to applications PDA 4-23, TML 3-23, and L 35-23. Construction of this building is nearly complete.

Description of Proposed Development

The campus continues to evolve in response to opportunities to serve and meet needs of the community. In this proposal, the applicant is requesting approval to construct a new five-story hotel with 108 rooms to accommodate visitors who come from around the region to enjoy the many campus activities, attend a wedding or other event being hosted on-site at the Lodge, and/or generally visit McMinnville.

The area of work is approximately 214,000 SF (a limited portion of the overall Planned Development area) and the proposed hotel footprint is 25,500 SF. See Figure 3. A new drive loop with a Porte Cochere will be constructed north of the main entrance which will connect to the existing internal drives, and the area surrounding the hotel will be landscaped. The hotel site will also include amenities such as a pool and hot tub, a rooftop patio and bar, fitness areas, meeting rooms, wine rooms, exterior verandas with fire pits and seating, water features, and a bike and golf cart storage enclosure. A fire lane is proposed south of the hotel.

In addition to the proposed hotel, the project will include minor modifications to the existing parking area north of the proposed hotel. The proposed modifications include redeveloped landscape islands along the southern border of the parking area, the addition of ADA parking spaces (painting/stripping of existing standard spaces), and EV parking. No other changes to the parking area are proposed.

As requested by staff, a sidewalk is proposed to be added to the north side of NE Cumulus Avenue, matching and tying into the existing sidewalk.

The narrative below provides evidence, findings of fact, and recommended conclusions of law in support of the request.

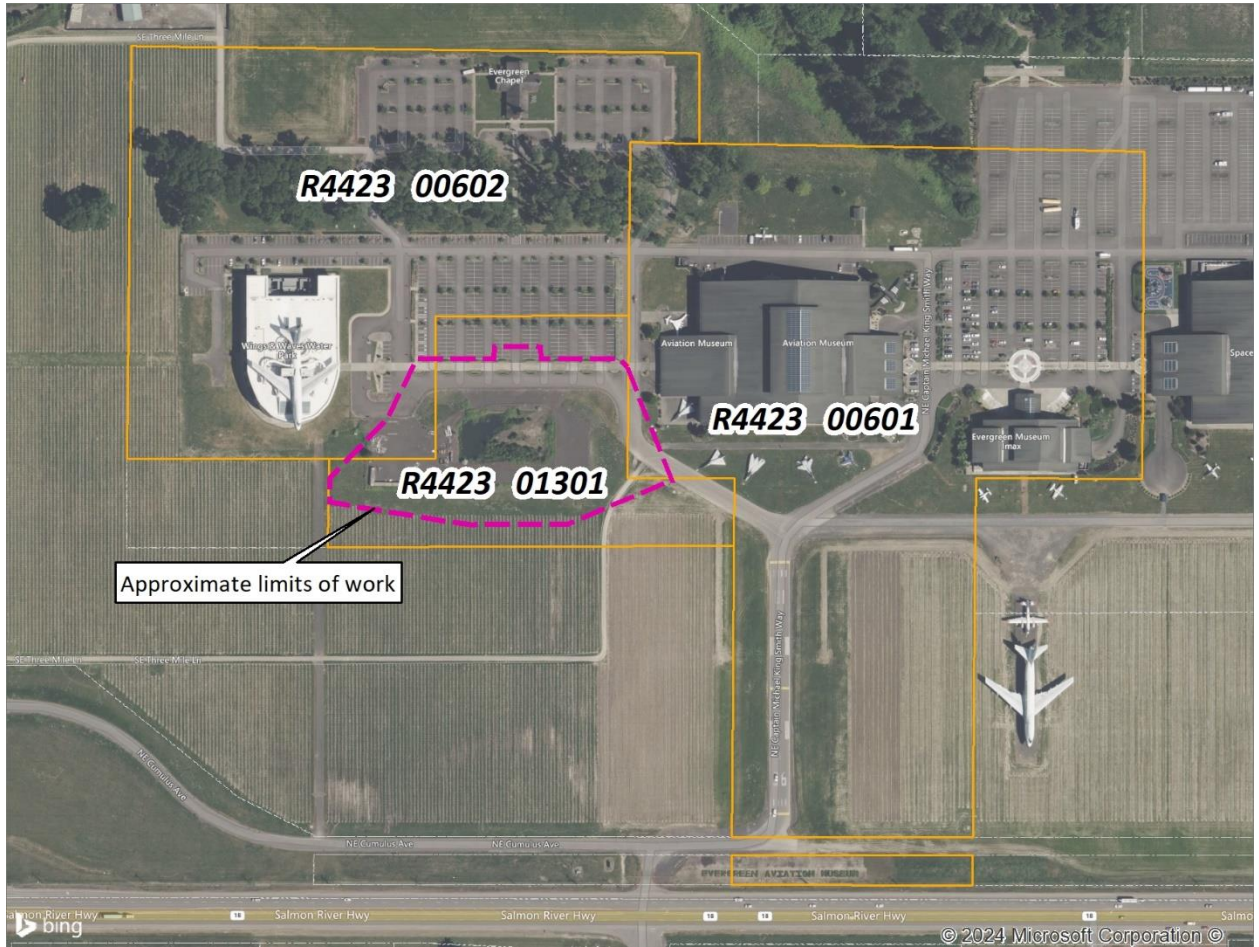


Figure 3: Hotel Site

III. NARRATIVE AND COMPLIANCE

The following discussion addresses the McMinnville Municipal Code (MMC), applicable plans, and prior Ordinance approval criteria and development standards that apply to the proposed Landscape Plan Review. In the sections below, applicable approval standards are shown in *italics*, while responses are shown in a standard typeface.

McMinnville Municipal Code Title 17 – Zoning

Chapter 17.56 Large Format Commercial Development

17.56.010 Purpose

While McMinnville recognizes the inevitable commercial growth taking place within the City and the ensuing change to the cityscape, it is committed to preserving the character and values of the City, thus continuing to make McMinnville an inviting place to live and work. This ordinance aims to diminish the negative aesthetic impacts of large-scale commercial development on the City.

Large commercial establishments typically locate at highly visible locations on major public streets. As a result of this, their design and layout determines much of the character and attractiveness of major streetscapes in the City. This ordinance is a response to concerns about the impact of large-format commercial establishments on McMinnville’s landscape. To date, much of the built commercial environment in McMinnville is largely defined by typical small-town characteristics: architectural variety, pedestrian scale and accessibility, substantial façade articulation, extensive glazing, and landscaping. The goals and standards of this chapter are intended to encourage large-scale commercial development that reflects McMinnville’s traditional design elements.

Specifically, the goals of this ordinance are to:

- A. Establish standards which will ensure that large-scale commercial development in McMinnville is compatible with surrounding commercial and residential development.*
- B. Permit commercial development which is visually appealing with regard to site and building design.*
- C. Encourage large-scale commercial development to use energy-efficient building and layout designs.*
- D. Create a pedestrian-friendly environment within large-scale commercial developments.*
- E. Achieve reasonably sized parking areas enhanced with substantial landscaping and parking lot trees.*

Response: The proposed hotel location is set back over 700' from the nearest public street (NE Cumulus Avenue); however, the hotel will be visible from Three Mile Lane/Oregon Highway 18, which is immediately south of NE Cumulus Avenue. The proposed hotel design reflects the site’s character and aviation theme as well as the City of McMinnville goals through the use of architectural variety, pedestrian scale development, façade articulation, glazing, and landscaping as shown on Exhibit 3. The building has been designed with energy efficiency in mind through the use of energy efficient windows and doors, cool-roof technology, solar-ready roof design, and high efficiency water heating. The proposed development also considers pedestrian connectivity and pedestrian amenities with the addition of walkways, canopies for weather protection, trees and landscaping, and lighting. Pedestrian pathways are available through the campus to allow patrons to circulate among buildings, and no additional parking is proposed as part of this application as the campus has sufficient parking. The purpose of this section is met.

17.56.050 Development Standards

Large-dimensional, plain, building facades are typically perceived as architecturally monotonous and do not reflect the existing or desired character of the McMinnville community. Toward reducing the visual scale of such buildings, McMinnville supports architectural designs that relate to both the pedestrian as well as to those traveling within adjacent rights-of-way.

To implement that vision, McMinnville requires that large commercial structures, as defined in this chapter, provide architectural features that “break up” or articulate the building’s horizontal plane, and that provide visual interest. Examples of elements supportive to this design include, but are not limited to, the use of vertical columns, gables, a variety of compatible and complementary building materials, the provision of openings in the building façade, and landscaping, both around the perimeter and throughout the site.

This vision for development is addressed through the following four sections of this chapter identified as: Building facades; roof features; site design; and energy efficiency.

- A. *Building Facades. Buildings shall have architectural features and patterns that provide visual interest relating to both the pedestrian as well as to those traveling within adjacent rights-of-way. The following elements shall be integral parts of the building fabric, and not superficially applied trim, graphics, or paint.*

- 3. *Loading Facilities. To aid in mitigating negative visual impacts commonly associated with off-street loading facilities, such facilities shall be visually screened by either a wall designed to architecturally complement the building exterior, an evergreen vegetative screen, or a combination of these two options. Solid waste and recycling enclosures shall be designed as required by Chapter 17.61 (Solid Waste and Recycling Enclosure Plan) of the McMinnville Zoning Ordinance.*

Response: The hotel loading area and trash/recycling enclosure are located on the west side of the hotel behind a landscaping area that includes perimeter plantings (shown in L-Series sheets/landscape plans of Exhibit 3) and the trash/recycling is also within an enclosure that has been designed to complement the building exterior. This standard is met.

- C. *Site Design.*
- 1. *Buffering. Where a property containing a large commercial structure(s) abuts land zoned for residential use, and no public street separates the residential-zoned land from the commercially zoned property, the proposed use shall provide screening in the form of sight-obscuring, evergreen plantings, shade trees, fences, walls, or combinations of plantings and screens. Where plant material is used, emphasis shall be placed on achieving an effective year-round vegetative screen as approved by the Landscape Review Committee. Chain-link fencing shall not be permitted.*

Response: No residential zones abut the subject property. This standard does not apply.

- 2. *Pedestrian Walkways.*
- a. *Continuous 10-foot-wide pedestrian walkways shall be provided along the full length of any building facade featuring a customer entrance, and along any other building facade abutting customer parking areas for the distance that the parking lot abuts the building.*

Response: As shown in the overall site plan on Sheet L200, a 10' walkway is proposed along the full length of the building façade that features the customer entrance which is also the façade that abuts the parking area. This standard is met.

- b. *Continuous 10-foot-wide pedestrian walkways may be allowed to be separated from the building façade with planting beds for foundation landscaping except where features such as covered entrances, awnings or canopies are part of the building façade, wherein the walkway must abut the building façade. Such walkways shall include weather-protection features, such as awnings, within 30 feet of all customer entrances and connecting to the entrance(s).*

Response: As noted on Sheet L101 of Exhibit 3, a planting band is proposed between the hotel and its 10' pedestrian walkway in those sections of the façade that do not contain the primary entrance. Weather protection is proposed over the main entrance and covers all paved areas adjacent to that entrance within 30', as shown on Sheet L200 of Exhibit 3. This standard is met.

- c. *Continuous six-foot-wide pedestrian walkways shall be provided from the sidewalk along the adjacent public or private street(s) to the principal customer entrance(s) of all large commercial structures. These pedestrian walkways shall feature abutting landscaped areas of no less than five feet in width for no less than 50 percent of the length from the building to the adjacent street.*

Response: As shown on Sheet L200 of Exhibit 3, a continuous 6' wide walkway is proposed from the adjacent private street to the principal customer entrance. The walkway has abutting landscaped area of more than 5' in width along the entire length of the building (see Sheet L101 of Exhibit 3). This standard is met.

- d. *Pedestrian walkways shall be distinguished from driving surfaces through use of durable, low maintenance surface materials such as pavers, bricks, or scored or dyed concrete.*

Response: All pedestrian walkways are proposed to be constructed of concrete, as shown on the enclosed site plan and materials plan (Sheet L201 of Exhibit 3). No pedestrian walkways will be constructed of asphalt. This standard is met.

- e. *Walkways within a site with multiple structures shall be located and aligned to directly and continuously connect all commercial buildings, and shall not be located and aligned solely based on the outline of a parking lot configuration. Walkways within parking lots shall be raised or enhanced with a paved surface not less than six (6) feet in width. Drive aisles leading to main entrances shall have walkways on each side of the drive aisle.*

Response: The proposed hotel development includes new walkways to directly connect all to nearby buildings as shown on Sheet L200 of Exhibit 3. The proposed new walkways will be raised (surrounding the new hotel) or enhanced with a paved surface 18' wide. Drive aisles within the area of work are proposed to have walkways on either side. Existing walkways around the parking lot will remain in their present configuration. This standard is met.

- f. *Where it is necessary for the primary pedestrian access to cross drive aisles or other internal roadways, the pedestrian crossing shall emphasize and place priority on pedestrian access and safety. The material and layout of the pedestrian access shall be continuous as it crosses the driveway, with a break in continuity of*

the driveway paving and not in the pedestrian access way. The pedestrian crossings must be well-marked using pavement treatments, signs, striping, signals, lighting, traffic calming techniques, median refuge areas, or other design elements as may be approved.

Response: Where proposed walkways cross drive aisles or internal roadway, the walkways are proposed to be constructed of walkway pavers or concrete (see Sheet L201 of Exhibit 3), creating a continuous pedestrian corridor that interrupts the drive aisle paving. New landscape islands are proposed on either side of the pedestrian walkway along the southern border of the parking area which will provide added protection for pedestrians. The islands will include new 8' light poles (see lighting plan on Sheet L202 of Exhibit 3). This standard is met.

3. *Parking. Parking spaces shall be provided at no more than 120 percent of the minimum required by Chapter 17.60 (Off-Street Parking and Loading). Additionally, all parking areas shall be designed in a manner that is attractive, easy to maintain, and minimizes the visual impact of off-street parking. Bicycle parking accommodations shall be provided as required by Chapter 17.60.140 (Off-Street Parking and Loading) of the McMinnville Zoning Ordinance.*

Response: The parking area is internal to the site and located behind the proposed hotel so there is minimal visual impact from the street. This proposal also includes visual improvements to the parking lot including improved landscape planters which will add to the attractive design of the parking area.

Per MMC 17.60.140, no bicycle parking is required for the hotel.

This standard is met.

4. *Parking Lot Landscaping.*
 - a. *All parking facilities shall include landscaping to equal not less than ten percent (10%) of the gross site area supporting the proposed commercial development; exclusive of building footprint(s).*

Response: The proposed landscape plan on Sheet L200 of Exhibit 3 includes tabulations for area of disturbance, gross planting area, and planting area percentage for the site and the parking area. Within the 214,000 SF Area of Disturbance, the proposed planting area is 107,252 SF or 50%. The proposed area of disturbance within the parking area is 21,858 SF with 3,068 SF of planting area or 14%. This standard is met.

- b. *Landscaped peninsulas and islands shall be evenly distributed throughout all parking areas, and separated by no more than 60 feet, one from another. Such landscaped areas shall be provided with raised curbs, be a minimum of five feet in width, and shall each contain at least one deciduous tree. To achieve the maximum canopy coverage, all trees shall be non-columnar in form or as may be approved by the Landscape Review Committee.*

Response: The proposed new landscape islands along the southern border of the parking area are distributed evenly and separated by less than 60'. The landscape areas are within raised curbs and are at least 8' wide. Each proposed landscape island has two deciduous trees including Wildfire Black Tupelo and Silverleaf Oak species. Other existing landscape islands around the parking lot will remain in their present configuration. This standard is met.

5. *Dark Skies Lighting. Exterior lighting often creates a substantial amount of unintended sky-directed glare (sky glow). “Dark skies” lighting aims to protect the night sky from light pollution by use of partially and fully shielded lighting, and by more careful selection of lighting options for the application. These efforts help to ensure that the majority of the light reaches its intended target and reduces both vertical and lateral glare. Additionally, as energy prices increase, the city encourages the use of more efficient lighting.*
- a. *Standard: Lighting of parking and landscaped areas shall be directed either into or on the site and away from property lines. Building accent lighting shall be directed and/ or shielded to place light on the intended target, and not result in skyward glare.*

Response: All proposed site lighting is intended to either be directed downwards (in the case of pole lights) or into and on the site. No new lighting is proposed near exterior property lines. Where building or landscape lighting is used, it will be low power to minimize potential for light pollution. In summary, the proposed lighting will not cast any significant glare into the night sky or onto other properties.

As shown in the Lighting Plan on Sheet L202 of Exhibit 3, the following lighting types are proposed:

- Bollard Light: 30" HT, 3000K, BOD Lumiere 1900-OA
- Pole Light: 8' HT, 3000K, BOD Bega 84 747 K3
- Planter Embedded Light
- Pool Embedded Linear Light
- Wall Embedded Linear Light
- Porte Cochere Lighting
- Wall Mount Light

This standard is met.

Chapter 17.57 Landscaping

17.57.010 Purpose and Intent

The purpose and intent of this Chapter is to encourage and, where appropriate, require the use of landscape elements, particularly plant materials, in proposed developments in an organized and harmonious manner that will enhance, protect, and promote the economic, ecological and aesthetic environment of McMinnville. Landscaping is considered by McMinnville to be an integral part of a complete comprehensive development plan. The City recognizes the value of landscaping in achieving the following objectives:

- A. *Provide guidelines and standards that will:*
1. *Reduce soil erosion and the volume and rate of discharge of storm water runoff.*
 2. *Aid in energy conservation by shading structures from energy losses caused by weather and wind.*
 3. *Mitigate the loss of natural resources.*
 4. *Provide parking lot landscaping to reduce the harmful effects of heat, noise and glare associated with motor vehicle use.*
 5. *Create safe, attractively landscaped areas adjacent to public streets.*
 6. *Require the planting of street trees along the City’s rights-of-way.*
 7. *Provide visual screens and buffers that mitigate the impact of conflicting land uses to preserve the appearance, character and value of existing neighborhoods.*
 8. *Provide shade, and seasonal color.*

9. *Reduce glare, noise and heat.*
- B. *Promote compatibility between land uses by reducing the visual noise and lighting impacts of specific developments on users of the site and abutting properties.*
- C. *Unify development and enhance and define public and private places.*
- D. *Preserve existing mature trees.*
- E. *Enhance the urban forest and tree canopy.*
- F. *Encourage the use of plants native to the Willamette Valley to the maximum extent feasible, in order to reduce watering requirements and agricultural chemical applications, and to provide a sense of regional identity with plant communities unique to the area.*
- G. *Establish and enhance a pleasant visual character and structure to the built environment that is sensitive to safety and aesthetic issues.*
- H. *Support McMinnville as a community that cares about its appearance.*

It is further recognized that landscaping increases property values, attracts potential residents and businesses to McMinnville, and creates safer, more pleasant living and working environments for all residents and visitors to the city.

The guidelines and standards contained in this chapter serve to help McMinnville realize the objectives noted above. These guidelines and standards are intended as minimum standards for landscape treatment. Owners and developers are encouraged to exceed these in seeking more creative solutions both for the enhanced value of their land and for the collective health and enjoyment of all citizens of McMinnville. The landscaping provisions in Section 17.57.070 are in addition to all other provisions of the zoning ordinance which relate to property boundaries, dimensions, setback, vehicle access points, parking provisions and traffic patterns. The landscaping objectives shall also seek to accomplish the purposes set forth in Section 17.03.020.

Response: The following responses describe how the proposed landscape plans advance the purpose and intent of the MMC landscape requirements. The landscape plans shown in the L-Series sheets in Exhibit 3 show how the landscape plans enhance, protect, and promote the economic, ecological, and aesthetic environment through the use of shade and wind protection, visual screens and buffers, increased tree canopy, and reduction in soil erosion and stormwater runoff. The proposed landscape is designed to soften the appearance of structures, increase visual appeal, create natural weather protection, break up different areas of use, and add to the natural scenery and views.

17.57.030 Zones where required

Landscaping shall be required in the following zones except as otherwise noted:

- D. *C-3 (General Commercial zone);*

Response: The applicant has submitted plans including proposed landscaping within the proposed area of the new hotel and associated parking area modifications. See Exhibit 3.

17.57.050 Plans – Submittal and review – Approval – Time limit for completion

- A. *At the time the applicant applies for a building permit, they shall submit, for the Landscape Review Committee, two copies of a landscaping and plot plan. If the plot plan and landscaping plan are separate documents, two copies of each shall be submitted. These may be submitted to the building department to be forwarded to the planning department.*
 1. *No building permit shall be issued until the landscaping plan has been approved.*
 2. *The landscaping plan may be used as the plot plan required for a building permit, provided all information required for a building permit is provided;*

Response: The applicant has included landscape plan drawings as the L-Series sheets in the submitted development plan set (Exhibit 3). This requirement is met.

- B. *Landscaping review shall occur within 30 days of submission of the plans. The applicant shall be notified of the time and place of the review and is encouraged to be present, although their presence shall not be necessary for action to be taken on the plans. A failure to review within 30 days shall be considered as approval of the plan;*

Response: This provision contains procedural direction for the review of submitted plans. The landscaping plan (L-Series sheets of the plan set in Exhibit 3) is being included with the whole development plan for efficiency and to ensure a coherent approach to design and permitting.

- C. *The landscaping plan shall be approved if it is found to be compatible with the purpose, intent, and requirements of this chapter. Approval of the landscaping plan shall be indicated upon the plot plans. Any modifications shall be specified on the plans and agreed to in writing by the applicant prior to the issuance of a building permit. One copy of said approved plan shall be retained by the planning department and included within the permanent file;*

Response: The submitted L-Series sheets in the plan set (Exhibit 3) identify landscape planting areas and plant specifications consistent with City requirements. The applicant acknowledges that any changes will be reflected in plans submitted for construction permitting, consistent with this requirement.

- D. *Occupancy permits may be issued prior to the complete installation of all required landscaping if security equal to 120 percent of the cost of landscaping, as determined by the planning director is filed with the city assuring such installation within a time specified by the planning director, but not to exceed six months after occupancy. The applicant shall provide the estimates of landscaping materials and installation to the satisfaction of the planning director prior to approval of the security. "Security" may consist of a faithful performance bond payable to the city, cash, certified check, time certificate of deposit, or assignment of a savings account, and the form shall meet with the approval of the city Attorney. If the installation of the landscaping is not completed within the period specified by the planning director, or within an extension of time authorized by the Landscape Review Committee, the security may be used by the city to complete the installation. Upon completion of the installation, inspection, and approval, any portion of the remaining security deposited with the city shall be returned. The final landscape inspection shall be made prior to any security being returned. Any portions of the plan not installed, not installed properly, or not properly maintained shall cause the final inspection and/or approval to be postponed until the project is completed or cause the security to be used by the city;*

Response: This provision contains procedural direction for the implementation of construction plans following permit issuance. The applicant acknowledges that a financial surety may be required if temporary building occupancy is requested prior to completion of all site landscaping requirements (such as deferral of plantings to the appropriate planting season to promote survival/establishment of plant specimens), consistent with this provision.

- E. *All completed landscape projects shall be inspected by the planning director or their designee. Said projects shall be found to be in compliance with the approved plans prior to the issuance of an occupancy certificate for the structure, or prior to any security or portion thereof being refunded to the applicant. Minor changes in the landscape plan shall be allowed, as determined by the planning director or their designee, as long as they do not alter the character and aesthetics of the original plan.*

Response: This provision contains procedural direction for the implementation of construction plans following permit issuance. The applicant acknowledges that compliance confirmation is required prior to occupancy certificate or release of financial surety.

17.57.060 Plans – Information to be included

The following information shall be included in the plans submitted under MMC 17.57.050:

- A. Existing locations of trees over six inches in diameter, their variety (common or botanical name) and indication of whether they are to remain or to be removed from the site. In the event a large number of trees are to be retained and if no construction or construction access is required through or within the drip line of the trees, the general area with the number of trees involved may be given in lieu of listing and locating each tree;
- B. The location in which new plantings will be made and the variety (common or botanical name), and size of all new trees, shrubs, groundcover and lawns;
- C. The percentage of the gross area to be landscaped;
- D. Any equipment proposed for recreation uses;
- E. All existing and proposed site features including walkways, graveled areas, patios, courts, fences, decks, foundations, potted trees, raised planters, or other open spaces so that the review committee may be fully knowledgeable of the project when discussing the application;
- F. The location of watering facilities or irrigation systems, or construction notes on the landscape plan detailing the type of watering facilities or irrigation systems that will be installed;
- G. All of the information on the plot plan for the building permit.

Response: The applicant’s proposed landscape plans can be found in the L-Series sheets in Exhibit 3. The plans have been prepared to meet these submittal requirements and provide substantial evidence of compliance with Code provisions. This requirement is met.

17.57.070 Area Determination – Planning factors

- A. *Landscaping shall be accomplished within the following ranges:*
 - 2. *Commercial, at least seven percent of the gross area. This may be reduced to not less than five percent upon approval of the review committee. (The gross area to be landscaped may only be reduced by the review committee if there is a showing by the applicant that the intent and purpose of this chapter and subsection B of this section are met.)*

Response: The proposed landscape plan Sheet L200, includes tabulations for area of disturbance, gross planting area, and planting area percentage for the site and the parking area. Within the 214,000 SF Area of Disturbance, the proposed planting area is 107,242 SF or 50%. The proposed area of disturbance within the parking area is 21,858 SF with 3,068 SF of planting area or 14%. Therefore, this well exceeds the minimum requirement. This standard is met.

- 4. *A parking lot or parking structure built in any zone providing parking spaces as required by the zoning ordinance shall be landscaped in accordance with the commercial requirements set forth above in subsection (A)(2) of this section.*

Response: Within the area of disturbance (to construct the hotel and modify a small portion of the adjacent parking), the proposed development plan (Exhibit 3) proposes new landscape planters with plantings along the southern perimeter of the parking area and walkway. As discussed in the response above in subsection (A)(2), the proposed landscaping exceeds standards. This standard is met.

- 5. *Any addition to or expansion of an existing structure or parking lot which results in additional lot coverage shall be landscaped as follows: Divide the amount of additional lot coverage (building area, not including basement or upper floors, plus required parking and loading zones) by the amount of the existing lot coverage (building area, not including basement or upper floors, plus required parking and loading zones), multiply by the percentage of landscaping required in the zone, multiply by the total lot area of both the original development and the addition; however, the total amount of the landscaping shall not exceed the requirements set forth in this subsection.*

- a. *ALC (additional lot coverage) X % of landscaping required X Total lot area ELC (existing lot coverage)*
- b. *Landscaping to be installed on an addition or expansion may be spread over the entire site (original and addition or expansion projects) with the approval of the review committee;*

Response: The proposed construction of the hotel is a new building rather than an addition to or expansion of an existing structure, and the minor parking area reconfiguration does not expand the existing parking area impervious surface. For these reasons, the proposed project is not subject to this provision.

B. *The following factors shall be considered by the applicant when planning the landscaping in order to accomplish the purpose set out in MMC 17.57.010. The Landscape Review Committee shall have the authority to deny an application for failure to comply with any or all of these conditions:*

- 1. *Compatibility with the proposed project and the surrounding and abutting properties and the uses occurring thereon.*

Response: The proposed development site is located far from any public right-of-way or boundary of another owner's property, so there is low potential for any significant visual impact of the proposed development. The proposed landscape plans have been designed to enhance the natural environment and visual appeal of the affected area (area of disturbance), increase tree canopy coverage, provide visual screens and buffers, increase the existing parking lot landscaping, aid in energy conservation through shade and wind reduction, and reduce soil erosion and discharge of stormwater runoff thereby meeting the intent of the code as stated in MMC 17.57.010. See the L-Series sheets in Exhibit 3. This standard is met.

- 2. *Screening the proposed use by sight-obscuring, evergreen plantings, shade trees, fences, or combinations of plantings and screens.*

Response: Full screening of the proposed hotel is not a design objective because it is preferable for the building to be easily seen to enable visitors to locate it within the Evergreen campus. As shown on Sheet L101 of Exhibit 3, the proposed landscaping includes screening of unsightly areas such as the loading and garbage area through the use of enclosures that complement the proposed building. The hotel itself is surrounded by decorative and environmentally enhancing plantings such as trees, shrubs, and ground cover. The building design and landscape plan work together to create a visually appealing area that complements the rest of the uses on the overall Evergreen Campus site and blends in with the surrounding natural beauty. Screening of the parking areas to reduce headlight glare (as viewed from the public right-of-way on NE Cumulus Avenue and/or Three Mile Lane) will be achieved by the intervening hotel building located. This standard is met.

- 3. *The retention of existing trees and natural areas that may be incorporated in the development of the project. The existing grade should be preserved to the maximum practical degree. Existing trees shall be provided with a watering area equal to at least one-half the crown area.*

Response: The proposed hotel is located in an area which was previously excavated for hotel construction. The proposed parking area reconfiguration will have little impact on existing vegetation, natural areas, and grade as the area is currently made up of impervious surface. Existing landscape trees will be preserved in landscape islands. The proposed landscape design will greatly increase the amounts of trees, shrubs, and ground cover in the affected area. This standard is met.

- 4. *The development and use of islands and plantings therein to break up parking areas.*

Response: New parking lot perimeter landscaping and tree planter islands are proposed along the southern border of the existing parking area consistent with applicable standards, as shown in the L-Series drawings in Exhibit 3. This standard is met.

5. *The use of suitable street trees in the development of new subdivisions, shopping centers and like developments. Certain trees shall be prohibited in parking areas: poplar, willow, fruit, nut, birch, conifer, and ailanthus.*

Response: The applicant is not proposing a subdivision or a shopping center, so no street trees are proposed. Proposed on-site tree species can be found on Sheet L-100 of Exhibit 3. None of the prohibited tree species is proposed near the parking area. This standard is met.

6. *Suitable watering facilities or irrigation systems must be included in or near all planted areas;*

Response: The landscape plans include irrigation information on Sheet L300 of Exhibit 3. As shown, all proposed landscape area will be properly irrigated to ensure survival and growth, to be a design-build item for the contractor at time of development. This standard is met.

- C. *All landscaping approved through the Landscape Review Committee shall be continually maintained, including necessary watering, weeding, pruning, mowing, and replacement. Minor changes in the landscape plan, such as like-for-like replacement of plants, shall be allowed, as long as they do not alter the character and aesthetics of the original plan. It shall be the planning director's decision as to what constitutes a major or minor change. Major changes to the landscape plan shall be reviewed and approved by the Landscape Review Committee.*

Response: The irrigation plan included in Exhibit 3 (Sheet L300) notes that all planting areas are to be watered by a fully automatic underground irrigation system. The applicant acknowledges responsibility to perform landscaping maintenance including weeding, pruning, mowing, and replacing dead specimens on an ongoing basis. This standard is met.

Chapter 17.58 Trees

17.58.020 Applicability

The provisions of this ordinance shall apply to:

- A. *Individual significant or historic trees as defined in this ordinance.*
- B. *All trees with trunks located completely or partially within any public area or right-of-way;*
- C. *All trees with trunks located completely within any private property which directly affect public infrastructure including but not limited to sewers, water mains, sidewalks, streets, public property, or clear vision distances at street intersections;*
- D. *All trees on developable land and subject to or undergoing development review such as site plan review, tentative subdivision review, or partition review;*

Response: Within the area of disturbance, there are no existing landscape trees (see Sheet C1.0 of Exhibit 3). New parking lot landscape islands with proposed new trees are proposed along the southern border of the parking area (see Sheet L200 of Exhibit 3). There are no other trees within the area of disturbance.

17.58.040 Tree Removal/Replacement

- A. *The removal or major pruning of a tree, if applicable under MMC 17.58.020, shall require city approval, unless specifically designated as exempt by this ordinance. Persons wishing to remove or prune such trees shall file an application for a permit with the McMinnville planning department. The applicant shall include information describing the location, type, and size of the subject tree or trees, and the reasons for the desired action, and the costs associated with tree removal, replacement, and repair of any other public infrastructure impacted by the tree removal*

or major pruning. Requests for tree removal or pruning of trees outside of the Downtown Tree Zone shall be forwarded to the McMinnville Landscape Review Committee for a decision within 30 days of submittal. Requests for tree removal within the Downtown Tree Zone shall be submitted to the McMinnville planning department. Such requests shall be acted upon as soon as practicable, with consideration given to public safety, value of the tree to the public, and work schedules. The planning director or their designee should attempt to make decisions on such requests within five calendar days of submittal. The Landscape Review Committee or planning director, as appropriate, may approve, approve with conditions, or deny the request based on the criteria stated in MMC 17.58.050. A decision of the committee or director may be appealed to the planning commission if written notice of the appeal is filed with the planning department within 15 days of the committee's or director's decision. A decision made by the planning director in response to a request to remove an unsafe tree, or a tree causing repeated and excessive damage to sidewalks or other public or private improvements or structures shall be final, unless appealed by the applicant; no other party shall have standing to appeal.

- B. Trees subject to this ordinance shall be removed or pruned following accepted pruning standards adopted by the city. The planning director, after consultation with appropriate city staff and/or a certified arborist, shall direct removal of downtown trees that are identified in a current Downtown Tree Zone inventory assessment as unhealthy, dangerous to the public, inappropriate for the downtown area, or otherwise in need of removal.
- C. The applicant shall be responsible for all costs associated with the tree removal or pruning, or as otherwise required by this ordinance, and shall ensure that all work is done in a manner which ensures safety to individuals and public and private property.
- D. Approval of a request to remove a tree may be conditioned upon replacement of the tree with another tree approved by the city, or a requirement to pay to the city an amount sufficient to fund the planting and establishment by the city of a tree, or trees, of similar value. The value of the existing tree to be removed shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers. Every attempt should be made to plant replacement trees in the same general location as the tree being removed. In the event that a replacement tree cannot be planted in the same general location, a condition of approval may be required to allow for the replacement tree to be planted in another location in the city as part of the city's annual tree planting program.
- E. The applicant is responsible for grinding stumps and surface roots at least six inches below grade. At least a two inch thick layer of topsoil shall be placed over the remaining stump and surface roots. The area shall be crowned at least two inches above the surrounding grade to allow for settling and shall be raked smooth. The applicant shall restore any damaged turf areas and grades due to vehicular or mechanical operations. The area shall be re-seeded.
- F. The applicant shall complete the tree removal, and tree replacement if required, within six months of receiving notification of the Landscape Review Committee's decision. The Landscape Review Committee may allow for additional time to complete the tree replacement to allow for planting in favorable seasons and to promote tree survivability.
- G. Other conditions may be attached to the permit approval by the McMinnville Landscape Review Committee as deemed necessary.
- H. The planting of street trees shall be subject to the design drawings and specifications developed by the city in May 2014. Specific design drawings and specifications have been developed for trees outside the Downtown Tree Zone. Such design specifications may be periodically updated by the city to include specifications such as tree root barriers, watering tubes or structures, tree grates, and removable pavers, and shall graphically describe the proper method for planting trees to minimize the potential for sidewalk / tree root conflict.

Response: There are no trees proposed for removal as part of this application for development. This section does not apply.

17.58.075 Protection of Trees

- A. *It shall be unlawful for any person to remove, destroy, break, or injure any street tree or public tree. Individuals convicted of removing or destroying a tree without city approval shall be subject to paying to the city an amount sufficient to fund the planting and establishment of a tree, or trees, of similar value. The value of the removed or destroyed tree shall be calculated using the methods set forth in the edition then in effect of the "Guide for Plant Appraisal" published by the International Society of Arboriculture Council of Tree Landscape Appraisers.*
- B. *It shall be unlawful for any person to attach or keep attached to any street or public tree or to the guard or stake intended for the protection of such tree, any rope, wire, chain, sign, or other device, except as a support for such tree.*
- C. *During the construction, repair, alteration or removal of any building or structure it shall be unlawful for any owner or contractor to leave any street tree or public tree in the vicinity of such building or structure without a good and sufficient guard or protectors as shall prevent injury to such tree arising out of or by reason of such construction or removal.*
- D. *Excavations shall not occur within the drip line of any street tree or public tree without approval of the city, applying criteria developed by the Landscape Review Committee. Utility pole installations are exempted from these requirements. During such excavation or construction, any such person shall guard any street tree or public tree within the drip line, or as may be required by the Landscape Review Committee.*
- E. *All building material or other debris shall be kept outside of the drip line of any street tree or public tree.*

Response: No street trees or public trees are located on or near the site, and there are no existing trees within the area of disturbance (see Sheet C1.0 of Exhibit 3), so no tree protection measures are needed. This section does not apply.

17.58.080 Street Tree Planting – When Required

All new multi-family development, commercial or industrial development, subdivisions, partitions, or parking lots fronting on a public roadway which has a designated curb-side planting strip or planting island shall be required to plant street trees in accordance with the standards listed in MMC 17.58.090.

Response: The proposed development is located internal to the large Evergreen campus site, over 700' from the NE Cumulus Avenue public street frontage area. The proposal does include a new sidewalk along NE Cumulus Avenue. The applicant understands from City staff that the City approved installation of smaller-scale vegetation to be planted in lieu of street trees in order to preserve views of the adjoining vineyards and the architectural vista of the prominent campus buildings. Consistent with this prior interpretation, no street trees are proposed with this application. This section does not apply.

Chapter 17.72 Applications and Review Process

17.72.070 Concurrent applications

When a proposal involves more than one application for the same property, the applicant may submit concurrent applications which shall be processed simultaneously. In so doing, the applications shall be subject to the hearing procedure that affords the most opportunity for public hearing and notice.

Response: The applicant requests that the Landscape Plan Review application be reviewed independently. Separately, the applicant has requested review in a consolidated procedure for applications for Large Format Commercial Development Review and Three Mile Lane Development Review.

McMinnville Comprehensive Plan

In the section below, the Applicant has identified certain Comprehensive Plan Goals and Policies that are relevant to this proposal and has provided responses to indicate how the request is aligned with them.

Chapter IX – Urbanization

GOAL IX 2:
TO ESTABLISH A LAND USE PLANNING FRAMEWORK FOR APPLICATION OF THE GOALS, POLICIES, AND PROPOSALS OF THE McMINNVILLE COMPREHENSIVE PLAN

Policy 187.50 The McMinnville Great Neighborhood Principles are provided below. Each Great Neighborhood Principle is identified by number below (numbers 1 – 13), and is followed by more specific direction on how to achieve each individual principle.

- 1. *Natural Feature Preservation. Great Neighborhoods are sensitive to the natural conditions and features of the land.*
 - a. *Neighborhoods shall be designed to preserve significant natural features including, but not limited to, watercourses, sensitive lands, steep slopes, wetlands, wooded areas, and landmark trees.*

Response: As noted elsewhere within this narrative and depicted in Exhibit 3, the proposed hotel will not impact any significant natural features and will not result in tree removal. This principle is satisfied.

- 2. *Scenic Views. Great Neighborhoods preserve scenic views in areas that everyone can access.*
 - a. *Public and private open spaces and streets shall be located and oriented to capture and preserve scenic views, including, but not limited to, views of significant natural features, landscapes, vistas, skylines, and other important features.*

Response: Due to its location within an existing campus with multiple buildings, the proposed development will not obstruct existing scenic views and will enhance the visual appeal of the area through attractive building design that blends in with the natural environment and the surrounding aviation theme. The hotel will serve as a backdrop to the existing views of the vineyards north of Three Mile Lane and NE Cumulus Avenue. The proposed building will have a height of 64'-6", which is below the 80-foot maximum for the C-3 zone and the 125' maximum for this campus. This principle is satisfied.

- 3. *Parks and Open Spaces. Great Neighborhoods have open and recreational spaces to walk, play, gather, and commune as a neighborhood.*
 - a. *Parks, trails, and open spaces shall be provided at a size and scale that is variable based on the size of the proposed development and the number of dwelling units.*
 - b. *Central parks and plazas shall be used to create public gathering spaces where appropriate.*
 - c. *Neighborhood and community parks shall be developed in appropriate locations consistent with the policies in the Parks Master Plan.*

Response: The City of McMinnville Parks, Recreation, and Open Space Master Plan does not identify any specific parks or open space on the proposed hotel site. This application does not include a proposal for a community park or trail. This principle does not apply.

4. *Pedestrian Friendly. Great Neighborhoods are pedestrian friendly for people of all ages and abilities.*
- a. *Neighborhoods shall include a pedestrian network that provides for a safe and enjoyable pedestrian experience, and that encourages walking for a variety of reasons including, but not limited to, health, transportation, recreation, and social interaction.*
 - b. *Pedestrian connections shall be provided to commercial areas, schools, community facilities, parks, trails, and open spaces, and shall also be provided between streets that are disconnected (such as cul-de-sacs or blocks with lengths greater than 400 feet).*

Response: Exhibit 3 illustrates that the site incorporates pedestrian friendly amenities including additional on-site walkways and a proposed sidewalk along NE Cumulus Avenue, connecting to the existing public sidewalk as requested by City staff. This principle is satisfied.

5. *Bike Friendly. Great Neighborhoods are bike friendly for people of all ages and abilities.*
- a. *Neighborhoods shall include a bike network that provides for a safe and enjoyable biking experience, and that encourages an increased use of bikes by people of all abilities for a variety of reasons, including, but not limited to, health, transportation, and recreation.*
 - b. *Bike connections shall be provided to commercial areas, schools, community facilities, parks, trails, and open spaces.*

Response: The campus abuts NE Cumulus Lane, which is a low volume road suitable for cyclist use. The proposed hotel will not generate traffic at a level that would impede continued cycling within the area. This principle is satisfied.

6. *Connected Streets. Great Neighborhoods have interconnected streets that provide safe travel route options, increased connectivity between places and destinations, and easy pedestrian and bike use.*
- a. *Streets shall be designed to function and connect with the surrounding built environment and the existing and future street network, and shall incorporate human scale elements including, but not limited to, Complete Streets features as defined in the Comprehensive Plan, grid street networks, neighborhood traffic management techniques, traffic calming, and safety enhancements.*
 - b. *Streets shall be designed to encourage more bicycle, pedestrian and transit mobility with a goal of less reliance on vehicular mobility.*

Response: No new streets are proposed or required as part of this development. As the hotel will be part of a master-planned campus, it will utilize the existing access point to NE Cumulus Avenue rather than constructing new driveways that could impede traffic flow on abutting streets. The applicant proposes a sidewalk along NE Cumulus Avenue, connecting to the existing public sidewalk as requested by City staff. This principle is satisfied.

7. *Accessibility. Great Neighborhoods are designed to be accessible and allow for ease of use for people of all ages and abilities.*
- a. *To the best extent possible all features within a neighborhood shall be designed to be accessible and feature elements and principles of Universal Design.*
 - b. *Design practices should strive for best practices and not minimum practices.*

Response: The proposed development includes new walkways surrounding the hotel and connecting to other on-campus attractions. All proposed new walkways are designed to be used by all ages and abilities. This principle is satisfied.

8. *Human Scale Design. Great Neighborhoods have buildings and spaces that are designed to be comfortable at a human scale and that foster human interaction within the built environment.*
- a. *The size, form, and proportionality of development is designed to function and be balanced with the existing built environment.*
 - b. *Buildings include design elements that promote inclusion and interaction with the right-of-way and public spaces, including, but not limited to, building orientation towards the street or a public space and placement of vehicle-oriented uses in less prominent locations.*
 - c. *Public spaces include design elements that promote comfortability and ease of use at a human scale, including, but not limited to, street trees, landscaping, lighted public areas, and principles of Crime Prevention through Environmental Design (CPTED).*

Response: As shown in Exhibit 3, building placement, architectural design, and site landscaping all foster human interaction with the site and surrounding areas. The proposed building is compatible with the scale of neighboring building on campus and oriented towards NE Cumulus Avenue and Three Mile Lane. The hotel will have a visible Porte Cochere to identify the main entrance and pedestrian amenities will allow people to comfortably walk to the entry. This principle is satisfied.

9. *Mix of Activities. Great Neighborhoods provide easy and convenient access to many of the destinations, activities, and local services that residents use on a daily basis.*
- a. *Neighborhood destinations including, but not limited to, neighborhood-serving commercial uses, schools, parks, and other community services, shall be provided in locations that are easily accessible to surrounding residential uses.*
 - b. *Neighborhood-serving commercial uses are integrated into the built environment at a scale that is appropriate with the surrounding area.*
 - c. *Neighborhoods are designed such that owning a vehicle can be optional.*

Response: The proposed development is for a hotel which is not proposing any residential use; however, the site contains many multiple tourist commercial uses and the hotel will complement the existing uses. This principle is satisfied.

10. *Urban-Rural Interface. Great Neighborhoods complement adjacent rural areas and transition between urban and rural uses.*
- a. *Buffers or transitions in the scale of uses, buildings, or lots shall be provided on urban lands adjacent to rural lands to ensure compatibility.*

Response: The proposed hotel will be an attractive visual addition to the view from Three Mile Lane with its emphasis on natural colors and materials and elegant design. The hotel will serve as a backdrop to the existing views of the vineyards north of Three Mile Lane and NE Cumulus Avenue. The hotel is also separated from the non-vineyard agricultural operations north of the campus. This principle is satisfied.

11. *Housing for Diverse Incomes and Generations. Great Neighborhoods provide housing opportunities for people and families with a wide range of incomes, and for people and families in all stages of life.*
- a. *A range of housing forms and types shall be provided and integrated into neighborhoods to provide for housing choice at different income levels and for different generations.*

Response: This application includes a request for a commercial building in a commercially zoned location. This principle is not applicable to the proposal.

12. *Housing Variety. Great Neighborhoods have a variety of building forms and architectural variety to avoid monoculture design.*
- a. *Neighborhoods shall have several different housing types.*
 - b. *Similar housing types, when immediately adjacent to one another, shall provide variety in building form and design.*

Response: This application includes a request for a commercial building in a commercially zoned location. This principle is not applicable to the proposal.

13. *Unique and Integrated Design Elements. Great Neighborhoods have unique features, designs, and focal points to create neighborhood character and identity. Neighborhoods shall be encouraged to have:*
- a. *Environmentally friendly construction techniques, green infrastructure systems, and energy efficiency incorporated into the built environment.*
 - b. *Opportunities for public art provided in private and public spaces.*
 - c. *Neighborhood elements and features including, but not limited to, signs, benches, park shelters, street lights, bike racks, banners, landscaping, paved surfaces, and fences, with a consistent and integrated design that are unique to and define the neighborhood.*

Response: The proposed hotel has been designed with energy efficiency in mind through the use of energy efficient windows and doors, cool-roof technology, solar-ready roof design, and high efficiency water heating. The campus architecture defines a common aviation theme to define a unique identity. This principle is satisfied.

Three Mile Lane Plans

Three Mile Lane Area Plan (2022)

Policy 1: Require future development to be consistent with the design elements of the Three Mile Lane Area Plan.

Response: The Urban Design Elements section of the Three Mile Lane Area Plan has the following applicable commentary:

Tourist Commercial

The Evergreen complex continues to draw visitors to McMinnville who support other local businesses in the Three Mile Lane area and beyond. The Area Plan foresees the continuation and intensification of tourism-related uses as allowed by existing zoning designations. East of Evergreen, land is currently zoned for commercial uses along the highway and has the possibility of hosting more tourism- and travel-related commercial uses in the vicinity of the Aviation & Space Museum and waterpark. The Area Plan envisions activities and uses related to visitors and the traveling public that could boost tourism and be mutually beneficial to existing attractions. A cluster of these uses in the northeast part of the study area could have a synergistic effect, strengthening McMinnville's and the region's reputation as a destination.

Key Urban Design Elements:

- *Connectivity to the Evergreen complex. An important design element of this visitor-oriented area is connectivity to existing Evergreen tourist uses. Providing a*

safe walking and biking connection parallel to OR 18 will help integrate future development with the Evergreen attractions, which will continue to attract significant amounts of visitors.

- *“Gateway” location. In addition, with a prominent location on the east entrance to McMinnville, this development opportunity area should be required to meet the City’s Great Neighborhood Principles with high-quality design.*

The Three Mile Lane Area Plan discusses encouraging tourism and travel-related uses in the vicinity of the Aviation & Space Museum and waterpark with uses relating to visitors and the travelling public that will boost tourism and benefit existing attractions. The proposed hotel will help to realize this Three Mile Lane Area Plan objective. The proposed hotel and accompanying development include additional pedestrian connections within the Evergreen campus and along NE Cumulus Avenue which connects the campus to OR 18. Furthermore, given the site’s prominent location and visibility, the proposed hotel has been designed with high-quality design in mind and will add to the scenic and attractive feel of the area. The additional trees, landscaping, and attractive materials and lighting of the building will be a great addition to a “gateway” area for the City of McMinnville, complementing the existing architecture of the surrounding campus.

Great Neighborhood Principles

McMinnville’s Great Neighborhood Principles, adopted in 2019, are elements of the City’s comprehensive plan that serve as the lens through which the City evaluates development proposals. The thirteen adopted principles are:

1. *Natural Feature Preservation*
2. *Scenic Views*
3. *Parks and Open Spaces*
4. *Pedestrian Friendly*
5. *Bike Friendly*
6. *Connected Streets*
7. *Accessibility*
8. *Human Scale Design*
9. *Mix of Activities*
10. *Urban-Rural Interface*
11. *Housing for Diverse Incomes and Generations*
12. *Housing Variety*
13. *Unique and Integrated Design Elements*

The applicant has provided response to these principles above in the discussion of Chapter IX of the McMinnville Comprehensive Plan.

As proposed, the proposal is consistent with Policy 1.

Policy 2: Public improvements and private development shall strive to protect tree groves and mature individual trees.

Response: The proposed development will not impact existing tree groves or mature trees; therefore, the proposal is consistent with this policy.

Policy 3: Riparian corridors and adjacent native landscape shall be protected.

Response: The proposed development will not impact any riparian corridors or adjacent native landscape. The proposal is consistent with this policy.

Policy 4: The built environment will be designed to provide and protect views to rolling hills and volcanoes and to enhance visual and physical access to the North Yamhill River. New streets and open spaces will be oriented to capture views.

Response: Due to its location within an existing campus with multiple buildings, the proposed development will not obstruct views of rolling hills and volcanoes and will enhance the visual appeal of the area through attractive building design that blends in with the natural environment and the surrounding aviation theme. The proposal is consistent with this policy.

Policy 5: Enhancing connections to existing trails and open space, such as connections into Joe Dancer Park and McBee Park, and creating a public greenway along South Yamhill River with trails and connections to the Three Mile Lane Area is a priority.

Response: While the proposed hotel will not provide new connections to offsite publicly-owned trails or open space, the proposed on-site pedestrian improvements will improve connectivity within the campus itself. The proposed hotel and associated site enhancements do not contradict this policy.

Policy 6: New gathering spaces will be designed to incorporate natural areas and views.

Response: The proposed hotel design includes exterior verandas which will have outdoor seating, fire pits, water features, and landscape elements. These areas have been oriented toward surrounding views. There will also be a rooftop bar with large floor to ceiling windows and an outdoor seating area. These areas will be open to the public and have been designed to present the surrounding area views to patrons. The proposal is consistent with this policy.

Policy 7: Require native landscape plantings with seasonal variation and tree plantings that include shade streets with mature tree canopy.

Response: As shown in landscape plans in Exhibit 3, the proposed plantings include seasonal variation, shade trees with mature canopy, and multiple native species including *mahonia aquifolium* (Oregon grape), *fragaria vesca* (woodland strawberry), *epimedium grandiflorum* ("dark beauty bishops hat"), *epilobium* (fuschia), *polystichum munitum* (western sword fern), *arctostaphylos x media* (manzanita), *fragaria chiloensis* (beach strawberry), *ribes sanguineum* (red flowering currant), *symphoricarpos albus* (common snowberry), *ceanothus thyrsoiflorus 'victoria'* (California wild lilac), *acer circinatum* (vine maple), *pseudotsuga menziesii* (douglas fir), and *quercus hypoleucoides* (silverleaf oak). The proposal is consistent with this policy.

Policy 8: A network of sidewalks and trails will connect people to key locations within the Three Mile Lane Area.

Response: The campus has existing sidewalks that connect the different attractions on site and connect to the RV Park to the east. While these are not public trails, the applicant understands that the sidewalks are informally used by area residents and visitors for exercise and sightseeing. The proposal also includes new walkways as part of the development of the hotel which will further enhance the pedestrian-friendly feel of the site. The proposal is consistent with this policy.

Policy 9: The Three Mile Lane Area will have safe bicycle routes for residents and touring cyclists.

Response: The campus abuts NE Cumulus Lane, which is a low volume road suitable for cyclist use. The proposed hotel will not generate traffic at a level that would impede continued cycling within the area. The proposal is consistent with this policy.

Policy 10: Proposed new streets will connect to the existing local street grid, consistent with the conceptual designs in the Three Mile Lane Area Plan and in compliance with Transportation System Plan standards.

Response: No new streets are proposed or required as part of this development. As the hotel will be part of a master-planned campus, it will utilize the existing access point to NE Cumulus Avenue rather than constructing new driveways that could impede traffic flow on abutting streets. The proposal is consistent with this policy.

Policy 11: New commercial developments should be designed to be at a walkable, human scale and for ease of use by all ages and abilities.

Response: The proposed development includes new walkways surrounding the hotel and connecting to other on-campus attractions. All proposed new walkways are designed to be used by all ages and abilities. The proposal is consistent with this policy.

Policy 12: New commercial, office, mixed-use, and multi-family developments should be designed to reflect the micro-climate and enhance outdoor life through the incorporation of features such as porches, balconies, courtyards, plazas, etc.

Response: The proposed hotel design includes exterior verandas which will have outdoor seating, fire pits, water features, and landscape elements. There will also be a rooftop outdoor seating area that will be covered. Additionally, the hotel is proposing an indoor/outdoor hot tub with seasonal glass doors and an outdoor pool. Finally, many of the proposed rooms will include balconies. The proposal is consistent with this policy.

Policy 13: New commercial, office, mixed-use, and industrial campus developments should promote inclusion and interaction within the right-of-way.

Response: The proposed development location is not abutting any public right-of-way; however, the proposed hotel will be visually prominent from Three Mile Lane, consistent with the scale and feel of other existing campus buildings. Consistent with this policy, the visibility and aviation theme promotes interactivity with the right-of-way.

Policy 14: Encourage mixed-use development where feasible.

Response: The proposed development is for a hotel which is not proposing any residential use; however, the site contains many nearby tourist commercial uses, and the hotel will complement the existing uses. The proposal is consistent with this policy.

Policy 15: Proposed site landscape for new development should strive to reflect patterns of wine industry—eg, rows of vines, southern orientation, shelter belts of trees – and consider functional site planning of vineyard and farm complexes as conceptual models.

Response: The proposed plantings around the hotel have been designed to reflect patterns of the area's wine industry with rows of Yoshino Cherry trees, Pacific Northwest wildflower meadow, native plants, and preserved views of the nearby natural areas. Furthermore, the hotel is proposed in a location that maintains the existing vines separating it from the highway. The proposal is consistent with this policy.

Policy 16: New development should consider adjacency to agricultural fields and respect this heritage through careful transitions.

Response: The proposed hotel includes outdoor spaces and large windows for viewing of the surrounding agricultural beauty and provides buffer area between the building and the adjacent agricultural fields, both of which are out of respect for the agricultural heritage. The proposal is consistent with this policy.

Policy 17: Architectural building design that includes simple roof forms (industrial and agricultural) is encouraged in the Three Mile Lane Area.

Response: The proposed hotel will utilize a roof form which is simple and reflective of the surrounding aviation theme as shown in elevations in Exhibit 3. The proposal is consistent with this policy.

Policy 18: Encourage a diversity of future housing forms, types, and design that respect the current character of the area.

Response: The proposal is not for housing, but the hotel has been designed to complement the current character of the area and the site. The proposal does not impair the City's implementation of this policy.

Policy 19: Ensure that new commercial and industrial campus development creates a welcoming and visible interface with Three Mile Lane.

Response: The proposed hotel will be an attractive visual addition to the view from Three Mile Lane with its emphasis on natural colors and materials, its elegant design, its inviting patios with fire pits burning, and rooftop bar with large windows and warm lighting. The hotel will likely attract the interest of people entering McMinnville through this gateway. The proposal is consistent with this policy.

Policy 20: Encourage site design and architecture that visibly convey the historic or current industry on the site (e.g., aviation, winemaking).

Response: The proposed hotel has been designed to reflect and represent the aviation theme on the site. This has been accomplished through the shape and layout of the building and the style of the roof which are collectively intended to resemble an airplane or bird in an abstract form (see Sheets A-203 through A-204 in Exhibit 3). The proposal is consistent with this policy.

Policy 21. New commercial, mixed-use, office, and industrial campus development should consider using local materials for cladding and building structure (timber, corrugated steel cladding, red brick), and incorporating vibrant color.

Response: The proposed materials for the hotel consist of wood, metal "box rib" siding, and fiber cement panel siding. The color scheme is intended to reflect both nature and aviation with various wood colors placed in combination with dark greys and accents of white (see Exhibit 3, Sheets A-203 and A-204). The proposal is consistent with this policy.

Policy 22: Public safety services shall be considered as part of master planning, including access, response times and opportunity for substations if needed.

Response: The proposed hotel is not a modification of the existing Planned Development which included these considerations when originally approved. The Fire Marshal has been afforded an opportunity to comment on the proposed design and has not raised concerns regarding these topics. The proposal is consistent with this policy as it is consistent with the existing Planned Development.

Policy 23: Ensure that no incompatible heavy industrial uses area allowed along Highway 18 in the Three Mile Lane Area or as part of the Innovation Campus.

Response: The proposal is not for a heavy industrial use. The proposal is consistent with this policy.

Policy 24: Natural features shall be inventoried and protected as much as possible within new development plans.

Response: No natural features on-site will be affected by this proposal. The proposed location of the hotel is the vacant gravel area that was cleared in the past and intended to be used for a future hotel. The proposal does not contradict this policy.

Three Mile Lane - Ordinance No. 4131 (1981)

Section 1 Statement of Purpose

The City of McMinnville finds that the development of lands on the north and south sides of Three Mile Lane (Oregon Highway 18) is acceptable if provisions are made to integrate the dual functions of the highway as a bypass around the City and a land service arterial for adjacent properties. The City also finds that development along Three Mile Lane is desirable if it is of good quality and design, if the living and working environments developed are compatible with each other, and if the living environment includes open spaces, parks, and features buffering of residential uses from the highway. The City recognized, during the comprehensive planning process, that to insure that these concerns are met, proper designations on the McMinnville Comprehensive Plan and Zoning Maps must be made, and, further, that a planned development overlay must be placed over the area establishing specific conditions for development.

Section 2 Planned Development Overlay

The planned development overlay which is created and implemented by this ordinance shall be placed over areas to the north and south of Oregon Highway 18 from the eastern city limits west to the vicinity of the Three Mile Lane Spur intersection with Highway 18. The affected area is further described by map in Exhibit "A". Areas within and without the city limits shall carry this designation. The policies and procedures set by this ordinance shall be applied to all land use decisions under the jurisdiction of the City of McMinnville. The overlay shall not impinge the legal jurisdiction of Yamhill County for areas outside the city limits.

Response: Within the Planned Development Overlay on the north side of Oregon Highway 18, the Evergreen campus is a prominent landmark destination that contributes substantially to the character and attraction of the Three Mile Lane district. In addition to the popular museum (two buildings), the Theater/conference center, and the waterpark, the Lodge and reception hall on the campus has become a popular venue for wedding ceremonies. With many on-site attractions and a popular event venue the site needs accommodations for people who wish to stay overnight. The proposed addition of the hotel will not only fill this demand but will add to the aesthetic of the site and surroundings. In addition, the proposed rooftop bar, and ground level café, bar, lounge areas, and exterior verandas will provide additional amenities for visitors of the site to enjoy.

The proposed hotel and related improvements meet the goals and policies of the McMinnville Comprehensive Plan and City Zoning Code. The proposal also does not affect the Planned Development's access locations or internal circulation. For these reasons, the proposal is consistent with the Purpose of the Three Mile Lane Planned Development Overlay and its Policies.

Amendment to Three Mile Lane - Ordinance No. 4572 (1994)

Section 5. Signs. The following regulations apply to those properties designated as either industrial or commercial on the McMinnville Comprehensive Plan Map and which are located within the area described in Exhibit "A." All signage must be approved by the Three Mile Lane Design Review Committee and may not exceed the maximums established in this section. The Three Mile Lane Design Review Committee may take into account color selection; sign material; relationship to site and building design; size, form, mass, height, and scale of sign; the sign's location and proximity to existing signs on adjacent parcels; and other sign design elements appropriate to ensuring that the proposed sign is compatible with the objectives of this ordinance. The Three Mile Lane Design Review Committee may require a proposed sign to be redesigned as necessary to make it consistent with the objectives of this ordinance including, but not limited to, restricting the size and height of the sign, its location, form, color, and material.

The Three Mile Lane Planned Development Overlay area is hereby divided into three “sign zones” which are depicted on Exhibit “B” which is attached hereto and is by this reference herein incorporated. Signage shall be regulated within the various sign zones as follows:

C. *Zone 3. The following regulations apply to commercially and industrially designated properties which fall within zone 3: [...]*

Response: The applicant is not proposing sign designs at this time, instead, sign review will be applied for in a separate application at a later date.

Planned Development Sign Regulation Amendments – Ordinance No. 4924 (2010)

Ordinance 4924 amended the sign-regulating provisions of multiple planned developments throughout the City, and specifically deleted Condition of Approval #17 from Ordinance 4915. As noted in the response to this condition below, the signage provisions of Ordinance 4572 continue to apply to the site.

Evergreen Campus Planned Development-Related Amendments

In the sections below, the applicant has identified certain statements and conditions of approval that are relevant to this proposal and has provided responses to indicate how the request is aligned with them.

Comprehensive Plan Map Amendment – Ordinance No. 4662 (1998)

Ordinance 4662 rezoned a portion of the campus from Agricultural Holding (AH) to General Commercial Planned Development (C-3 PD). The affected area did not include the site of the proposed hotel as it was located outside city limits as they existed at that time.

PD Amendment for Captain Michael King Smith Evergreen Educational Center – Ordinance No. 4718 (2000)

Ordinance 4718 rezoned a portion of the property to a “new C-3 PD” zone. The affected area did not include the site of the proposed hotel as it was located outside city limits as they existed at that time.

PD Amendment for Evergreen Theater – Ordinance No. 4810 (2004)

Ordinance 4810 amended the Planned Development to allow the construction of the campus theater, meeting space, additional display area, and associated parking adjacent to the existing Evergreen Aviation Museum. The affected area did not include the site of the proposed hotel as it was located outside city limits as they existed at that time.

PD Amendment and Rezone for Waterpark and Overnight Lodge – Ordinance No. 4915 (2009)

Ordinance 4915 amended the Planned Development to rezone a 30-acre portion of the campus from County Exclusive Farm Use-80 (EF-80) to City C-3 PD, to accommodate the future construction of a waterpark and overnight hotel (which was referred to as the Lodge at that time). The waterpark building has been constructed, but the overnight lodge/hotel was never built. The current application requests approval to construct a hotel on the site of the previously approved overnight lodge. This ordinance imposed several conditions of approval; responses are provided below to those conditions which may be applicable to this Landscape Plan Review.

4. *That detailed landscaping and irrigation plans shall be submitted to the Planning Department for review and approval by the McMinnville Landscape Review Committee prior to the issuance of building permits for the site. A minimum of 15 percent of the site must be landscaped, with emphasis placed at the site perimeter and off-street parking areas.*

Response: Detailed landscaping and irrigation plans have been submitted with this application (Exhibit 3) which show that the site still meets the 15% landscape minimum. This condition is met.

5. *The required landscaping plan must include street trees adjacent to the on-site access drive connecting to Captain Michael King Smith Way, and adjacent to and within the parking lot. All deciduous trees to be planted shall have a two-inch minimum caliper at 4.5 feet above ground surface, shall be spaced as appropriate for the selected species and as may be required for the location of underground utilities, above-ground utility vaults, transformers, light poles, and hydrants. All landscape areas shall be protected from vehicular overhang by placement of concrete wheel stops. All required landscaping pertaining to a particular building shall be installed prior to occupancy of that building.*

Response: The applicant understands from City staff that the City approved installation of smaller-scale vegetation to be planted in lieu of street trees in order to preserve views of the adjoining vineyards and the architectural vista of the prominent campus buildings. Consistent with this prior interpretation, no street trees are proposed with this application.

8. *That plan(s) shall be submitted which illustrate all existing trees or clusters of trees measuring six inches in caliper or greater at 4.5 feet above ground surface, and which shall specify those to be removed or preserved. Plans shall be subject to review and approval by the Planning Director. If any existing trees in excess of six inches in caliper are proposed for removal, plans shall be accompanied by written justification from the applicant, supporting the need for the tree removal. The applicant shall obtain approval from the Planning Director for removal of any existing trees of said measurement.*

Response: Landscape plans have been submitted that illustrate all existing trees; however, none exist within the area of disturbance. No trees are proposed for removal. This condition is met.

9. *That all outside lighting shall be directed downward and away from public streets and residential areas and shall have hoods or "shoebox" type fixtures. Any proposed "up-lighting" to illuminate outdoor displays, including but not limited to the proposed 747, may be reviewed and approved by the Planning Director.*

Response: All proposed lighting is directed downward and away from public streets and residential areas and meets current McMinnville Code requirements as shown in lighting plans on Sheet L202 of Exhibit 3. This condition is met.

Master Plan Amendment for Adventure Park – Ordinance No. 4949 (2012)

Ordinance 4949 added an Adventure Park and ancillary improvements on the campus master plan. Ordinance 4949 imposed additional stormwater and sanitary sewer requirements on the adventure park. The proposed changes also included a request to increase the number of hotel rooms by 10. The staff report for this application, docket ZC 4-11, stated that:

As a minor element of this application, staff also notes that the applicant describes their intent to add some 10 additional rooms to the currently approved 84-unit lodge, which is proposed for construction on land situated between the waterpark facility and museum building. The additional rooms would be accommodated within the currently approved building footprint, and the planned addition to the off-street parking would more than

accommodate the needs of these additional rooms. For these reasons, staff finds this portion of the proposed amendment to be a minor adjustment to the details of the previously approved plan, therefore requiring no further land use approvals by the City.

IV. CONCLUSION

This report and supporting evidence in the attached Exhibits provide substantial evidence demonstrating that the landscaping associated with the proposed hotel and site development is consistent with McMinnville Code standards, Comprehensive Plan, Three Mile Lane Area Plan, and previous Planned Development and Zoning approvals for the subject property and applicable conditions of approval. The applicant respectfully requests approval of this application.

First American Title Insurance Company NCS-974403

WHEN RECORDED, MAIL TO:
McMinnville Properties, LLC
Attn: Eric Jamieson
3550 Liberty Road S., STE 290
Salem, OR 97302
MAIL TAX STATEMENTS TO:
McMinnville Properties, LLC
Attn: Eric Jamieson
3550 Liberty Road S., STE 290
Salem, OR 97302

Yamhill County Official Records	202006016
DMR-DDMR	04/14/2020 10:48:00 AM
Stn=1014 JENSENC	
16Pgs \$80.00 \$11.00 \$5.00 \$60.00	\$156.00
I, Brian Van Bergen, County Clerk for Yamhill County, Oregon, certify that the instrument identified herein was recorded in the Clerk records.	
Brian Van Bergen - County Clerk	

Bankruptcy Trustee’s Deed

MICHAEL F. THOMSON, solely in his capacity as Chapter 11 Trustee (“Grantor”) of the substantively consolidated Bankruptcy Estates of The Falls Event Center LLC (Case No. 18-25116) and The Falls at McMinnville, LLC (Case No. 18-25492), pending in the United States Bankruptcy Court for the District of Utah (the “Bankruptcy Court”), pursuant to the *Order Granting Chapter 11 Trustee’s Renewed Motion to Sell Property Out of the Ordinary Course of Business, Free and Clear of All Interests and Subject to Higher and Better Offers, to McMinnville Properties, LLC, Pursuant to 11 U.S.C. § 363(b), (f), and (m); Approval of Sale Procedures, Including a Break-up Fee; and Waiver of the Stay Set Forth in Fed. R. Bankr. P. 6004(h)*, entered March 27, 2020 [Docket No. 835], a copy of which (without exhibits) is attached hereto as **Exhibit B**, (the “Bankruptcy Court Order”), in exchange for the consideration stated in the Bankruptcy Court Order and other good and valuable consideration, the receipt and sufficiency of which is acknowledged, hereby sells, transfers, and conveys to MCMINNVILLE PROPERTIES, LLC, an Oregon limited liability company, Grantee, all of Grantor’s right, title, and interest in and to certain real property located in Yamhill County, Oregon, more particularly described on the attached **Exhibit A**.

This conveyance is made “AS IS, WHERE IS” and is without any representations or warranties of any kind.

[Signature Page Follows]

EXHIBIT A

Description of Property

PARCEL 1:

A tract of land located in the Reuben Harris Donation Land Claim No. 80 and being in Section 23, Township 4 South, Range 4 West, Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Commencing at a point on the South line of said Harris Donation Land Claim, said point being a brass disk located at the Northwest corner of the J. White Donation Land Claim No. 81; thence along the South line of said Harris Donation Land Claim North 89°57'08" East, a distance of 1583.84 feet to its intersection with the Southerly extension of the most Southerly East line of that property conveyed to Evergreen Vintage Aircraft, Inc., by Deed recorded February 29, 2012 as Instrument No. 2012-02475, Deed Records of Yamhill County, Oregon; thence along the Southerly extension of said Evergreen Vintage Aircraft, Inc. property, North 00°20'28" East, a distance of 30.00 feet to a 5/8 inch iron rod located at the most Southerly Southeast corner thereof; thence along the most Southerly East line of said Evergreen Vintage Aircraft, Inc. property, North 00°20'28" East, a distance of 609.97 feet to the Point of Beginning; thence continuing along said most Southerly East line North 00°20'28" East, a distance of 299.76 feet to an angle point on the Easterly boundary of said Evergreen Aviation Inc. property; thence along said Easterly boundary, North 89°58'18" East, a distance of 370.00 feet to an angle point thereon; thence continuing along the Easterly boundary of said Evergreen Aviation, Inc. property, North 00°20'28" East, a distance of 491.48 feet to a 5/8 inch iron rod located at the Northeast corner thereof; thence along the North line of said Evergreen Aviation, Inc. property South 89°50'51" West, a distance of 1145.00 feet to a 5/8 inch iron rod located at the Northwest corner thereof; thence along the most Westerly line of said Evergreen Aviation, Inc. property, South 00°22'58" West, a distance of 132.01 feet to a 5/8 inch iron rod located in the most Northerly Northeast corner of that property conveyed to The Michael King Smith Foundation, by Deed recorded July 23, 2012, as Instrument No.2012-10261, Deed Records of Yamhill County, Oregon; thence along the North line of said The Michael King Smith Foundation property, South 89°54'25" West, a distance of 430.74 feet to a 5/8 inch iron rod located at the most Northerly Northwest corner thereof; thence along the most Northerly West line of said The Michael King Smith Foundation property, South 00°05'35" East, a distance of 317.02 feet to a 5/8 inch iron rod located at an angle point on the Westerly boundary thereof; thence along the most Westerly North line of said The Michael King Smith Foundation property, together with the Westerly extension thereof, South 89°55'14" West a distance of 686.36 feet to a point; thence North 00°21'50" East, a distance of 928.73 feet to a 5/8 inch iron rod located at a point on the division line between the North and South halves of said Harris Donation Land Claim; thence along said division line, South 89°03'00" East, a distance of 1264.57 feet to a point; thence departing said division line, South 00°21'50" West, a distance of 202.01 feet to a point; thence South 89°06'02" East, a distance of 130.69 feet to a point; thence North 00°24'52" East, a distance of 201.89 feet to a point on said division line; thence along said division line, South 89°03'00" East, a distance of 1866.50 feet to a point; thence departing said division line, South 00°30'00"

West, a distance of 1212.36 feet to a point; thence South 90°00'00" West, a distance of 1369.06 feet to the Point of Beginning.

SAVE AND EXCEPTING THEREFROM the following described property conveyed to Evergreen Vintage Aircraft, Inc. by Bargain and Sale Deed recorded April 30, 2013, Recorder's No. 201306508:

A tract of land in the South one-half of Section 23, Township 4 South, Range 4 West of the Willamette Meridian, in Yamhill County, Oregon, more particularly described as follows:

Commencing at the Southeast corner of the Reuben Harris Donation Land Claim No. 80; thence, along the South line of said Harris Donation Land Claim, South 89°57'08" West a distance of 3740.04 feet to a point; thence, departing said South line, North 00°20'28" East a distance of 30.00 feet to a 5/8 inch iron rod located at the most Southerly Southeast corner of that property identified as the "Museum Tract" in Schedule 2 of Lot Adjustment Deed recorded November 27, 2002, as Document No. 2002-23658, Deed Records of Yamhill County, Oregon; thence, along the Easterly boundary of said "Museum Tract", North 00°20'28" East a distance of 909.73 feet to an angle point thereon; thence, continuing along said Easterly boundary, North 89°58'18" East a distance of 370.00 feet to an angle point thereon; thence, continuing along said Easterly boundary, North 00°20'28" East a distance of 491.48 feet to a 5/8 inch iron rod and the point of beginning; thence, continuing along said Easterly boundary, North 00°20'28" East a distance of 236.40 feet to the most Northerly Northeast corner thereof; thence, along the North line of said "Museum Tract", North 89°06'02" West a distance of 1144.83 feet to a 5/8 inch iron rod located at the most Northerly Northwest corner thereof; thence, along the most Westerly line of said "Museum Tract", South 00°22'58" West a distance of 257.42 feet to a 5/8 inch iron rod; thence, departing said most Westerly line, North 89°50'51" East a distance of 1145.00 feet to the point of beginning.

PARCEL 2:

A tract of land located in the Reuben Harris Donation Land Claim No. 80 and being in Section 23, Township 4 South, Range 4 West, Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Commencing at a point on the South line of said Harris Donation Land Claim, said point being a brass disk located at the Northwest corner of the J. White Donation Land Claim No. 81; thence along the South line of said Harris Donation Land Claim, North 89°57'08" East, a distance of 141.08 feet to the Southeast corner of the 344/1000 of a chain (22.70 feet wide) parcel of land described in Parcel 2 of that property conveyed to Evergreen Agricultural Enterprises, Inc. by Deed recorded May 15, 2003, as Instrument No. 2003-11230, Deed Records of Yamhill County, Oregon; thence along the Easterly line of said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 30.00 feet to its intersection with the Northerly right of way line of Three Mile Lane; thence continuing along the Easterly line of said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 752.64 feet to the Point of Beginning; thence continuing along said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 173.86 feet to a 5/8 inch iron rod located at the Northeast corner thereof, said point being also on the Southerly line of the

23.00 foot wide parcel of land described in Parcel 2 of said Instrument No. 2003-11230; thence along the Southerly line of said 23.00 foot wide parcel North 89°55'14" East a distance of 0.15 feet to the most Southerly Southeast corner thereof; thence along the Easterly boundary of said 23.00 foot wide parcel North 00°28'14" East, a distance of 23.00 feet to a 5/8 inch iron rod; thence South 89°55'14" West, a distance of 449.37 feet; thence South 00°21'50" West a distance of 197.77 feet to a point; thence North 89°48'13" East, a distance of 448.86 feet to the Point of Beginning.

PARCEL 3:

A tract of land located in the Reuben Harris Donation Land Claim No. 80 and being in Section 23, Township 4 South, Range 4 West, Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Commencing at a point on the South line of said Harris Donation Land Claim, said point being a brass disk located at the Northwest corner of the J. White Donation Land Claim No. 81; thence along the South line of said Harris Donation Land Claim, North 89°57'08" East, a distance of 141.08 feet to the Southeast corner of the 344/1000 of a chain (22.70 feet) wide parcel of land described in Parcel 2 of that property conveyed to Evergreen Agricultural Enterprises, Inc., by Deed recorded May 15, 2003, as Instrument No. 2003-11230, Deed Records of Yamhill County, Oregon; thence along the Easterly line of said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 30.00 feet to its intersection with the Northerly right of way line of Three Mile Lane; thence continuing along the Easterly line of said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 752.64 feet to the Point of Beginning; thence continuing along the Easterly line of said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 173.86 feet to a 5/8 inch iron rod located at the Northeast corner thereof, said point being also on the Southerly line of the 23.00 foot wide parcel of land described in Parcel 2 of Instrument No. 2003-11230; thence along the Southerly line of said 23.00 foot wide parcel North 89°55'14" East a distance of 0.15 feet to the most Southerly Southeast corner thereof; thence along the Easterly boundary of said 23.00 foot wide parcel North 00°28'14" East, a distance of 23.00 feet to a 5/8 inch iron rod; thence departing said Easterly boundary, North 89°55'14" East, a distance of 236.99 feet to a 5/8 inch iron rod; thence North 00°05'35" West, a distance of 317.02 feet to a 5/8 inch iron rod; thence North 89°54'25" East, a distance of 430.74 feet to a 5/8 inch iron rod located on the Westerly boundary of that property conveyed to Evergreen Vintage Aircraft, Inc., by Deed recorded February 29, 2012, as Instrument No. 2012-02475, Deed Records of Yamhill County, Oregon; thence along the Westerly boundary of said Evergreen Vintage Aircraft, Inc. property, South 00°22'58" West, a distance of 357.23 feet to a 5/8 inch iron rod located at an angle point thereon; thence continuing along said Westerly boundary North 89°54'46" East, a distance of 236.33 feet to a 5/8 inch iron rod located at an angle point thereon; thence continuing along said Westerly boundary South 00°19'30" West, a distance of 154.95 feet; thence departing said Westerly boundary, South 89°48'13" West, a distance of 902.04 feet to the Point of Beginning.

PARCEL 4:

A tract of land located in the Reuben Harris Donation Land Claim No. 80 and the V. Snelling Donation Land Claim No. 52 and being in Sections 22 and 23, Township 4 South, Range 4 West, Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

Commencing at a point on the South line of said Harris Donation Land Claim, said point being a brass disk located at the Northwest corner of the J. White Donation Land Claim No. 81; thence along the South line of said Harris Donation Land Claim North 89°57'08" East, a distance of 118.38 feet to the Southwest corner of the 344/1000 of a chain (22.70 feet) wide parcel of land described in Parcel 2 of that property conveyed to Evergreen Agricultural Enterprises, Inc., by Deed recorded May 15, 2003, as Instrument No. 2003-11230, Deed Records of Yamhill County, Oregon; thence along the Westerly line of said 344/1000 of a chain wide parcel, North 00°28'14" East, a distance of 30.00 feet to its intersection with the Northerly right of way line of Three Mile Lane and the Point of Beginning; thence along said northerly right of way line, North 89°57'08" East, a distance of 926.63 feet to a 5/8 inch iron rod located in the most Southerly Southwest corner of that property conveyed to Evergreen Vintage Aircraft, Inc., by Deed recorded February 29, 2012 as Instrument No. 2012-02457, Deed Records of Yamhill County, Oregon; thence along the Westerly boundary of said Evergreen Vintage Aircraft, Inc. property, North 00°19'30" East, a distance of 754.96 feet to a point; thence departing said Westerly boundary, South 89°48'14" West, a distance of 1350.91 feet to a point; thence North 00°21'50" East, a distance of 1126.51 feet to a 5/8 inch iron rod located at a point on the division line between the North and South halves of said Harris Donation Land Claim; thence along said division line, South 89°03'00" East, a distance of 1264.57 feet to a point; thence departing said division line, South 00°21'50" West, a distance of 202.01 feet to a point; thence South 89°06'02" East, a distance of 130.69 feet to a point; thence North 00°24'52" East, a distance of 201.89 feet to a point on said division line; thence along said division line, North 89°03'00" West, a distance of 6.65 feet to a 5/8 inch iron rod located at the most Easterly corner of that property conveyed to Delford M. Smith, Trustee of the Michael King Smith Foundation UTA dated November 15, 2006, by Deed recorded November 14, 2013, as Instrument No. 2013-17383, Deed Records of Yamhill County, Oregon; thence along the Northeast line of said property described in Instrument No. 2013-17383, North 50°51'00" West, a distance of 1130.00 feet to a 5/8 inch iron rod; thence continuing along said Northeast line, North 50°51'00" West, a distance of 223 feet, more or less, to the center of the Yamhill River; thence running upstream in a Westerly direction along the center of the Yamhill River to its intersection with said division line between the North and South halves of said Harris Donation Land Claim and the most Westerly corner of said property described in Instrument No. 2013-17383, said point being also on the North line of that property described as Parcel 1 of "Tax Lot 1300 aka Parcel 2" in Deed to Evergreen Vintage Aircraft, Inc., recorded November 27, 2002, as Instrument No. 2002-23658, Deed Records of Yamhill County, Oregon; thence North 89°03'00" West along the North line of said property described in Instrument No. 2002-23658 to the most Northerly Northwest corner thereof, said point being on the Northwest line of said Reuben Harris Donation Land Claim; thence South 51°59'54" West along the Northwest line of said Reuben Harris Donation Land Claim to the most Westerly Northwest corner of said property described in Instrument No. 2002-23658 being North 32°01'45" West, 177.00 feet, more or less from a 5/8 inch iron rod set in CS-12840 Yamhill

County Records; thence in a Southeasterly direction following the courses of the Southwesterly boundary of said property described in Instrument No. 2002-23658; South 32°01'45" East, 440.30 feet; thence South 56°03'45" East, 288.85 feet; thence South 45°39'07" East, 335.42 feet to a stone located at the Southwest corner thereof; thence along the South line of said property described in Instrument No. 2002-23658, North 88°38'24" East, a distance of 260.46 feet to a 1 inch iron pipe set in CS 3725, Yamhill County Survey Records to the Northwest corner of that property conveyed to Delford M. Smith, Trustee of the Michael King Smith Foundation UTA dated November 15, 2006, by Deed recorded November 14, 2013, as Instrument No. 2013-17384, Deed Records of Yamhill County, Oregon; thence along the Westerly boundary of said property described in Instrument No. 2013-17384 South 00°06'57" East, a distance of 231.90 feet, more or less, to an angle point thereon; thence continuing along said Westerly boundary, South 64°52'52" East, a distance of 365.15 feet to an angle point thereon; thence continuing along said Westerly boundary, South 00°06'57" East, a distance of 63.17 feet to a point on the Northerly boundary of that property awarded to the State of Oregon, by and through its Department of Transportation (ODOT), as set forth in Stipulated General Judgment, Case No. CV020279 in the Circuit Court for the County of Yamhill, State of Oregon, entered June 14, 2004 and recorded June 24, 2004, as Instrument No. 2004-12481, Deed Records of Yamhill County, Oregon; thence along the Northerly boundary of said ODOT property, South 84°00'53" East, a distance of 7.17 feet, more or less, to an angle point thereon; thence continuing along the Northerly boundary of said ODOT property, North 84°32'55" East, a distance of 111.98 feet to an angle point thereon; thence continuing along the Northerly boundary of said ODOT property, South 87°30'08" East, a distance of 254.87 feet to an angle point thereon; thence continuing along the Northerly boundary of said ODOT property, South 50°55'50" East, a distance of 471.43 feet to an angle point thereon; thence continuing along the Northerly boundary of said ODOT property, South 62°21'11" East, a distance of 137.16 feet to the Westerly line of said 344/1000 of a chain wide parcel of land; thence along the Westerly line of said 344/1000 of a chain wide parcel of land, South 00°28'14" West, distance of 118.39 feet, more or less, to the Point of Beginning.

PARCEL 5:

A tract of land located in the Reuben Harris Donation Land Claim No. 80 and being in Sections 23 and 24, Township 4 South, Range 4 West, Willamette Meridian, Yamhill County, Oregon, more particularly described as follows:

That property described in deed to Delford M. Smith, Trustee of the Michael King Smith Foundation UTA dated November 15, 2006 and recorded November 14, 2013, as Instrument No. 2013-17385, Deed Records of Yamhill County, Oregon, more particularly described as follows:

Beginning at an iron pipe on the division line between the North and South Halves of said Donation Land Claim, 20.441 chains North 88°47' West of an iron pipe at the Southeast corner of the North half of said Donation Land Claim; running thence North 27.918 chains to an iron pipe set on the South margin of a 40 foot road now there; thence North 89°49' West along the South line of said roadway, 30.797 chains to an iron pipe; thence South 14.534 chains to an iron

pipe; thence North 89°49' West 9.195 chains to an iron pipe; thence South 12.66 chains to an iron pipe; thence South 88°47' East 39.975 chains to the Place of Beginning.

TOGETHER WITH the following described tract of land:

Commencing at an iron pipe located at the Southeast corner of said property described in Instrument No. 2013-17385; thence along the South line of said property described in Instrument No. 2013-17385, North 89°03'00" West, a distance of 784.47 feet to the Northeast corner of that property conveyed to The Michael King Smith Foundation, by Deed recorded February 29, 2012, as Instrument No. 2012-02476, Deed Records of Yamhill County, Oregon and the Point of Beginning; thence along the Easterly line of said property described in Instrument No. 2012-02476, South 00°29'31" West, a distance of 1448.63 feet to the most Easterly Southeast corner thereof, said point being on the North line of Parcel 5 of that property conveyed to H & R Burch Limited Partnership, by Deed recorded December 13, 1993 in Film Volume 299, Page 1369, Deed Records of Yamhill County, Oregon; thence along the North line of said H & R Limited Partnership property, South 89°57'08" West, a distance of 299.80 feet to the Northwest corner thereof; thence along the West line of said H & R Burch Limited Partnership property, South 00°26'38" West, a distance of 368.59 feet to a point on the Northerly right of way line of Three Mile Lane (30.00 feet Northerly of the South line of said Harris Donation Land Claim, when measured at right angles); thence along said Northerly right of way line, South 89°57'08" West, a distance of 1296.25 feet to a 5/8 inch iron rod located at the most Southerly Southeast corner of that property conveyed to Evergreen Vintage Aircraft, Inc., by Deed recorded February 2, 2012, as Instrument No. 2012-02457, Deed Records, Yamhill County, Oregon; thence along the most Southerly East line of said Evergreen Vintage Aircraft, Inc. Tax Lot 400 Adjusted property, North 00°20'28" East, a distance of 609.97 feet to a point; thence departing said most Southerly East line, North 90°00'00" East, a distance of 1369.06 feet to a point; thence North 00°30'00" East, a distance of 1212.36 feet to a point on the South line of said property described in Instrument No. 2013-17385; thence along the South line of said property described in Instrument No. 2013-17385, South 89°03'00" East, a distance of 228.12 feet to the Point of Beginning.

SAVE AND EXCEPTING THEREFROM any portion thereof appropriated by the State of Oregon, by and through its Department of Transportation in Stipulated Final Judgment CV89-120, recorded February 26, 1991 in Film Volume 252, Page 725, Deed Records.

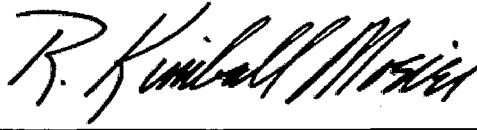
ALSO SAVE AND EXCEPTING THEREFROM that portion conveyed to the City of McMinnville, a municipal corporation, by Dedication of Easement and Right of Way recorded in Instrument No. 2003-04463, Deed Records.

EXHIBIT B

Bankruptcy Court Order (without exhibits)

This order is SIGNED.

Dated: March 27, 2020



**R. KIMBALL MOSIER
U.S. Bankruptcy Judge**



Prepared and submitted by:

Michael F. Thomson (#9707)
Peggy Hunt (#6060)
John J. Wiest (#15767)
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111 South Main Street, 21st Floor
Salt Lake City, UT 84111-2176
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wiest.john@dorsey.com

Attorneys for Michael F. Thomson, Chapter 11 Trustee

**IN THE UNITED STATES BANKRUPTCY COURT
FOR THE DISTRICT OF UTAH**

<p>In re:</p> <p>THE FALLS EVENT CENTER LLC; THE FALLS AT GILBERT, LLC; THE FALLS AT MCMINNVILLE, LLC; THE FALLS AT ST. GEORGE, LLC; THE FALLS AT FRESNO, LLC; THE FALLS AT CLOVIS, LLC; THE FALLS OF LITTLETON, LLC; THE FALLS AT CUTTEN ROAD, LLC; THE FALLS AT STONE OAK PARKWAY, LLC; THE FALLS AT BEAVERTON, LLC; THE FALLS AT ROSEVILLE, LLC; AND THE FALLS AT AUSTIN BLUFFS, LLC</p> <p>Consolidated Debtors.</p>	<p>Bankr. Case Nos. 18-25116; 18-25419; 18-25492; 18-26653; 18-27713; 18-28140; 18-27111; and 19-27803</p> <p>(Substantively Consolidated under Case No. 18-25116)</p> <p>Chapter 11</p> <p>The Honorable R. Kimball Mosier</p>
<p>In re:</p> <p>THE FALLS AT MCMINNVILLE, LLC</p> <p>Debtor.</p>	<p>Bankr. Case No. 18-25492</p> <p>Chapter 11</p> <p>The Honorable R. Kimball Mosier</p>

ORDER GRANTING CHAPTER 11 TRUSTEE'S RENEWED MOTION TO SELL PROPERTY OUT OF THE ORDINARY COURSE OF BUSINESS, FREE AND CLEAR OF ALL INTERESTS AND SUBJECT TO HIGHER AND BETTER OFFERS, TO MCMINNVILLE PROPERTIES, LLC, PURSUANT TO 11 U.S.C. § 363(b), (f) AND (m); APPROVAL OF SALE PROCEDURES, INCLUDING A BREAK-UP FEE; AND WAIVER OF THE STAY SET FORTH IN FED. R. BANKR. P. 6004(h)

The matter before the Court is the *Chapter 11 Trustee's Renewed Motion to Sell Property Out of the Ordinary Course of Business, Free and Clear of All Interests and Subject to Higher and Better Offers, to McMinnville Properties, LLC, Pursuant to 11 U.S.C. § 363(b), (f), and (m); Approval of Sale Procedures, Including a Break-up Fee; and Waiver of the Stay Set Forth in Fed. R. Bankr. P. 6004(h)* (the "Renewed Motion") [TFEC Docket No. 777; TFM Docket No. 239], filed on March 3, 2020, by Michael F. Thomson, the duly appointed Chapter 11 Trustee (the "Trustee") of the consolidated estate for the above-referenced Debtors (the "Consolidated Estate") and, in that capacity, as the Chapter 11 Trustee of The Falls Event Center LLC ("TFEC"), which is the sole member and manager of The Falls at McMinnville, LLC ("TFM"). The Motion is supported by: (i) the *Declaration of Eric W. Jamieson* [TFEC Docket No. 574; TFM Docket No. 150] (the "Jamieson Declaration"); (ii) the *Declaration of Michael F. Thomson, Chapter 11 Trustee* [TFEC Docket No. 778; TFM Docket No. 240] (the "Trustee Declaration"); and the *Declaration of David N. Bateman* [TFEC Docket No. 780; TFM Docket No. 242] (the "Bateman Declaration"); together with the Jamieson Declaration and the Trustee Declaration, the "Declarations").

In the Motion, the Trustee seeks Court approval of certain "Sale Procedures," and authorization to enter into the transaction set forth in the *Purchase and Sale Agreement* (the "PSA") attached to the Renewed Motion as Exhibit 1 and the *First Amendment to Purchase and*

Sale Agreement attached to the Renewed Motion as Exhibit 2 (“PSA Amendment”) (collectively, the “Agreement”). The Agreement involves the sale of certain real and personal property more fully described in the Agreement and the Renewed Motion (the “Property”) to McMinnville Properties, LLC, free and clear of all interests and subject to higher and better offers, pursuant to 11 U.S.C. § 363(b), (f), and (m), and Rules 2002, 6004, and 9014 of the Federal Rules of Bankruptcy Procedure (the “Bankruptcy Rules”).

The Motion and Declarations were properly served through the Court’s CM/ECF system on all parties that have requested electronic service in this case and via U.S. Mail on all parties who have requested notice by no later than March 3, 2020. *See* Motion (Certificate of Service); Trustee Declaration (Certificate of Service); Jamieson Declaration (Certificate of Service); “Certificate of Service of Jamieson Declaration” [TFEC Docket No. 806; TFM Docket No. 254]; “Certificate of Service of Bateman Declaration” [TFEC Docket No. 783; TFM Docket No. 244]. In addition, a *Notice of Final Hearing on and Opportunity to Object to Chapter 11 Trustee’s Renewed Motion to Sell Property Out of the Ordinary Course of Business, Free and Clear of All Interests and Subject to Higher and Better Offers, to McMinnville Properties, LLC, Pursuant to 11 U.S.C. § 363(b), (f), and (m); Approval of Sale Procedures, Including a Break-up Fee; and Waiver of the Stay Set Forth in Fed. R. Bankr. P. 6004(h)* [TFEC Docket No. 779; TFM Docket No. 241] (the “Notice”) that provided for, among other things, notice of the deadline of March 20, 2020, for filing objections to the Renewed Motion, and notice of the hearing to be held on March 24, 2020, at 11:00 a.m. (Mountain Time) (the “Hearing”), was properly served through the Court’s CM/ECF system on all parties that receive electronic notice in this case and via U.S. Mail on all parties who have requested notice by mail in this case on March 3, 2020. *See* Notice

(Certificate of Service). The Notice was also served via U.S. Mail on the mailing matrix in this case on March 3, 2020. See “Certificate of Service of Notice by Mail” [TFEC Docket No. 784; TFM Docket No. 245]. The Court finds that notice of the Motion and the Hearing is proper, and no further notice is required.

On March 20, 2020, the Evergreen Aviation and Space Museum and the Captain Michael King Smith Educational Institute (the “Museum”) filed a *Limited Objection* to the Renewed Motion [TFEC Docket No. 793; TFM Docket No. 246] (the “Museum Limited Objection”). The Museum Limited Objection is resolved by the Court’s approval of this sale. Also on March 20, 2020, Meilin Liu, SamSon Exchange, and Ameri Asian Funding, LLC (collectively, “Liu”) filed a *Response* to the Renewed Motion [TFEC Docket No. 794] (the “Liu Response”). After the Liu Response was filed, on March 23, 2020, the Trustee filed the *Chapter 11 Trustee’s Motion to Approve Settlement Agreement with Liu Parties Pursuant to Federal Rule of Bankruptcy Procedure 9019* [TFEC Docket No. 804] (the “Liu Motion”). No other objections or responses to the Renewed Motion were filed, and the only other potential objections known to the Trustee were those of (i) Brent Davies Pulley, individually, The Brent D. Pulley Revocable Trust Dated January 13, 2006, Brent D. Pulley DMD, Ltd., and IRA Services Trust Company FBO Brent Davies Pulley IRA 519947 (collectively, “Pulley”), and (ii) Walter R. Stickel, individually, Esther M. Stickel, individually, W.R. and E.M. Stickel Family 1986 Revocable Trust, and Walt Stickel Body & Frame Shop, Inc. (collectively, “Stickel”). On March 24, 2020, the Trustee filed the *Chapter 11 Trustee’s Motion to Approve Settlement Agreement with Pulley and Stickel Parties Pursuant to Federal Rule of Bankruptcy Procedure 9019* [TFEC Docket No. 807] (the “Stickel and Pulley Motion”; together with the Liu Motion, the “Settlement Motions”). Liu,

Pulley, and Stickel have agreed to resolve any objections that they may have to the Renewed Motion, including as stated in the Liu Response, in accordance with the *Settlement Agreements* which are the subject of the Settlement Motions, both of which are contingent on Court approval after notice and an opportunity for objection, with objections to be filed no later than April 6, 2020.

The Hearing on the Renewed Motion was held by the Honorable R. Kimball Mosier, Chief United States Bankruptcy Judge, on March 24, 2020, at 11:00 a.m. Peggy Hunt and John Wiest, Dorsey & Whitney LLP, appeared on behalf of the Trustee, who was also present; Mark Rose of McKay Burton & Thurman, P.C., appeared on behalf of Liu; James Anderson of Clyde Snow & Sessions, P.C., appeared on behalf of Pulley and Stickel; Chris Giaimo of North American BanCard appeared; Jeffrey Smith of Curd, Galindo & Smith, LLP, and Darren Neilson of Neilson Law Group appeared on behalf of Union Home Loan, Inc.; Bryan Glover of Stoel Rives LLP appeared on behalf of the Museum; Chad Rasmussen of Alpina Legal appeared on behalf of Gregory Moss; and Eric Jamieson of Jamieson Law Firm appeared on behalf of McMinnville Properties, LLC. At the Hearing, the Court made findings on the record.

The Court, having reviewed the Renewed Motion, the Declarations, the Notice, the Certificates of Service noted above, the Museum Limited Objection, the Liu Response, the Settlement Motions, the representations made on the record at the Hearing, as well as the applicable law and the record in this case, made its findings of fact and conclusions of law on the record on, which are incorporated herein. As part of its findings and conclusions, the Court determined that notice is proper and no further notice of the Renewed Motion is necessary, the Property is property of the Consolidated Estate that may be sold free and clear of all liens,

claims, encumbrances, or interests of any sort whatsoever pursuant to 11 U.S.C. § 363(b) and (f), the sale is in the best interest of creditors and the Consolidated Estate and the sale is to a good faith buyer in accordance with 11 U.S.C. §363(m).

ACCORDINGLY, IT IS HEREBY ORDERED that:

1. The Renewed Motion is **GRANTED**;
2. The Agreement attached hereto as **Exhibit 1** is **APPROVED**;
3. The Sale Procedures are **APPROVED**;
4. The sale of the Property pursuant to 11 U.S.C. § 363(b) and (f) as set forth in the Agreement attached hereto as **Exhibit 1** is **AUTHORIZED**;
5. The sale of the Property is free and clear of all liens, claims, encumbrances, or interests of any sort whatsoever against the Property pursuant to 11 U.S.C. § 363(f), and the claimed liens of Liu, Pulley, and Stickel shall attach to the proceeds of sale up to the amount of their respective settlement payments as set forth in the *Settlement Agreements*;
6. At closing of the authorized sale the Trustee is **AUTHORIZED** to disburse the sale proceeds as set forth in the Renewed Motion, and pursuant to this Court's *Order Granting Chapter 11 Trustee's Motion to Approve Settlement Agreement with Gregory Moss Pursuant to Federal Rule of Bankruptcy Procedure 9019* [TFEC Docket No. 815], creditor Gregory Moss's disbursement as provided in the Renewed Motion shall be secured by the proceeds of the sale until paid;

7. McMinnville Properties, LLC, is a “good faith” purchaser and is entitled to the protections set forth in 11 U.S.C. § 363(m); and
8. The 14-day stay imposed by Federal Rule of Bankruptcy Procedure 6004(h) is **WAIVED.**

End of Order

AFTER RECORDING, RETURN TO:
McMinnville Properties, LLC
7401 SW Washo Court, Suite 200
Tualatin, OR 97062

MAIL TAX STATEMENTS TO:
McMinnville Properties, LLC
7401 SW Washo Court, Suite 200
Tualatin, OR 97062

Consideration: \$10,000,000.00

Yamhill County Official Records	202108028
DMR-DDMR	04/20/2021 02:34:00 PM
Stn=6 MILLSA	
3Pgs \$15.00 \$11.00 \$5.00 \$60.00	\$91.00
I, Brian Van Bergen, County Clerk for Yamhill County, Oregon, certify that the instrument identified herein was recorded in the Clerk records.	
Brian Van Bergen - County Clerk	

STATUTORY BARGAIN AND SALE DEED

AFFORDABLE MID COAST HOUSING, LLC, a Maine Limited Liability Company with a mailing address at P.O. Box 9340, Auburn, Maine 04210 (“**Grantor**,”) conveys to **MCMINNVILLE PROPERTIES, LLC**, an Oregon Limited Liability Company with a mailing address at 7401 SW Washo Court, Suite 200, Tualatin, OR 97062 (“**Grantee**,”) the real property and improvements commonly known as 490-500 NE Captain Michael King Smith Way, McMinnville, Oregon and further described in the attached **Exhibit A**, incorporated herein by this reference.

WARNING: BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON’S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

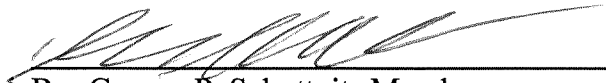
FIRST AMERICAN TITLE 3713071

The true consideration for this conveyance is Ten Million and 00/100 US Dollars (\$10,000,000.00).

Duly executed on this 16th day of April, 2021.

SELLER:

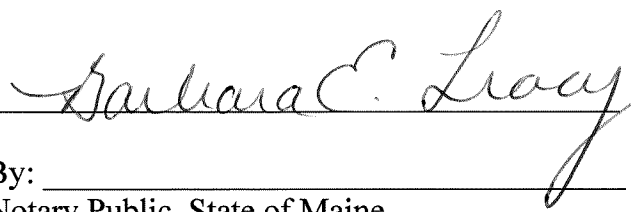
AFFORDABLE MID COAST HOUSING, LLC
a Maine Limited Liability Company



By: George P. Schott, its Member

State of Maine)
) ss.
County of Androscoggin)

The foregoing instrument was acknowledged before me on this 16th day of April, 2021, at Lewiston, Maine, by AFFORDABLE MID COAST HOUSING, LLC, by its Member, George P. Schott, to be its free act and deed.



By: _____
Notary Public, State of Maine
My Commission Expires: _____

Barbara E. Tracy
Notary Public, State of Maine
My Commission Expires May 11, 2021

EXHIBIT "A"

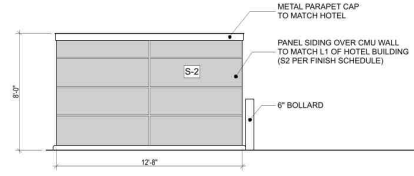
Legal Description of Real Property

Real property in the County of Yamhill, State of Oregon, described as follows:

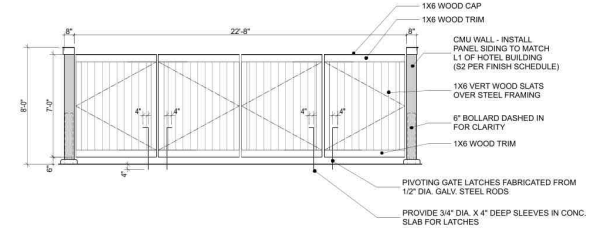
A tract of land in Section 23, Township 4 South, Range 4 West of the Willamette Meridian in Yamhill County, Oregon, and being more particularly described as follows:

Beginning at an iron rod that is North 90°00'00" West (West) 3740.00 feet and North 00°23'30" East 30.00 feet from the Southeast corner of the Rueben Harris Donation Land Claim No. 80, said point being on the North margin of Three Mile Lane; thence North 00°23'30" East 939.63 feet to an iron rod; thence South 89°58'40" East 370.00 feet to an iron rod; thence North 00°23'30" East 727.91 feet to an iron rod; thence North 89°03'00" West 1144.96 feet to an iron rod; thence South 00°24'52" West 746.45 feet to an iron rod; thence South 89°58'40" East 236.21 feet to an iron rod; thence South 00°22'32" West 939.84 feet to an iron rod on the North margin of Three Mile Lane (30.00 feet from centerline); thence North 90°00'00" East (EAST) 538.76 feet, along said North margin, to point of beginning.

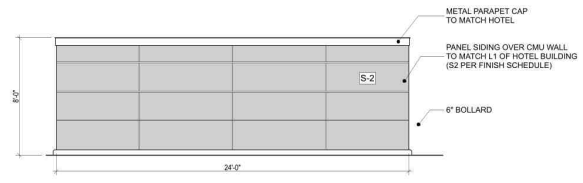
EXCEPTING THEREFROM that portion conveyed to the City of McMinnville, a municipal corporation, by Dedication of Easement and Right of way recorded in Instrument No. 200304463, Deed Records.



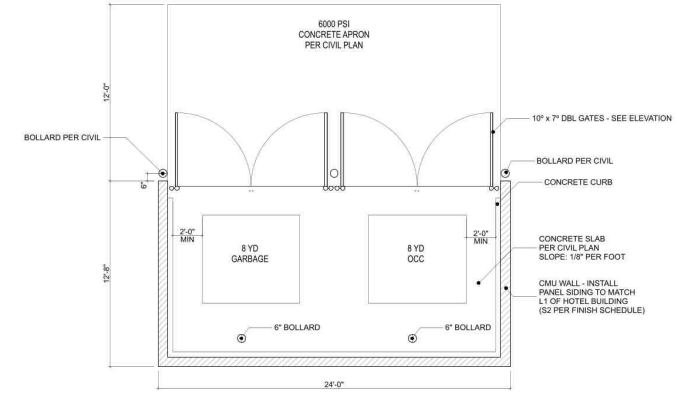
SIDE ELEVATION: REFUSE ENCLOSURE
SCALE 1/4" = 1'-0"
4
A-205



FRONT ELEVATION: REFUSE ENCLOSURE
SCALE 1/4" = 1'-0"
2
A-205



BACK ELEVATION: REFUSE ENCLOSURE
SCALE 1/4" = 1'-0"
3
A-205



PLAN: REFUSE ENCLOSURE
SCALE 1/4" = 1'-0"
1
A-205

Received
March 13, 2025
Community
Development Center

AC HOTEL • MARRIOTT
McMinville • Oregon • USA

500 NE CAPTAIN MICHAEL
KING SMITH WAY
MCMINNVILLE, OR 97128

NO. 12/06/24
PROJECT: 2303
SHEET NO. 12/06/24
REFUSE ENCLOSURE

DATE	12/06/24
PROJECT	2303
SHEET NO.	12/06/24
REFUSE ENCLOSURE	

A-205

EXHIBIT 7 - STAFF REPORT

DATE: March 19, 2025
TO: Landscape Review Committee Members
FROM: Taylor Graybehl, Senior Planner
SUBJECT: Arbor Day Event

The Landscape Review Committee adopted a work plan for 2025, with three major goals, strategies to implement those goals, and specific actions. One goal is to increase awareness and appreciation of McMinnville’s Urban Forest and Landscape. To meet this goal, two strategies were adopted: celebrating Arbor Day in McMinnville and engaging and educating the community. The strategies include specific actions, their priorities, and when they are to occur, please see below:

GOAL: Increase Awareness & Appreciation of McMinnville’s Urban Forest & Landscape					
Strategy	Action	Priority	Timeframe	Cost	Responsibility
Celebrate Arbor Day in McMinnville	Promote Arbor Day Events in McMinnville	High	Spring 2025	Staff	LRC/City
	Coordinate Arbor Day Tree Planting Event	High	Spring 2025	Staff/\$	LRC/City
Engage and Educate the Community	Develop and Implement Outreach Plan	Medium	Spring 2025	Staff	LRC/City

Staff met with two committee members (the “engagement working group”) to discuss the strategy for celebrating Arbor Day in McMinnville. Below are the outcomes of the two meetings related to each action.

Action: Promote Arbor Day Events in McMinnville

No other Arbor Day events were found in the community. The Soil and Water Conservation District will host an Earth Day event celebrating trees. The event is to take place on Saturday, April 19, 2025, from 9 AM to 2 PM at Miller Woods (15580 NW Orchard View Road, McMinnville, Oregon). The website can be found at (<https://yamhillswcd.org/event/earth-day-at-miller-woods/>) and the flyer is attached.

Questions for the Committee:

Is this an appropriate event to promote as part of the Arbor Day Events in McMinnville?

Action: Coordinate Arbor Day Tree Planting Event

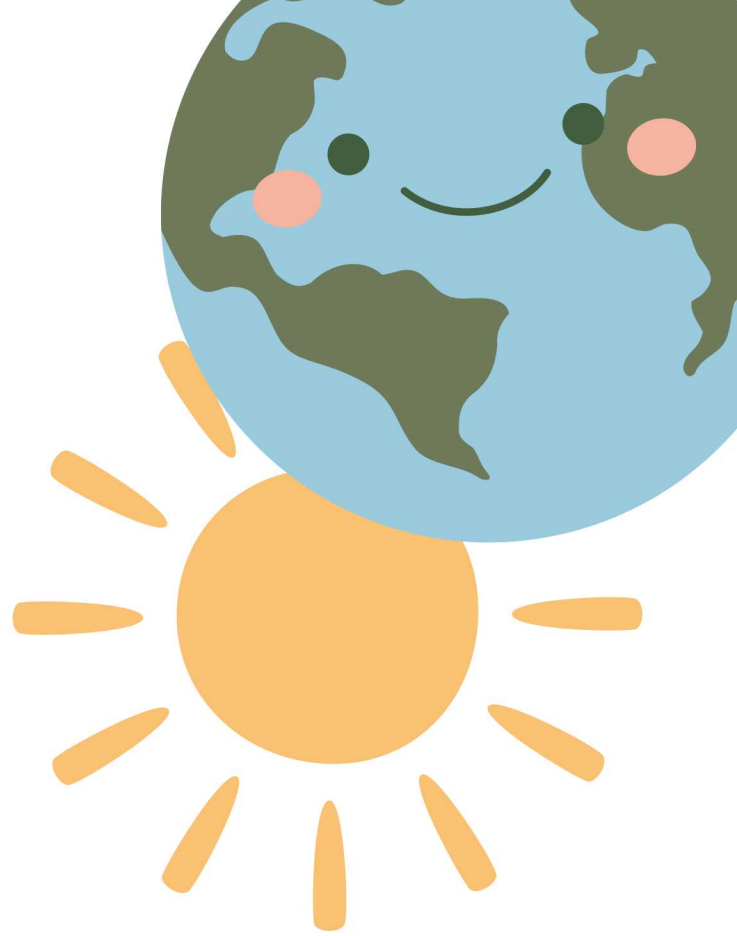
The engagement working group has begun planning an Arbor Day event. The concept of the Arbor Day Tree event would be hosting a tree ceremony, a nature/education walk, and a scavenger hunt for children. The event would include an area for non-profits with missions related to the goals of Arbor Day, to have booths to spread the word about their work. A potential location is at the Library and City Park.

Questions for the Committee:

Should the working group keep moving forward with an event in this direction?

Earth Day at Miller Woods

Saturday, April 19th
15580 NW Orchard View Rd.
McMinnville, OR 97128



**Free
event!**

Schedule

Native Plant Sale: 9am-2pm

Ooh La Latte Food Truck: 9am-2pm

Kids Fun Run: 11am

Nature Journaling: 12pm

Plant ID Walk: 1pm

And more from community partners!

Thank You to These Great Partners!



EDIBLE LANDSCAPES

OF YAMHILL CO.



Ooh la latte
Serving stumptown

And the McMinnville High School Horticulture Class, Linfield University Environmental Club, and all who participate!



EXHIBIT 8 - STAFF REPORT

DATE: March 19, 2025
TO: Landscape Review Committee Members
FROM: Taylor Graybehl, Senior Planner
SUBJECT: Planting Standards

The Landscape Review Committee adopted a work plan 2025, which includes three major goals, strategies for implementing those goals, and specific actions. A specific action is to update the Street Tree Planting Design and Drawing Specifications.

Update Tree Regulations to Limit Future Impacts on Public Facilities	Update the Street Tree Planting Design and Drawing Specifications	High	Spring 2025	Staff	LRC/City
	Update McMinnville Street Tree List	High	Summer 2025	Staff	LRC/City

The Landscape Review Committee has chosen to review these drawing specifications to ensure that the short- and long- term health of the tree is considered and to attempt to minimize impacts on nearby infrastructure. One consideration in creating these standards is the ability to conduct inspections and another is the wide range of maintenance by adjacent property owners that occurs within the community.

Presently, the city has two drawing specifications for street trees: those within a planter strip (parkway detail) and downtown. These standards are attached to this report. Before the city “finalizes” or approves the planting, an inspection is required, and the applicant must show that the planting matches the details.

Staff met with two committee members (the “planting standards working group”) to discuss design and drawing specifications updates. During the meeting, the group examined the current standards, standards in other communities, and best practices. The group identified some items that could be immediately changed, identified questions that would be important to research further, and asked the committee for input.

Changes/additions to the standards:

- Add a 1-year timeline for the removal of stakes
- Add the requirement that all foreign objects and bindings be removed unless they must be retained, such as a species tag identification.
- Remove water tube requirements
- Improve language related to soil preparation requirements
- Create additional details, for example plantings next to curb tight sidewalks.

Additional Research

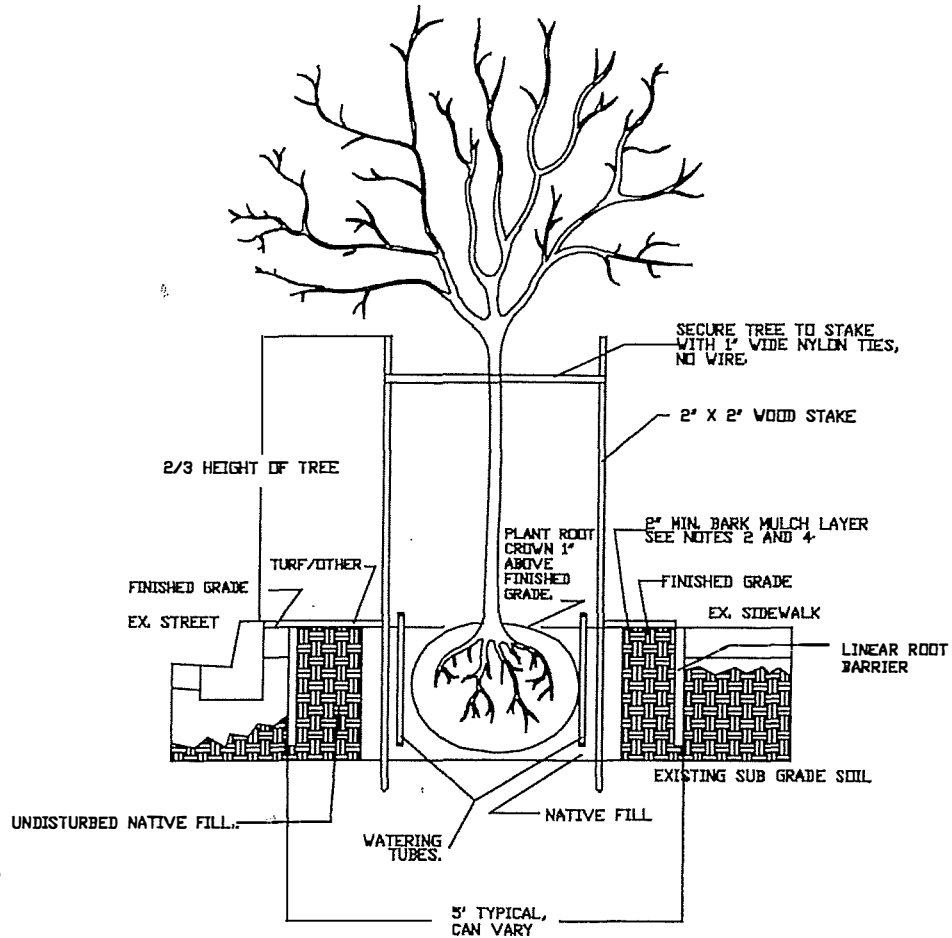
- Root barriers – are they impactful? Is there a distance at which they should be required? Do certain species need them more than others?
- Can we do site visits to see how current standards work?

Discussion

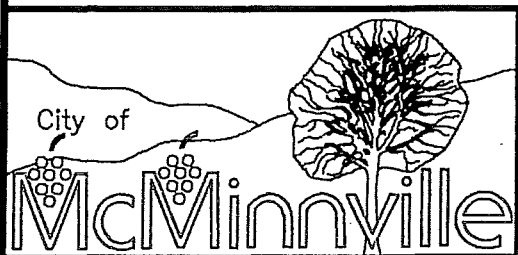
The Committee should discuss the current process and provide further directions.

TREE PLANTING IN PARKWAY DETAIL

SECTION



1. PLANTING PIT EX ROOTBALL WIDTH.
2. DIG PLANTING PIT NO DEEPER THAT ROOTBALL.
3. BACKFILL WITH NATIVE MATERIAL.
4. TO MINIMIZE SIDEWALK AND TREE ROOT CONFLICTS, INSTALL LINEAR ROOT BARRIER; COMMERCIALLY ENGINEERED, 10 FEET LONG CENTERED ON THE TREE, 18" DEEP, ON THE CURB SIDE AND SIDEWALK SIDE OF THE TREE.
5. ON BALLED AND BURLAP TREES, CUT & PEEL AWAY WIRE FRAME FROM ROOTBALL, LEAVE BURLAP AND FRAME IN PLANTING HOLE.



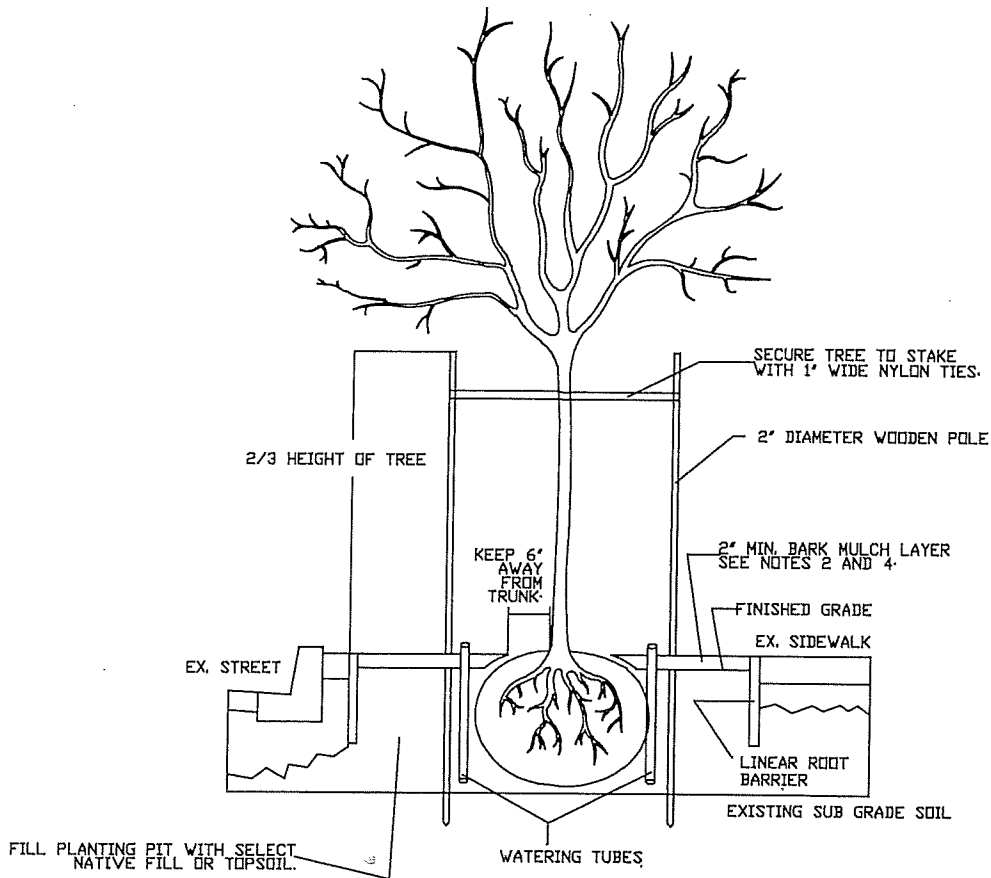
MCMINNVILLE PUBLIC WORKS DIVISION
 PARKWAY TREE PLANTING DETAIL-

NOT TO SCALE

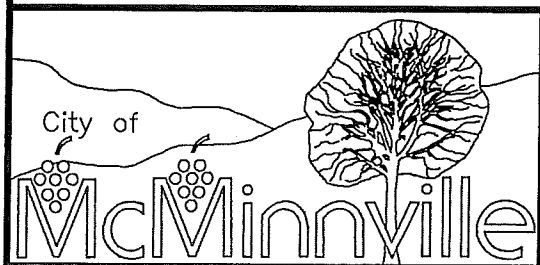
DATE
 MAY 2014

DRAWING NO.
 34B

TREE PLANTING IN DOWNTOWN DETAIL
SECTION



1. DIG PLANTING PIT TO FIT PLANTER. DIG NO DEEPER THAN THE DEPTH OF THE ROOTBALL.
2. SET ROOTBALL ON FIRM SURFACE. PLACE ROOT FLARE SLIGHTLY BELOW SIDEWALK GRADE TO ALLOW FOR TOP OF MULCH AT SIDEWALK GRADE.
3. BACKFILL WITH SELECT NATIVE SOIL OR TOPSOIL.
4. MULCH WITH BARK TO A MIN. DEPTH OF 2". KEEP MULCH 6" AWAY FROM TRUNK.
5. ON BALLED AND BURLAP TREES, CUT & PEEL AWAY WIRE FRAME FROM ROOTBALL. LEAVE BURLAP AND FRAME IN PLANTING HOLE.
6. INSTALL ROOT BARRIER PROTECTION ON SIDEWALK AND STREET SIDE OF PLANTER. SHALL BE A MINIMUM 18" DEEP COMMERCIALY ENGINEERED ROOT BARRIER PANEL, "BIO-BARRIER," OR APPROVED EQUAL.
7. INSTALL TWO (2) 4' X 36" CORRUGATED PLASTIC DEEP WATERING TUBES ON EITHER SIDE OF TREE.



MCMINNVILLE PUBLIC WORKS DIVISION
STREET TREE PLANTING DETAIL-
DOWNTOWN

NOT TO SCALE

DATE: MAY 2014

DRAWING NO. 34A